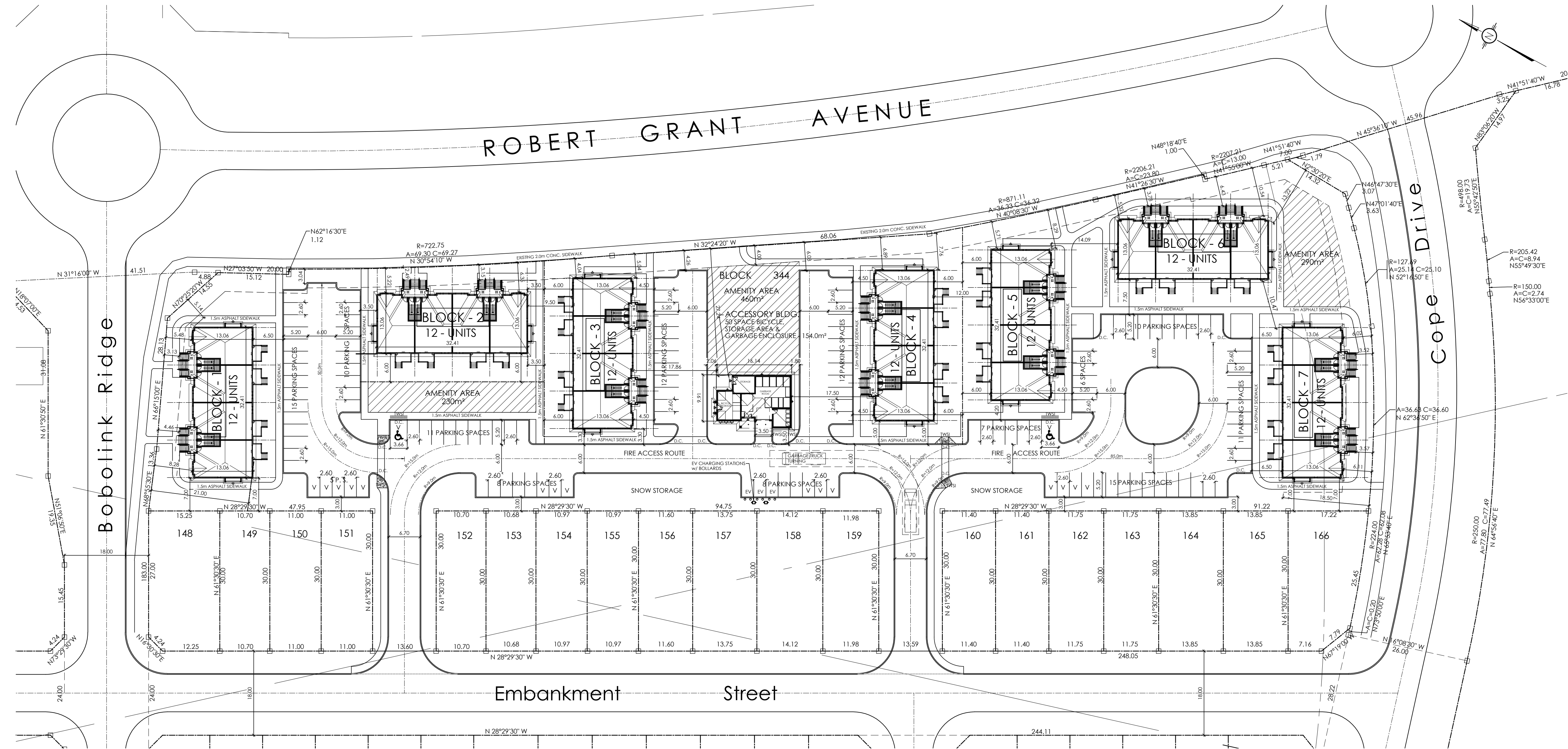
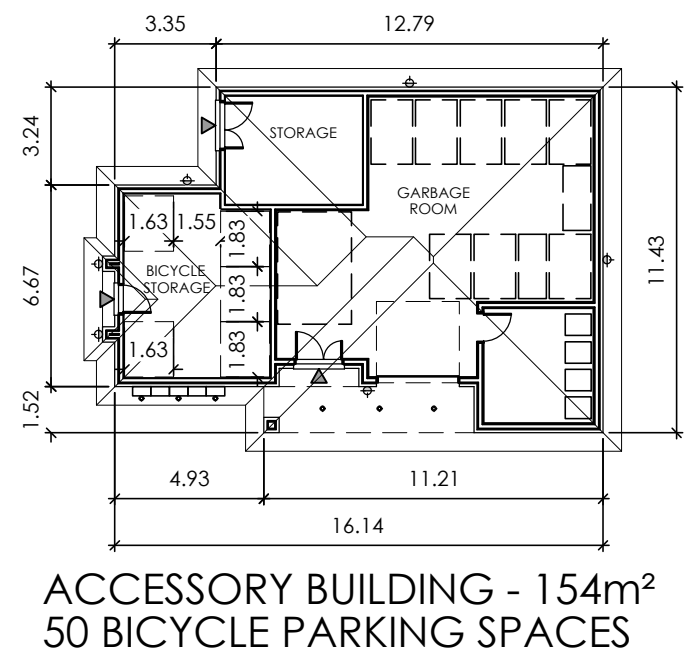
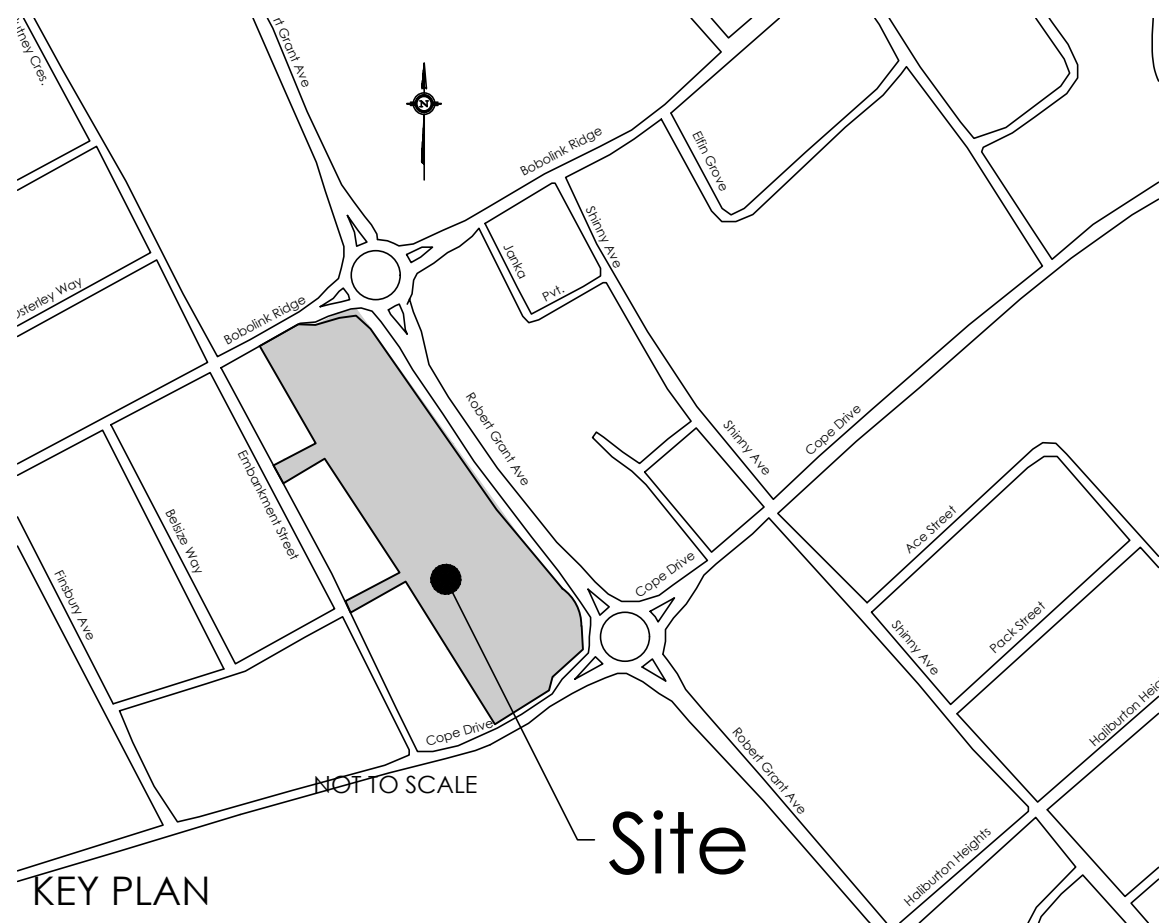
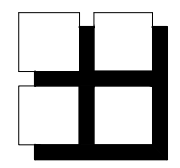
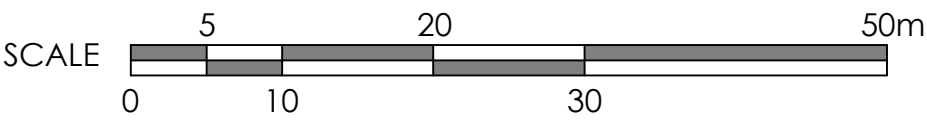




SITE INFORMATION :		
PROPOSED ZONING : R4Z - PERMITTED USES : - PLANNED UNIT DEVELOPMENT - STACKED DWELLING UNITS		
SITE AREA : 16,034.83 m² TOTAL BUILDING AREA : 3,038.0 m²		
PROPOSED ZONING:	R4Z	PROVIDED:
LOT AREA (MIN.):	1,400.0 m²	16,034.83 m²
LOT WIDTH (MIN.):	18.0m	41.49 m
BUILDING HEIGHT (MAX.):	11.0 m	9.45 m
FRONT YARD (MIN.):	3.0 m	5.48 m
CORNER SIDE YARD (MIN.):	3.0 m	4.04 m
REAR YARD (MIN.):	6.0 m	6.02 m
INTERIOR SIDE YARD (MIN.):		
Within 21m of Front Lot Line	1.5 m	7.00 m
BUILDING SPACING :		
BETWEEN BUILDING & PRIVATE WAY	1.8 m	1.80 m
BETWEEN GARAGE & PRIVATE WAY	5.2 m	n/a
BETWEEN BUILDINGS	1.2 m	9.50 m
MINIMUM LANDSCAPED AREA :	30.0%	31.6 % (10,977.8m²)
PORCH STAIR TO LOT LINE (SECTION 65)	0.60 m	2.49 m
TOTAL AMENITY AREA REQUIRED : - STACKED DWELLING 6.0m² x 84 = 504.0 m²		
- PRIVATE AMENITY AREA - (BALCONIES & PATIOS) 6.5m² x 84 = 546.0 m²		
COMMUNAL AMENITY AREA REQ'D. (MIN.): 50% of 504 m² = 252.0 m²		
- COMMUNAL AMENITY AREA - 980.0 m²		
TOTAL AMENITY AREA PROVIDED : 1,526.0 m²		
ACCESSORY BUILDING BUILDING HEIGHT (MAX.): FLOOR AREA (MAX.):	R4Z 4.5 m 200.0 m²	PROVIDED: 4.47 m 154.0 m²
TERRACE FLATS PARKING : PARKING REQUIRED : 1.2 Spaces / (84) d.u. + 0.2 / (84) d.u. (Visitor) = 100.8 + 16.8 = 117.6 Spaces PARKING PROVIDED : 113 Spaces + 17 Visitor Spaces = 130 Spaces		
BICYCLE PARKING REQUIRED : 84 (0.5 / d.u.) = 42.0 Spaces BICYCLE PARKING PROVIDED : 50 Interior Spaces		
TERRACE FLATS : BLOCK No. : BLOCK 1 = TERRACE FLATS BLOCK 2 = TERRACE FLATS BLOCK 3 = TERRACE FLATS BLOCK 4 = TERRACE FLATS BLOCK 5 = TERRACE FLATS BLOCK 6 = TERRACE FLATS BLOCK 7 = TERRACE FLATS BICYCLE / GARBAGE = TOTAL =		
BUILDING AREA: 412.0 m² GROSS FLOOR AREA: 1,219.0 m² No. UNITS: 12 UNITS		
412.0 m² 1,219.0 m² 12 UNITS		
412.0 m² 1,219.0 m² 12 UNITS		
412.0 m² 1,219.0 m² 12 UNITS		
412.0 m² 1,219.0 m² 12 UNITS		
412.0 m² 1,219.0 m² 12 UNITS		
154.0 m² 8,533.0 m² 84 UNITS		
SNOW STORAGE : SNOW STORAGE WILL BE OFF SITE.		
NOTE: SITE PLAN TO BE READ IN CONJUNCTION WITH : - SITE SERVICING PLAN PREPARED BY : - LANDSCAPING PLAN PREPARED BY : - BOUNDARIES DERIVED FROM: PLAN 4M-1619 BLOCK 344 PREPARED BY ANNIS O'SULLIVAN VOLLEBEKK LTD. - STREET TOPO INFORMATION DERIVED FROM :		

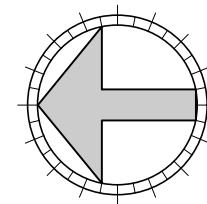
LEGEND:
D.C. - DEPRESSED CURB
WALL MOUNT LIGHT FIXTURE



M. David Blakely
Architect Inc.
2200 Prince of Wales Dr., Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
6. THIS REPRODUCTION SHALL NOT BE ALTERED



CONSTRUCTION NORTH

SEAL

No.	DATE	DESCRIPTION	INIT.
10.			
9.			
8.			
7.			
6.	25/06/21	REVISED SIDEWALKS @ BLKS. 6 & 7	SM
5.	09/04/21	AS PER RICHCRAFT	SM
4.	25/03/21	FOR REVIEW	SM
3.	28/07/20	FOR REVIEW	SM
2.	10/07/20	FOR REVIEW	SM
1.			

No.	DATE	DESCRIPTION	INIT.
20.			
19.			
18.			
17.			
16.			
15.			
14.			
13.			
12.			
11.			

PROJECT
84 UNIT
TERRACE FLATS
KANATA BLOCK 344
OTTAWA, ONT.

CLIENT
RICHCRAFT
Group Of Companies

DRAWING TITLE
SITE PLAN

DATE
JULY, 2020.

SCALE
1:500

SHEET No.
SP-1