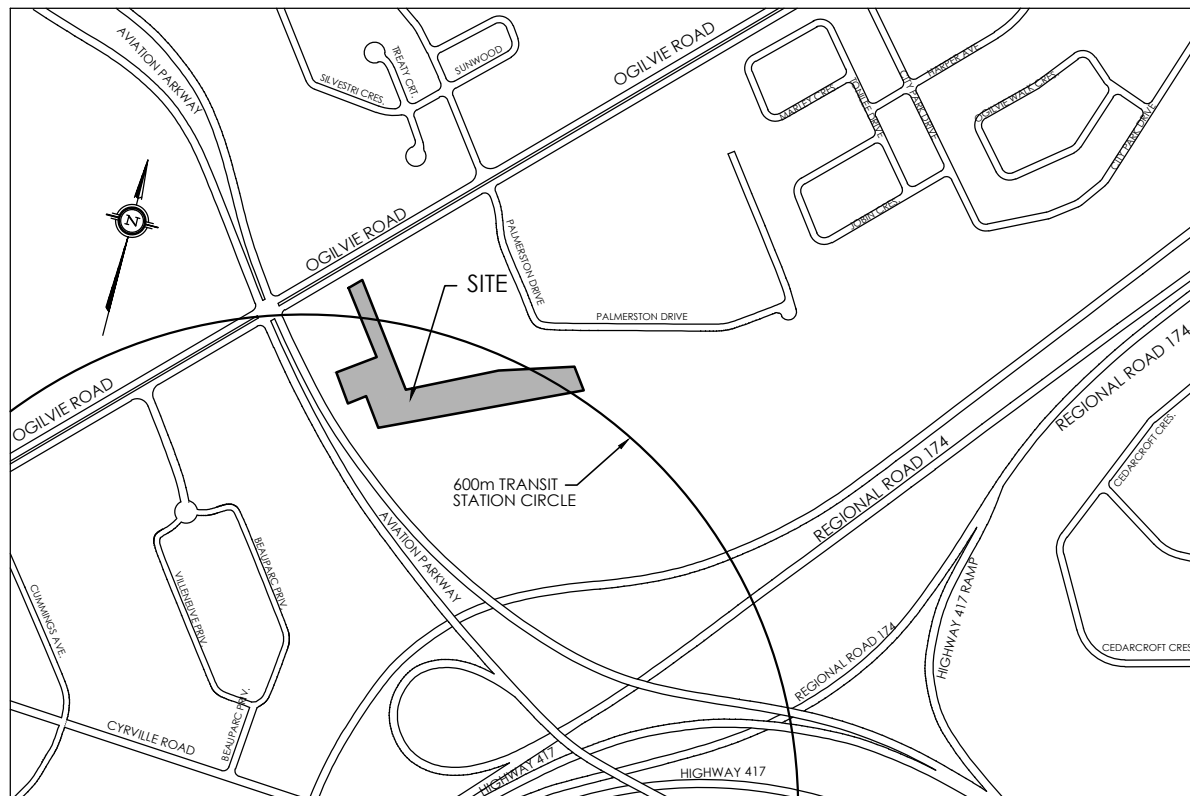
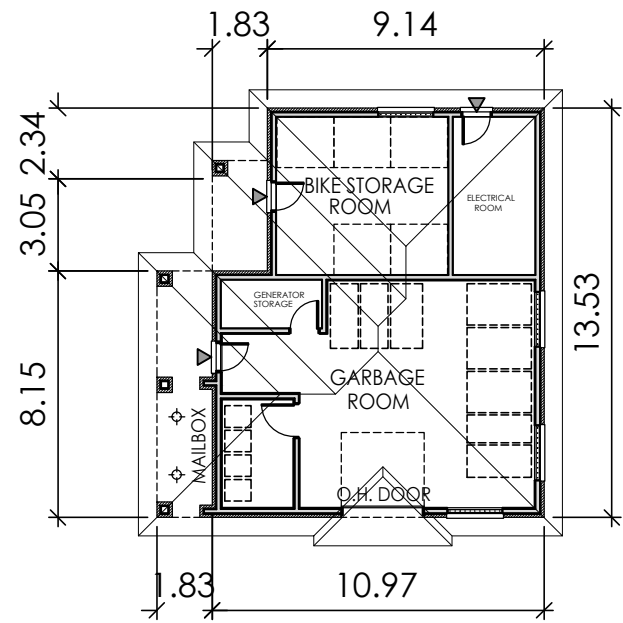




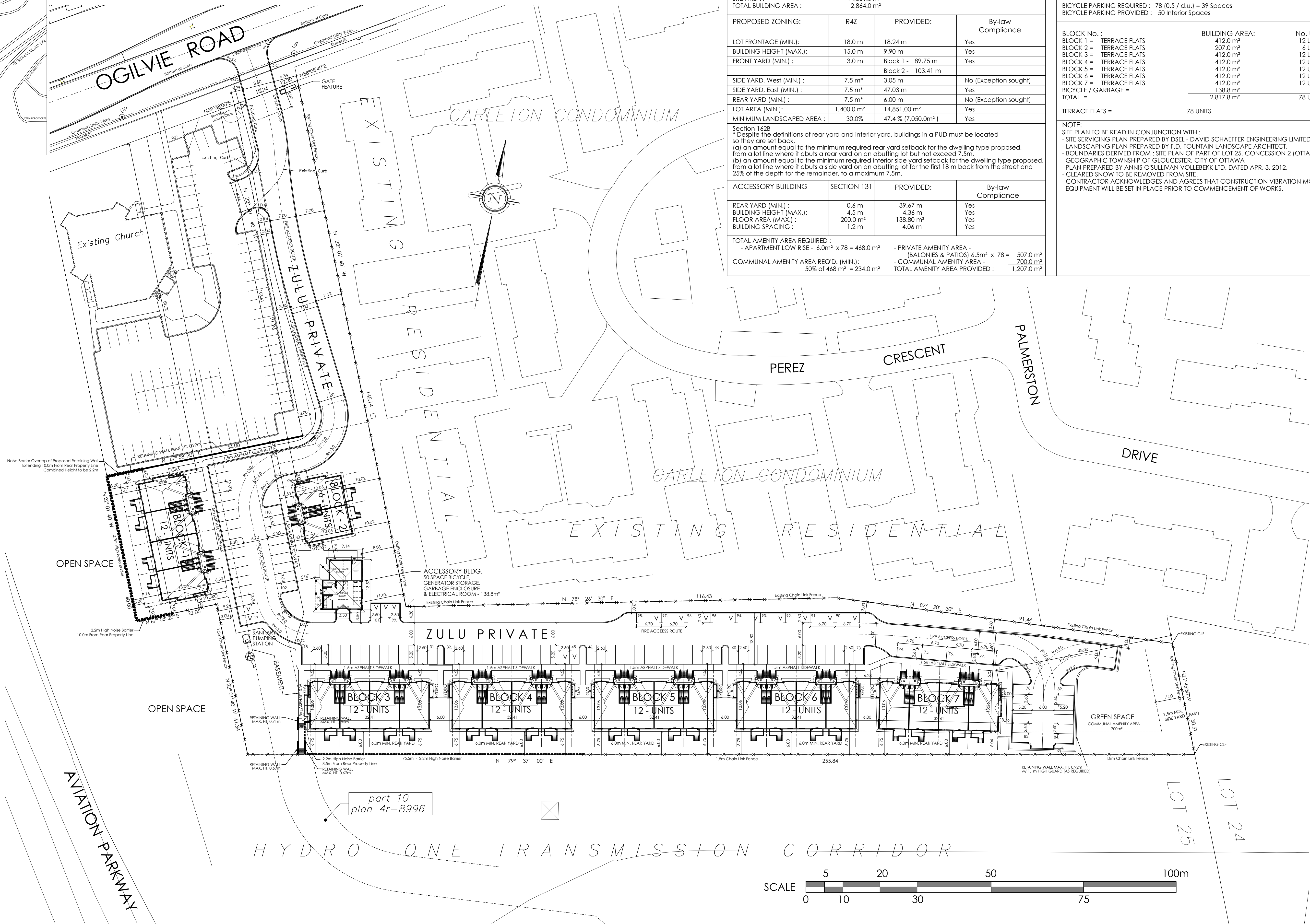
KEY PLAN
NOT TO SCALE

LEGEND:



ACCESSORY BUILDING
BICYCLE STORAGE 50 SPACES,
GARBAGE ROOM, GENERATOR STORAGE
& ELECTRICAL ROOM - 138.8m²

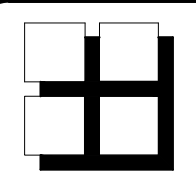
GARBAGE ROOM - (Minimum Required)	
GARBAGE -	3 - 4 cu.yd. Bins
FIBRE -	2 - 3 cu.yd. Bins
GMP -	1 - 2 cu.yd. Bin
ORGANICS -	1 - 3 cu.yd. Bins
	1 - 2 cu.yd. Bin
	2 - 240L Carts



SITE INFORMATION :			
EXISTING ZONING : O1 & R3Y(708)			
PROPOSED ZONING : R4Z - PERMITTED USES : - PLANNED UNIT DEVELOPMENT			
SITE AREA :		14,851.0 m ²	
TOTAL BUILDING AREA :		2,864.0 m ²	
PROPOSED ZONING:	R4Z	PROVIDED:	By-law Compliance
LOT FRONTAGE (MIN.):	18.0 m	18.24 m	Yes
BUILDING HEIGHT (MAX.):	15.0 m	9.90 m	Yes
FRONT YARD (MIN.):	3.0 m	Block 1 - 89.75 m	Yes
		Block 2 - 103.41 m	
SIDE YARD, West (MIN.):	7.5 m*	3.05 m	No (Exception sought)
SIDE YARD, East (MIN.):	7.5 m*	47.03 m	Yes
REAR YARD (MIN.):	7.5 m*	6.00 m	No (Exception sought)
LOT AREA (MIN.):	1,400.0 m ²	14,851.00 m ²	Yes
MINIMUM LANDSCAPED AREA :	30.0%	47.4 % (7,050.0m ²)	Yes
Section 142B * Despite the definitions of rear yard and interior yard, buildings in a PUD must be located so they are set back, (a) an amount equal to the minimum required rear yard setback for the dwelling type proposed, from a lot line where it abuts a rear yard on an abutting lot but not exceed 7.5m, (b) an amount equal to the minimum required interior side yard setback for the dwelling type proposed, from a lot line where it abuts a side yard on an abutting lot for the first 18 m back from the street and 25% of the depth for the remainder, to a maximum 7.5m.			
ACCESSORY BUILDING	SECTION 131	PROVIDED:	By-law Compliance
REAR YARD (MIN.):	0.6 m	39.67 m	Yes
BUILDING HEIGHT (MAX.):	4.5 m	4.36 m	Yes
FLOOR AREA (MAX.):	200.0 m ²	138.80 m ²	Yes
BUILDING SPACING :	1.2 m	4.06 m	Yes
TOTAL AMENITY AREA REQUIRED : - APARTMENT LOW RISE - 6.0m ² x 78 = 468.0 m ² - PRIVATE AMENITY AREA - (BALCONIES & PATIOS) 6.5m ² x 78 = 507.0 m ² COMMUNAL AMENITY AREA REQ'D. (MIN.): 50% of 468 m ² = 234.0 m ² - COMMUNAL AMENITY AREA - 700.0 m ² TOTAL AMENITY AREA PROVIDED : 1,207.0 m ²			

TERRACE FLATS PARKING : PARKING REQUIRED : 0.5 Spaces / d.u. + 0.2 / d.u. (Visitor) = 39.0 + 15.6 = 54.6 Spaces PARKING PROVIDED : 94 Spaces + 16 Visitor Spaces = 110 Spaces		
BICYCLE PARKING REQUIRED : 78 (0.5 / d.u.) = 39 Spaces BICYCLE PARKING PROVIDED : 50 Interior Spaces		
BLOCK No. :	BUILDING AREA:	No. UNITS:
BLOCK 1 = TERRACE FLATS	412.0 m ²	12 UNITS
BLOCK 2 = TERRACE FLATS	207.0 m ²	6 UNITS
BLOCK 3 = TERRACE FLATS	412.0 m ²	12 UNITS
BLOCK 4 = TERRACE FLATS	412.0 m ²	12 UNITS
BLOCK 5 = TERRACE FLATS	412.0 m ²	12 UNITS
BLOCK 6 = TERRACE FLATS	412.0 m ²	12 UNITS
BLOCK 7 = TERRACE FLATS	412.0 m ²	12 UNITS
BICYCLE / GARBAGE =	138.8 m ²	
TOTAL =	2,817.8 m ²	78 UNITS
TERRACE FLATS =	78 UNITS	

NOTE:
SITE PLAN TO BE READ IN CONJUNCTION WITH :
- SITE SERVICING PLAN PREPARED BY DSEL - DAVID SCHAEFFER ENGINEERING LIMITED.
- LANDSCAPING PLAN PREPARED BY F.D. FOUNTAIN LANDSCAPE ARCHITECT.
- BOUNDARIES DERIVED FROM : SITE PLAN OF PART OF LOT 25, CONCESSION 2 (OTTAWA FRONT), GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA
PLAN PREPARED BY ANNIS O'SULLIVAN VOLLEBEK LTD. DATED APR. 3, 2012.
- CLEARED SNOW TO BE REMOVED FROM SITE.
- CONTRACTOR ACKNOWLEDGES AND AGREES THAT CONSTRUCTION VIBRATION MONITORING EQUIPMENT WILL BE SET IN PLACE PRIOR TO COMMENCEMENT OF WORKS.


**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. - Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

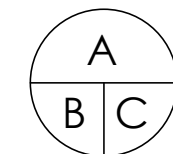
GENERAL NOTES:
1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
6. THIS REPRODUCTION SHALL NOT BE ALTERED



CONSTRUCTION NORTH

10.	06/01/21	AS PER RICH CRAFT COMMENTS	SM
9.	01/08/19	HYDRO / GAS METERS ADDED	SM
8.	04/02/19	AS PER CITY COMMENTS	SM
7.	26/02/18	RETAINING WALLS & NOISE BARRIERS	SM
6.	12/02/18	REV. ACCESSORY BLDG. LOCATION	SM
5.	24/01/18	AS PER CONSULTANT COMMENTS	SM
4.	09/01/18	AS PER RICH CRAFT COMMENTS	SM
3.	26/09/17	BLOCK 2, ADDED	SM
2.	25/08/17	REVISED ROAD LOCATION	SM
1.	09/11/16	REVISED MODEL TYPES	SM
No.	DATE	DESCRIPTION	INIT.
REVISIONS			

20.			SM
19.			SM
18.			SM
17.			SM
16.			SM
15.			SM
14.			SM
13.	20/08/21	ZONING TABLE, RETAINING WALLS	SM
12.	14/04/21	REVISED BOUNDARY AS PER TOPO	SM
11.	02/03/21	REV. BUILDING LOCATION/PARKING	SM
No.	DATE	DESCRIPTION	INIT.
REVISIONS			



A - DETAIL NUMBER
B - SHEET NUMBER (DETAIL REQUIRED)
C - SHEET NUMBER (DETAIL LOCATION)

SEAL


PROJECT
**78 UNIT
PLANNED UNIT DEVELOPMENT
1298 OGILVIE ROAD
OTTAWA, ONT.**

CLIENT
**RICH CRAFT
Group Of Companies**

DRAWING TITLE
SITE PLAN

DATE
JULY, 2011.

SCALE
1:500

SHEET No.
SP-1

DRAWN BY:
SBM

CHECKED
MDB