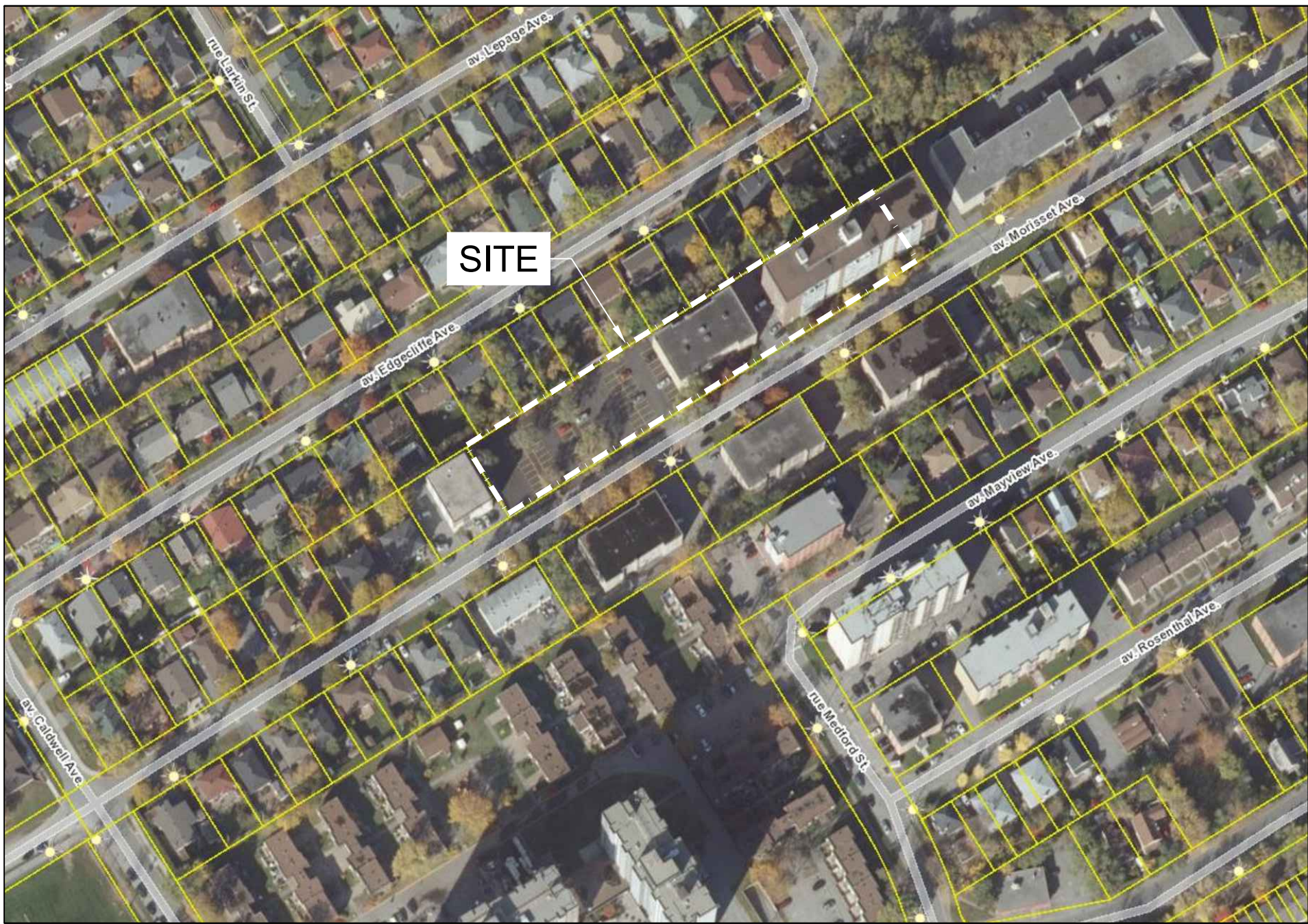
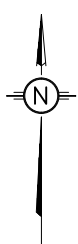


PROPOSED 3-STOREY LOW-RISE APARTMENT 1435 & 1455 MORISSET AVE, OTTAWA, ON

REVISION 00



KEY PLAN (N.T.S.)

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PRE-DEVELOPMENT WATERSHED PLAN	C701
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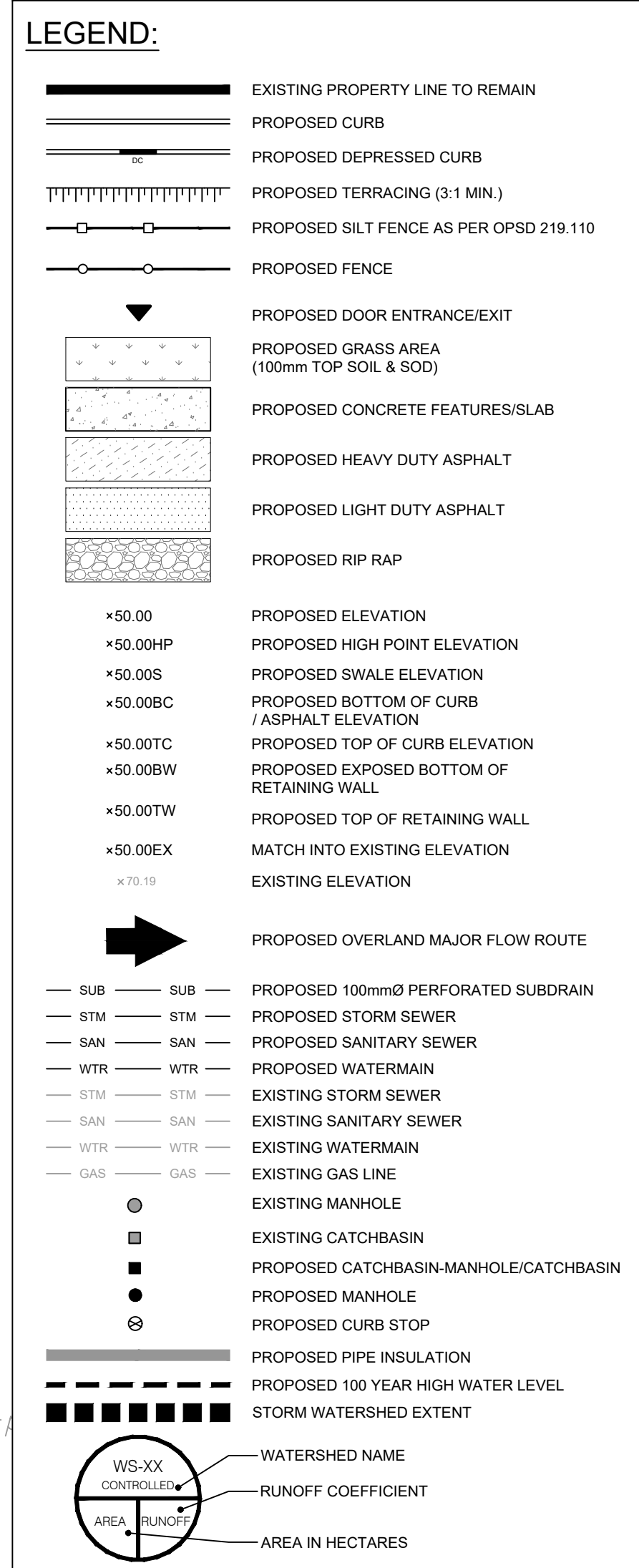
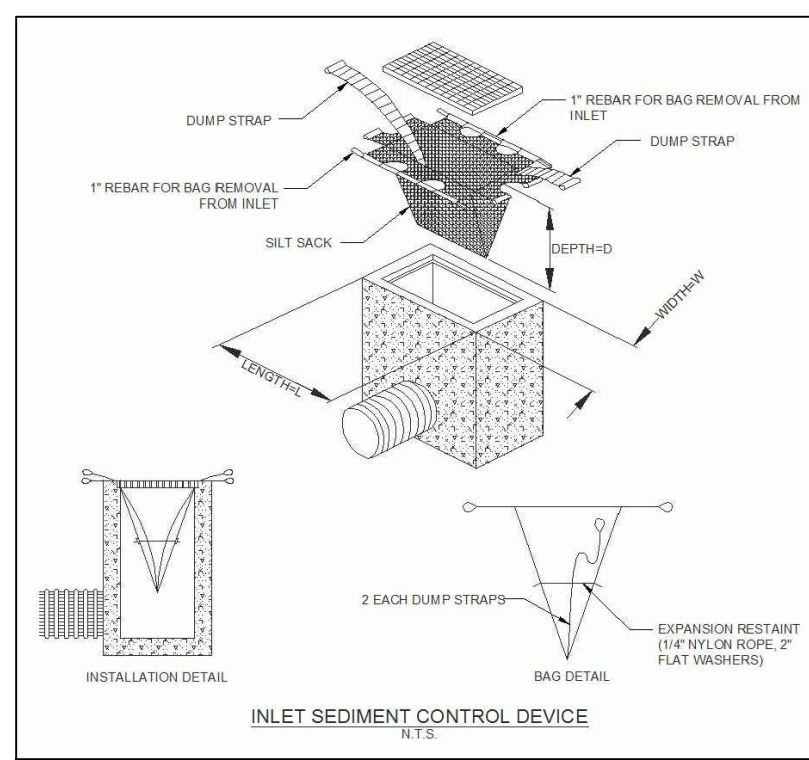
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PROPOSED 3-STOREY LOW-RISE APARTMENT
1435 & 1455 MORISSET AVE, OTTAWA, ON
REV.00 - ISSUED FOR APPROVAL - JUNE 18, 2021
LRL PROJECT no: 200572



NOT AUTHENTIC UNLESS SIGNED AND DATED



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE DRAWING, THE CONTRACT, THE SPECIFICATIONS, ADDENDUMS, SUPPLEMENTARY, AND OWNER-CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDUM, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THIS CONTRACT, ARE THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS, AND ANY OTHER DELINEATED HEREON SHALL BE CONSTRUCTED OF ALL WORKS, MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ILLUSTRATED.

USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE SITE CONDITIONS, AND UNDERSTANDS THE REQUIREMENTS AND CORRELATES HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR REVISED DRAWINGS, AND MEASUREMENTS, SHALL BE THE PROPERTY OF THE CLIENT. IT IS HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. THE CONTRACTOR SHALL NOT REPRODUCE OR KNOWING HOW TO REPRODUCE THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS ACKNOWLEDGEMENT OF THE CONTRACTOR'S OBLIGATION TO PROTECT THE PROJECT FROM THE REUSE OR PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORWARDED.

UNAUTHORIZED CHANGES

IN THE EVENT THE CLIENT, THE CLIENT'S REPORTS OR SUBCONTRACTORS, OR OTHERS, MAKE ANY CHANGES TO THE PROJECT, THE CLIENT SHALL PERMIT TO MAKE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS. IF THE CLIENT REQUESTS ANY CHANGES TO THE PROJECT, OBTAINING LRS PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR ANY CHANGES TO THE PROJECT. IF THE CLIENT REQUESTS CHANGES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES, THE CLIENT SHALL BE LEGALLY BOUND.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRL FROM ANY DAMAGES, LIABILITIES OR REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR SUBCONTRACTORS FROM MAKING ANY CHANGES TO THE PROJECT OR ANY MODIFICATIONS TO LRL'S CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF LRL. THE CLIENT SHALL BE RESPONSIBLE FOR ANY CHANGES TO LRL'S CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF LRL. THE CLIENT SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

GENERAL NOTES

EXISTING STRUCTURES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND UTILITY WITH THE UTILITY COMPANIES BEFORE BEGINNING OR PERFORMING WORK.

THE CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR ANY ERRORS, OMISSIONS, OR INCONSISTENCIES THAT FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS OR CONFLICTS THAT MAY OCCUR BETWEEN THESE PLANS, SPECIFICATIONS AND THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES/AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE BEGINNING OR PERFORMING WORK.

00	ISSUED FOR APPROVAL	M.B.	18 JUNE 2021
No.	REVISIONS	BY	DATE

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LRJ

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www.lrl.ca | (613) 842-3434

CLIENT FIRM CAPITAL

DESIGNED BY: M.B. DRAWN BY: A.O. APPROVED BY: M.B.

PROJECT			
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PROPOSED 3-STOREY LOW-RISE APARTMENT
1435 & 1455 MORISSET AVE, OTTAWA (ON)

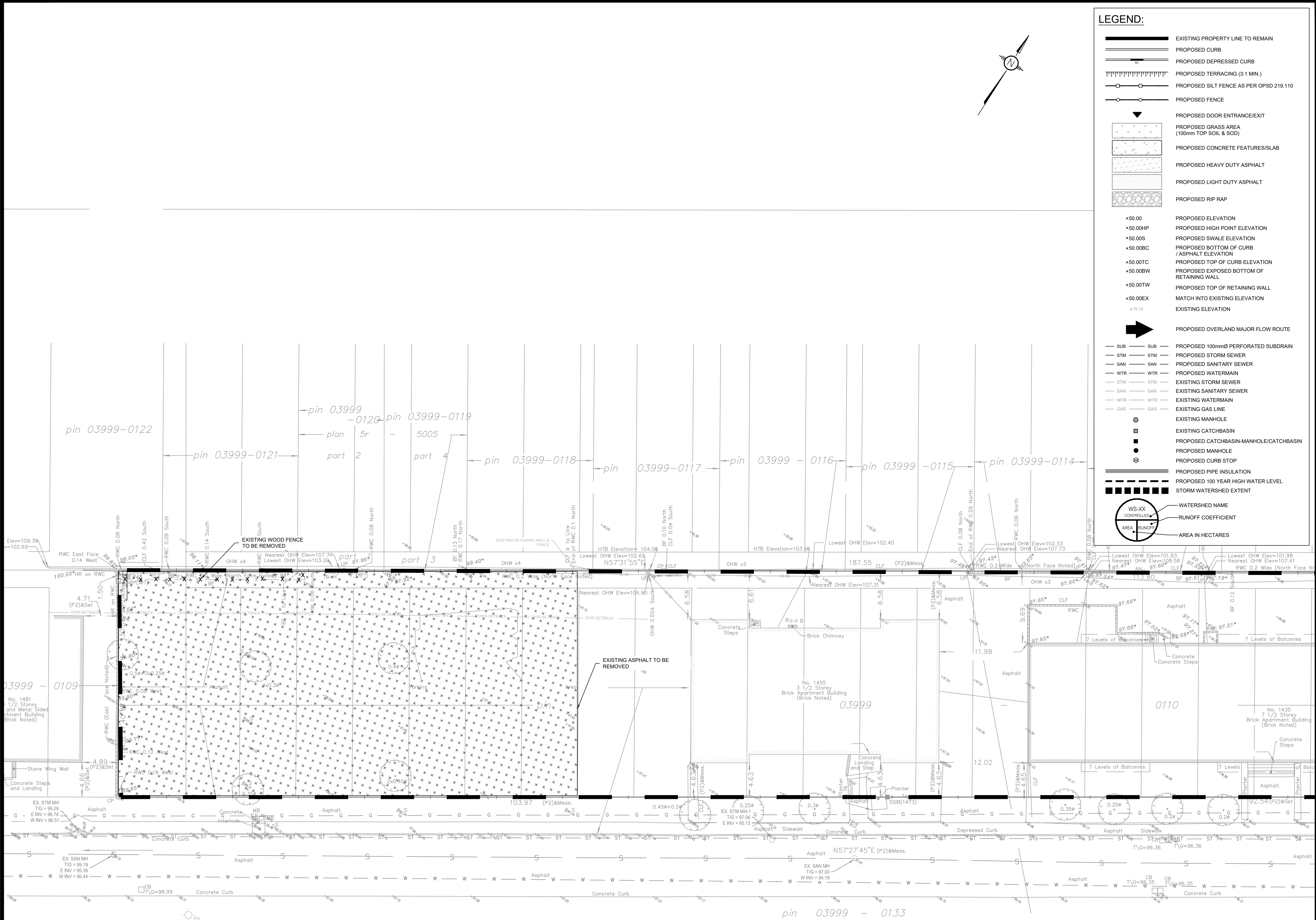
DRAWING TITLE

EROSION AND SEDIMENT
CONTROL PLAN

PROJECT NO.
200572

DATE
JANUARY 2021

C101



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
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- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
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- PROPOSED 100mmØ PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
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- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

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IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRL ASSOCIATES LTD. (LRL) WITHOUT OBTAINING LRL'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRL AND TO RELEASE LRL FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

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THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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Scale: 1:200

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PROFESSIONAL ENGINEER
M. BASNET
100501996
2021-06-18
PROVINCE OF ONTARIO

00	ISSUED FOR APPROVAL	M.B.	18 JUNE 2021
No.	REVISIONS	BY	DATE

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CUSTOMER

FIRM CAPITAL

DESIGNED BY:	DRAWN BY:	APPROVED BY:
M.B.	A.O.	M.B.

PROJECT

PROPOSED 3-STOREY LOW-RISE APARTMENT
1435 & 1455 MORISSET AVE, OTTAWA (ON)

DRAWING TITLE

DEMOLITION PLAN

PROJECT NO.
200572

DATE
JANUARY 2021

C102

GENERAL GRADING NOTES

1. ANY MODIFICATIONS IN ELEVATION BETWEEN THE SURVEY AND CONSTRUCTION THAT WILL AFFECT THE PROJECT ARE TO BE COMMUNICATED WITH THE ENGINEER PRIOR TO START OF CONSTRUCTION.
2. PRIOR TO START OF ANY WORK ON SITE, THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY EXISTING GRADES AND ENSURE OVERLAND DRAINAGE IS FEASIBLE WITH ACTUAL SITE CONDITIONS.
3. ANY DISCREPANCIES ARE TO BE COMMUNICATED WITH THE ENGINEER PRIOR TO CONSTRUCTION.
4. NO EXCESS DRAINAGE, EITHER DURING OR AFTER CONSTRUCTION, WILL BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
5. NO ALTERATION OF EXISTING GRADES AND DRAINAGE PATTERNS ON PROPERTY BOUNDARIES.
6. ENSURE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
7. CONTRACTOR IS RESPONSIBLE TO KEEP THE ROADS FREE AND CLEAN FROM MUD OR DEBRIS.
8. PROPOSED RETAINING WALL TO BE A MINIMUM 0.15m FROM ADJACENT PROPERTY LINES.

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
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- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
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SCALE: 1:200



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www.lrl.ca | (613) 842-3434

CLIENT

FIRM CAPITAL

DESIGNED BY:	DRAWN BY:	APPROVED BY:
M.B.	A.O.	M.B.
PROJECT		

PROPOSED 3-STOREY LOW-RISE APARTMENT
1435 & 1455 MORISSET AVE, OTTAWA (ON)

DRAWING TITLE

GRADING AND DRAINAGE PLAN

PROJECT NO.

200572

DATE

JANUARY 2021

C301

1. CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT FOR CONSTRUCTION PURPOSES.
2. ALL ELEVATIONS ARE GEODETIC AND UTILIZE METRIC UNITS.
3. JOB BENCH MARK - CONFORM WITH LRL PRIOR TO UTILIZATION.
4. ALL SURFACES SHALL BE SMOOTH AND WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE, CATCH BASIN OUTLETS AND/OR STORM DETENTION AREAS ARE PROVIDED.
5. STRIP AND REMOVE ALL TOPSOIL FROM IMPROVED AREAS.
6. COORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
7. ALL EDGES OF DISTURBED PAVEMENT SHALL BE SAW CUT TO FORM A CLEAN STRAIGHT LINE PRIOR TO PLACING NEW PAVEMENT. PAVEMENT REINSTATEMENT SHALL BE WITH STEP JOINTS OF 500mm width MINIMUM.
8. CURBS TO BE BARRIER, CONSTRUCTED AS PER OPSD 600.110.
9. ALL MATERIAL SUPPLIED AND PLACED FOR PARKING LOT AND ACCESS ROAD CONSTRUCTION SHALL BE TO OPSD STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED. CONSTRUCTION TO OPSD 208, 310 & 314. MATERIALS TO OPSD 1001, 1003 & 1010.
10. ALL PROPERTY DAMAGE TO BE REPAIRED TO ORIGINAL CONDITION.
11. OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE MUNICIPAL AUTHORITIES PRIOR TO COMMENCING CONSTRUCTION.
12. MINIMIZE DISTURBANCE TO EXISTING VEGETATION DURING THE EXECUTION OF ALL WORKS.
13. PROTECT EXISTING UTILITIES AND STRUCTURES FROM COLLISION BETWEEN THE FRAME AND COVER OF ALL CATCHBASINS, CATCHBASIN MANHOLES AND MANHOLES DURING THE CONSTRUCTION PERIOD TO MINIMIZE SEDIMENTS ENTERING THE STORM SEWER SYSTEM. ALL GRASSED AREAS MUST BE COMPLETED PRIOR TO THE REMOVAL OF THE FILTER FABRIC IN THE DRAINAGE STRIPS.
14. REMOVE FROM SITE ALL EXCESS EXCAVATED MATERIAL UNLESS OTHERWISE DIRECTED FROM THE ENGINEER. EXCAVATE AND REMOVE ALL ORGANIC MATERIAL AND DEBRIS, IF ANY, LOCATED WITHIN THE PROPOSED DRIVING, PARKING AND ROADWAY LOCATIONS.
15. OBTAIN APPROVAL OF THIS SPECIFICATION FROM THE CONTRACTOR FOR THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS BUT NOT LIMITED TO; ROAD CUT PERMITS, SEWER PERMITS, WATER PERMIT, ETC.
16. ALL MATERIALS AND UTILITIES CONNECTION POINTS AND CROSSINGS (IE. STORM SEWER, SANITARY SEWER, WATER, ETC.) THE CONTRACTOR SHALL DETERMINE THE PRECISE LOCATION AND DEPTH OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER BEFORE COMMENCING WORK.
17. ALL EXISTING CONSTRUCTION SHALL BE AS PER OPSD 310.010 & OPSD 310.050.
18. EXISTING BUILDINGS REQUIRE A CCTV INSPECTION AND REPORT TO ENSURE EXISTING SERVICES TO BE RE-USED ARE IN GOOD WORKING ORDER AND MEET CURRENT MINIMUM SIZE REQUIREMENTS.
19. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT CITY OF OTTAWA (COA) STANDARDS AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPSS & OPSD); SEWER AND WATERMAIN MATERIAL TYPES AND DISINFECTION.
20. SUPPLY AND CONSTRUCT ALL SEWERS AND APPURTENANCES IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPSS & OPSD); ROADS AND PUBLIC WORKS.

1. SEWER BEDDING AS PER PIPE TRENCH DETAIL WITH GRANULAR A" BEDDING COMPACTED TO 95% OF ITS SPMD.
2. ALL WORK SHALL BE PERFORMED, AS APPLICABLE IN ACCORDANCE WITH OFPS-0470, AND #10.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE COMMENCING ANY WORK.
4. ALL STORM PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE STORM PIPE TRENCH DETAIL.
5. INSULATE ALL STORM PIPES WITH LESS THAN 2.0m COVER AND ALL SANITARY PIPES WITH LESS THAN 2.1m COVER WITH APPROPRIATE DEPTH OF THERMAL INSULATION AS PER CITY OF OTTAWA SEWER DESIGN GUIDELINES SECTION 6.1.1.1.
6. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANHOLE DETAIL.
7. FLEXIBLE CONNECTIONS ARE REQUIRED FOR CONNECTION SEWER PIPES TO MANHOLES. SANITARY RUBBER GASKET TYPE JOINTS TO CONFORM TO CSA.
8. QUALITY CONTROL PROGRAM, FIELD TESTS, LEAKAGE & DYE TESTS TO BE COMPLETED IN ACCORDANCE TO OTTAWA SEWER DESIGN GUIDELINES SECTION 6.1.1.4 AND 6.1.1.5.

8. ALL SANITARY GRAVITY SEWER SHALL BE PVC SDR 35, IPEX RING-TIE (OR APPROVED EQUIVALENT) PER CSA STANDARD B182.2 OR LATEST AMENDMENT, UNLESS SPECIFIED OTHERWISE.
9. EXISTING MAINTENANCE STRUCTURES TO BE RE-BENCHED WHERE A NEW CONNECTION IS MADE.
10. SANITARY GRAVITY SEWER TRENCH AND BEDDING SHALL BE PER CITY OF OTTAWA STD. S6 AND S7, CLASS 'B' BEDDING, UNLESS SPECIFIED OTHERWISE.
11. SANITARY MAINTENANCE STRUCTURE FRAME AND COVERS SHALL BE PER CITY OF OTTAWA STD. S24 AND S25.
12. SANITARY MAINTENANCE STRUCTURES SHALL BE BENCHED PER OPSD 701.021.

13. STORM GRAVITY SEWER TRENCH AND BEDDING SHALL BE PER CITY OF OTTAWA SDT 56 AND ST 7, CLASS "B" BEDDING
UNLESS SPECIFIED OTHERWISE. BEDDING AND COVER MATERIAL TO BE SPECIFIED BY GEOTECHNICAL ENGINEER.
14. ALL CATCH BASIN LEADS ARE TO BE SDT 30 APPROVED PER C.S.A. B162.2 OR LATEST AMENDMENT, 1 ESS
UNLESS OTHERWISE SPECIFIED.
15. CATCH BASINS SHALL BE IN ACCORDANCE WITH OSPO 705 010.
16. CATCH BASIN LEADS SHALL BE 200mm DIA. AT 1.0% SLOPE, UNLESS SPECIFIED OTHERWISE.
17. ALL CATCH BASINS SHALL HAVE 600mm SUMPS, UNLESS SPECIFIED OTHERWISE.
18. ALL CATCH BASIN LEAD INVERTS TO BE 1.5m BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE.
19. STORM MAINTENANCE STRUCTURE FRAME AND COVERS SHALL BE PER CITY OF OTTAWA SDT 25 AND S24.1, UNLESS
SPECIFIED OTHERWISE.
20. CATCHBASIN FRAME AND COVER SHALL BE PER SDP 400 010 UNLESS OTHERWISE NOTED.

1. PROPOSED WATER SERVICE TO BE 2.4m below grade, WHERE LESS THAN 2.4M COVER, THERMAL INSULATION IS TO BE PROVIDED AS PER COO STD. DWGS. W/2 (DITCHED AREAS), W/22 (SHALLOW TRENCHES), W/23 (AT OPEN STRUCTURES) AND CITY OF OTTAWA DESIGN GUIDELINES (COODG)- WATER DISTRIBUTION (WD SECTION 4.3.13).

2. WATER SERVICE TO BE INSTALLED IN CONCRETE CLASS 30 OR APPROVED EQUIVALENT.

3. WATERMAIN TRENCH AND BEDDING SHALL BE IN ACCORDANCE WITH OPSD 802.018/02.010 AND CITY OF OTTAWA STANDARD W17, UNLESS SPECIFIED OTHERWISE. BEDDING AND COVER MATERIAL SHALL BE GEOTECHNICAL CLASS 30 WATER MAIN COVER.

4. FIRE HYDRANT INSTALLATION AS PER CITY STD W16. ALL BOTTOM OF HYDRANT FLANGE ELEVATIONS TO BE INSTALLED 0.10m ABOVE PROPOSED FINISHED GRADE AT HYDRANT. FIRE HYDRANT LOCATION AS PER STD DWG W16 UNLESS OTHERWISE NOTED.

5. BUILDING SERVICE TO BE CAPED 0.10m OFF THE TOP OF THE BUILDING UNLESS OTHERWISE SPECIFIED AND MUST BE RESTRAINED WITH MINIMUM 150mm BACKFILL.

6. ALL WATERMAIN STUBS SHALL BE TERMINATED WITH A PLUG AND 500mm below OFF UNLESS OTHERWISE NOTED.

7. METALLIC WARNING TAPE SHALL BE USED OVER ALL WATERMAINS.

8. INSTALL AND TEST TRACER WIRE FOR ALL PROPOSED WATERMAIN IN ACCORDANCE WITH THE COODG-WD AS SPECIFIED IN SECTION 4.3.12 AND COO STD. DWG. W36.

9. WATER SHUTOFF VALVE AND VALVE BOX TO BE WITHIN THE ROW AND LOCATED A MINIMUM DISTANCE OF 1.0 M FROM THE BUILDING FOUNDATION (IF APPLICABLE). TYPICAL PIPING SHALL BE AS PER COO STD. DWG W40 (≥ 100mm SERVICE CONNECTION). VALVE BOX ASSEMBLY AS PER COO STD DWG. W24.

10. ALL CONNECTIONS, RESTRAINT RODS AND VALVE BOLTS TO BE STAINLESS STEEL AS PER COODG - WATER DISTRIBUTION SECTION 4.3.11 AND COO STD DWGS.

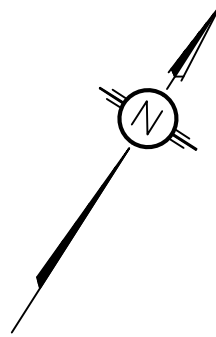
11. VALVE BOXES TO BE OPERATED BY KEY ONLY.

12. NO CONNECTION TO EXISTING WATER NETWORK SHALL BE COMPLETED UNTIL A WATER PERMIT IS OBTAINED FROM THE CITY OF OTTAWA (COO). COA FORCES TO COMPLETE WATER CONNECTIONS, EXCAVATION, BACKFILLING AND RENSTAMENTS TO BE COMPLETED BY CONTRACTOR.

13. CATHODIC PROTECTION AS PER OPSD 1109.010, COADG - WATER DISTRIBUTION SECTION 4.8.3 AND COO STD. DWGS. W39 (D1), W40 (PVC) AND/OR W41-W45 & 48 AS APPLICABLE.

14. FIRE PROTECTING SITSING PER A654 CO-806-5 & COADS - WATER DISTRIBUTION SECTION 4.8.13.

15. CHLORINATION AS PER AWA C-656, COADS - WATER DISTRIBUTION SECTION 4.6.13 & COO STD. DWG. W46.



	EXISTING PROPERTY LINE TO REMAIN
	PROPOSED CURB
	PROPOSED EXISTING CURB
	PROPOSED TERRACING (3:1 MIN.)
	PROPOSED SILT FENCE AS PER OPD 219.110
	PROPOSED FENCE
	PROPOSED DOOR ENTRANCE/EXIT
	PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
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	PROPOSED OVERLAND MAJOR FLOW ROUTE
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	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING GAS LINE
	EXISTING MANHOLE
	EXISTING CATCHBASIN
	PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED CURB STOP
	PROPOSED PIPE INSULATION
	PROPOSED 100 YEAR HIGH WATER LEVEL
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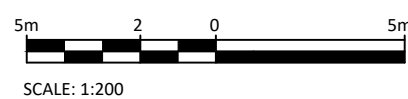
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00	ISSUED FOR APPROVAL	M.B.	18 JUNE 2021
No.	REVISIONS	BY	DATE

NOT AUTHENTIC UNLESS SIGNED AND DATED



LRJ

ENGINEERING | INGENIERIE

5430 Canotek Road | Ottawa, ON, K1J 9G5
www.lrl.ca | (613) 842-3434

CLIENT _____

FIRM CAPITAL

DESIGNED BY: _____ DRAWN BY: _____ APPROVED BY: _____

M.B. A.O. M.B.

PROJECT _____

PROPOSED 3-STOREY LOW-RISE APARTMENT BUILDING
1435 & 1455 MORISSET AVE, OTTAWA (ON)

DRAWING TITLE

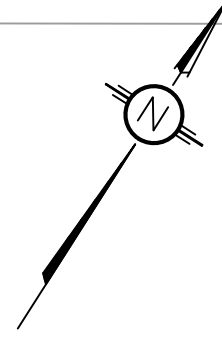
SERVICING PLAN

PROJECT NO. _____

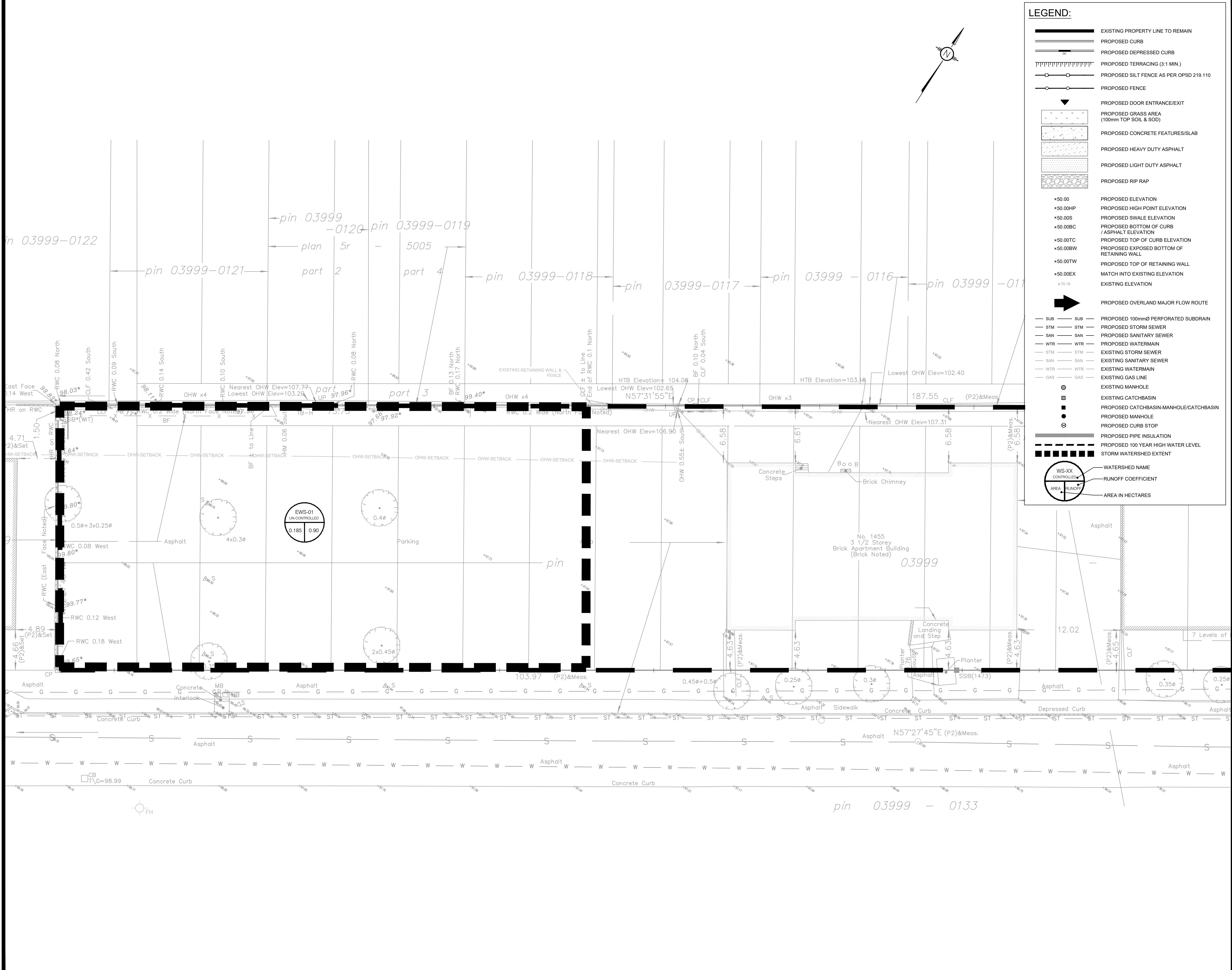
PROJECT NO. 200572

200372 C401

Crossing #	PROP. SAN	PROP. WM	PROP. STM	EX. STM (375mm)	EX. SAN (225mm)	Depth Separation (m)
CR-01	N/A	95.70 (obv.)	96.21 (inv.)	N/A	N/A	±0.5
CR-02	95.51 (obv.)	N/A	96.18 (inv.)	N/A	N/A	±0.7
CR-03	N/A	95.70 (obv.)	N/A	±95.99 (inv.)	N/A	±0.3
CR-04	95.39 (obv.)	N/A	N/A	±95.97 (inv.)	N/A	±0.6
CR-05	N/A	95.60 (inv.)	N/A	N/A	±95.27 (obv.)	±0.3



DATE
JANUARY 2021



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00 ISSUED FOR APPROVAL M.B. 18 JUNE 2021

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www.lrl.ca | (613) 842-3434

CLIENT

FIRM CAPITAL

DESIGNED BY:	DRAWN BY:	APPROVED BY:
M.B.	A.O.	M.B.

PROJECT

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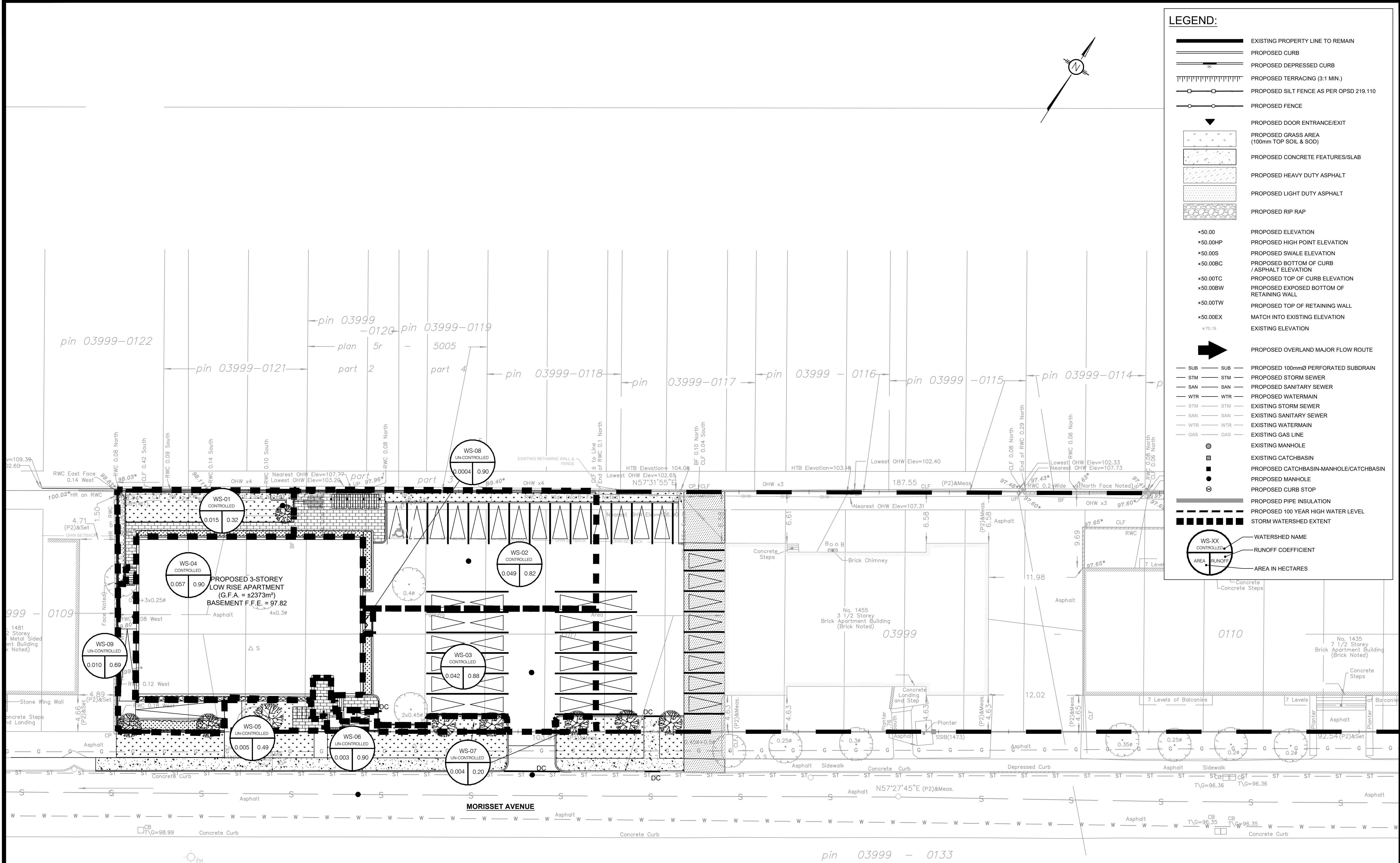
DRAWING TITLE

PRE-DEVELOPMENT
WATERSHED PLAN

PROJECT NO.
200572

DATE
JANUARY 2021

C701



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
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SCALE: 1:200

LRL
LICENSED PROFESSIONAL ENGINEER
M. BASNET
100501996
2021-06-18
PROVINCE OF ONTARIO

00	ISSUED FOR APPROVAL	M.B.	18 JUNE 2021
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PROJECT		

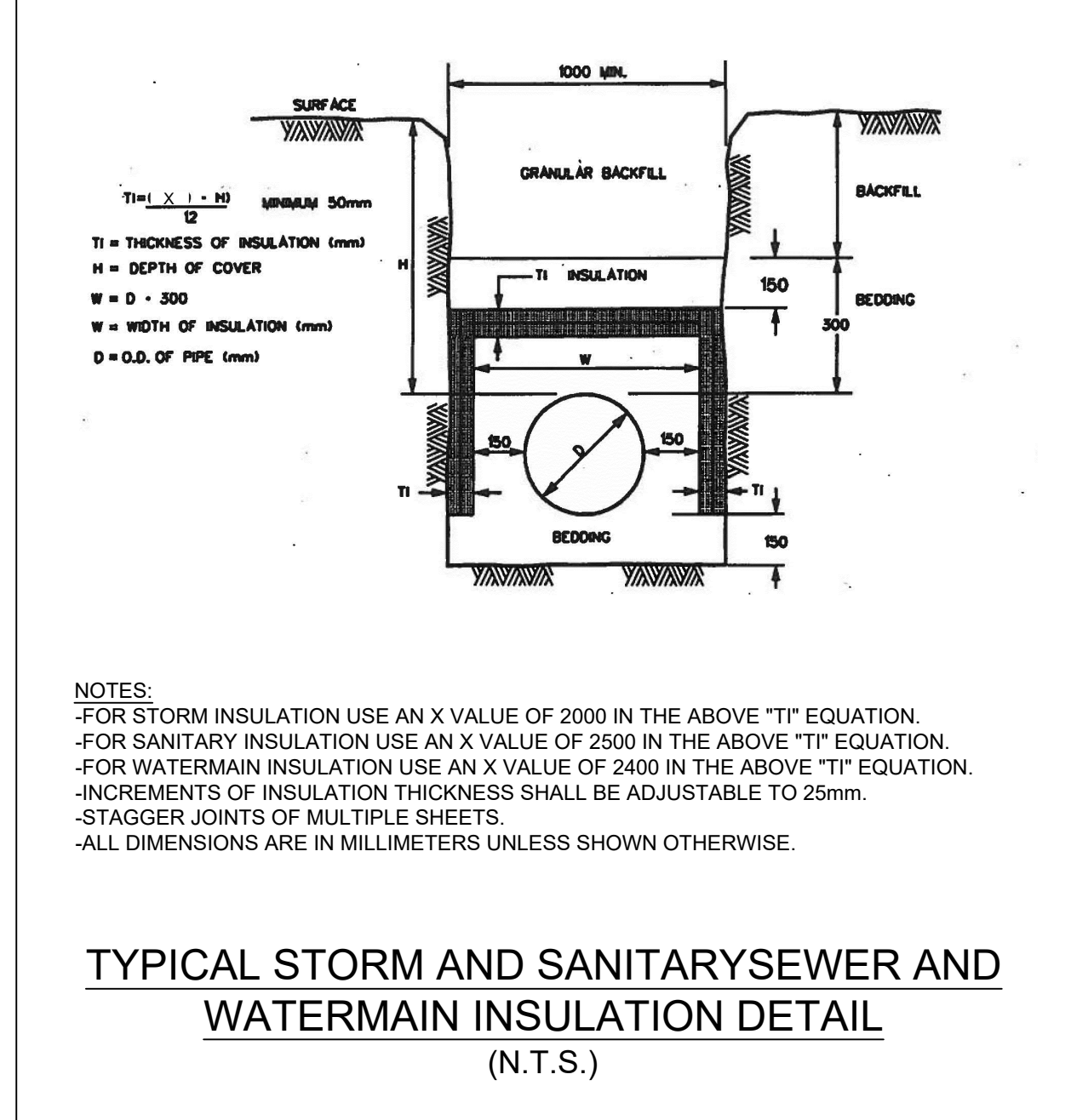
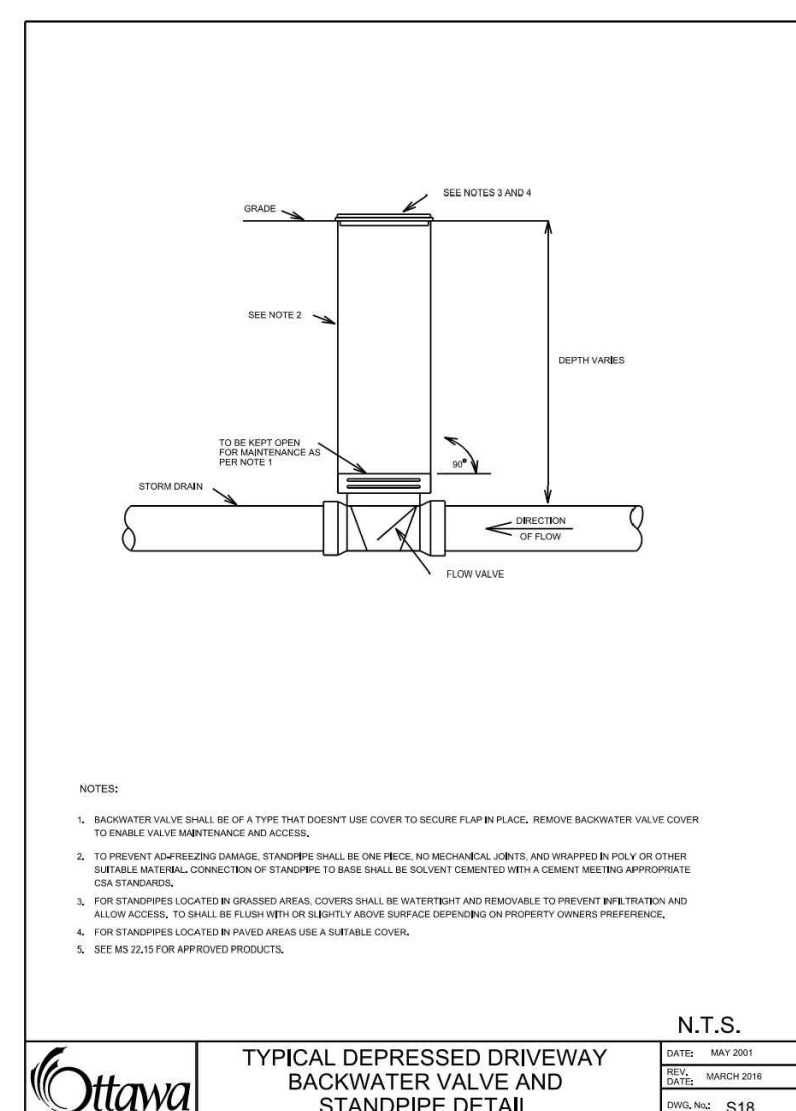
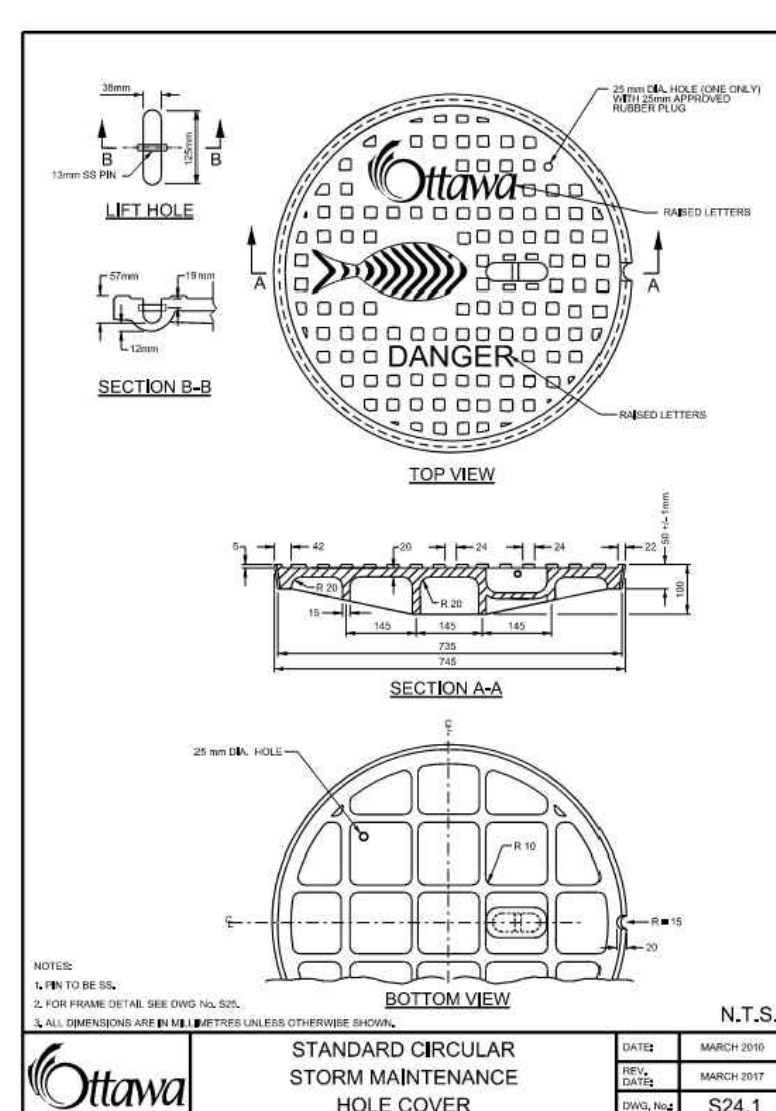
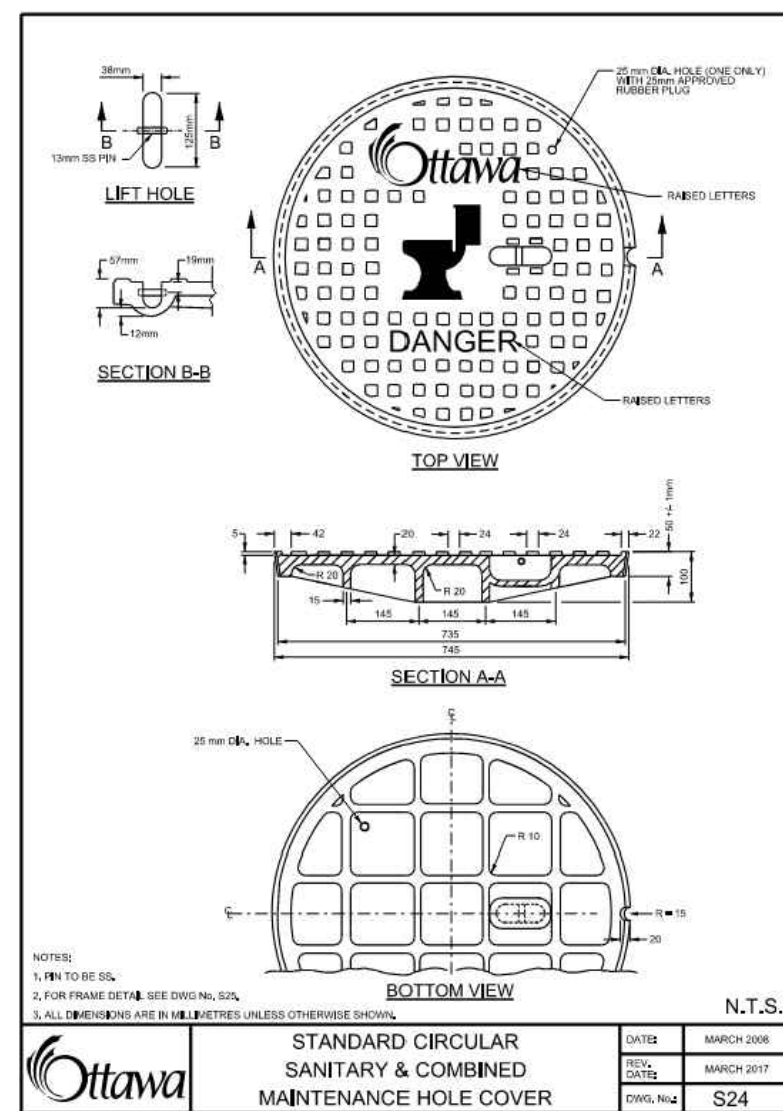
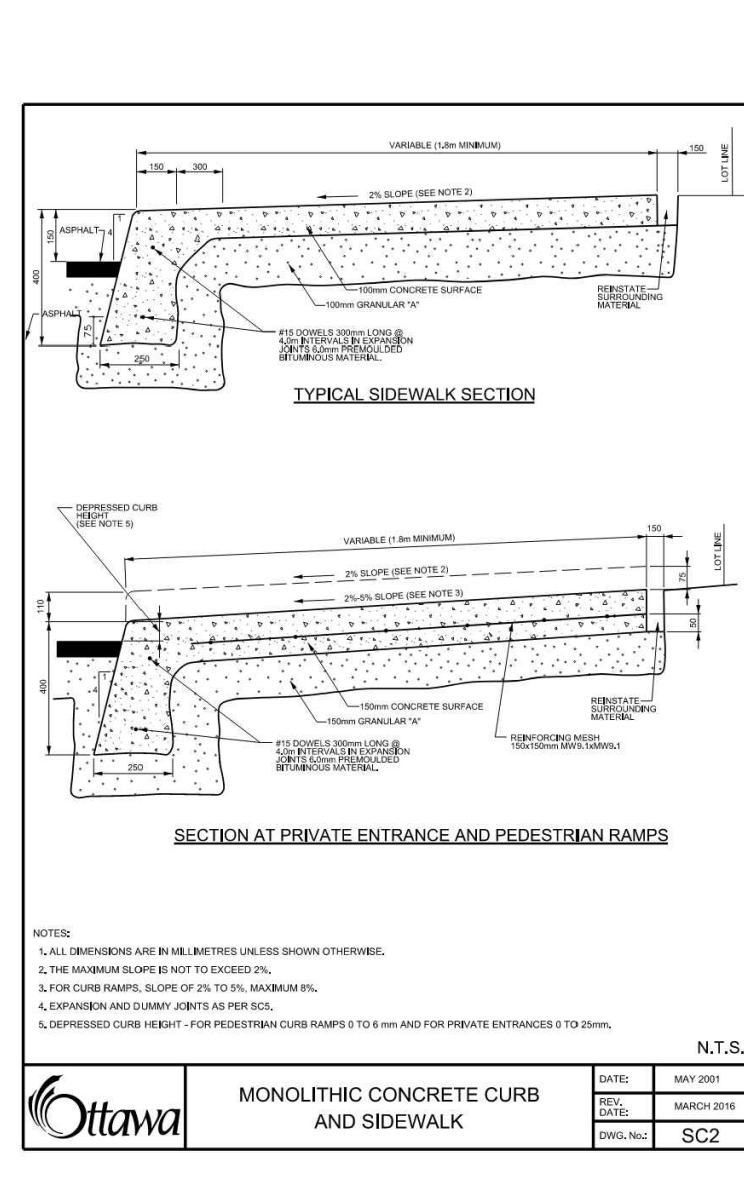
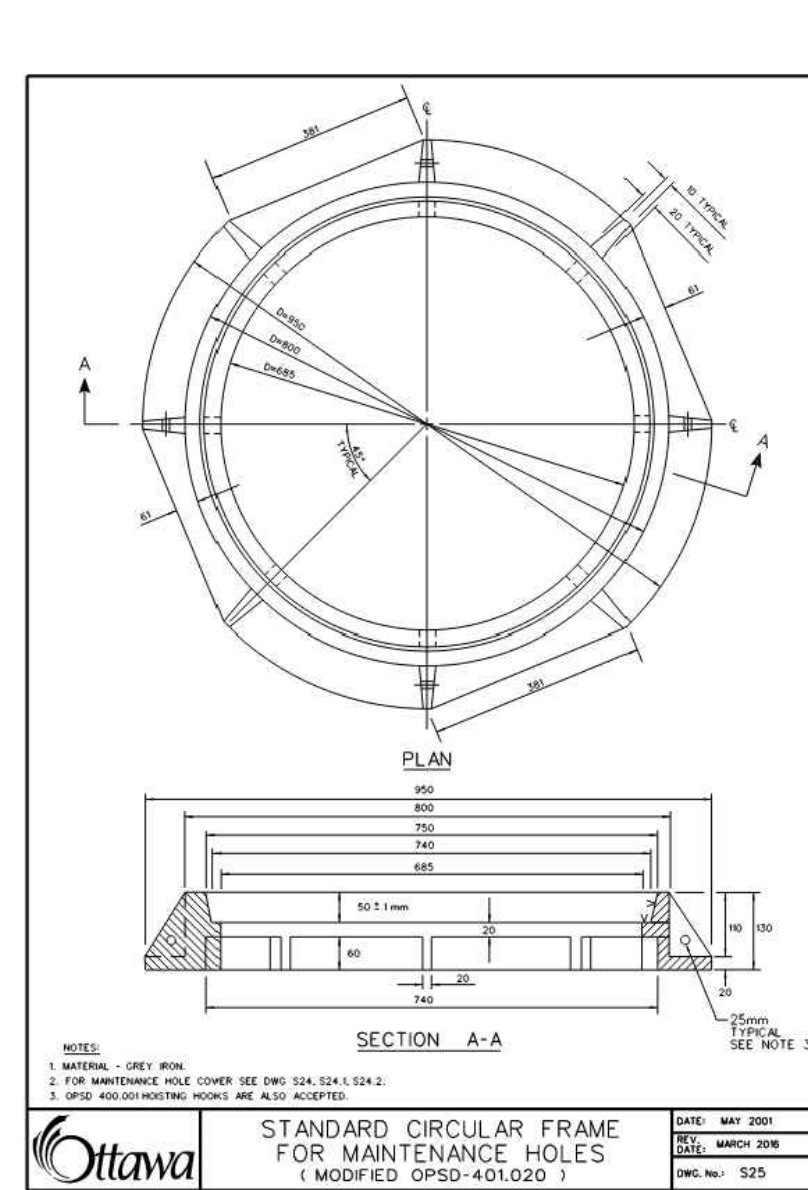
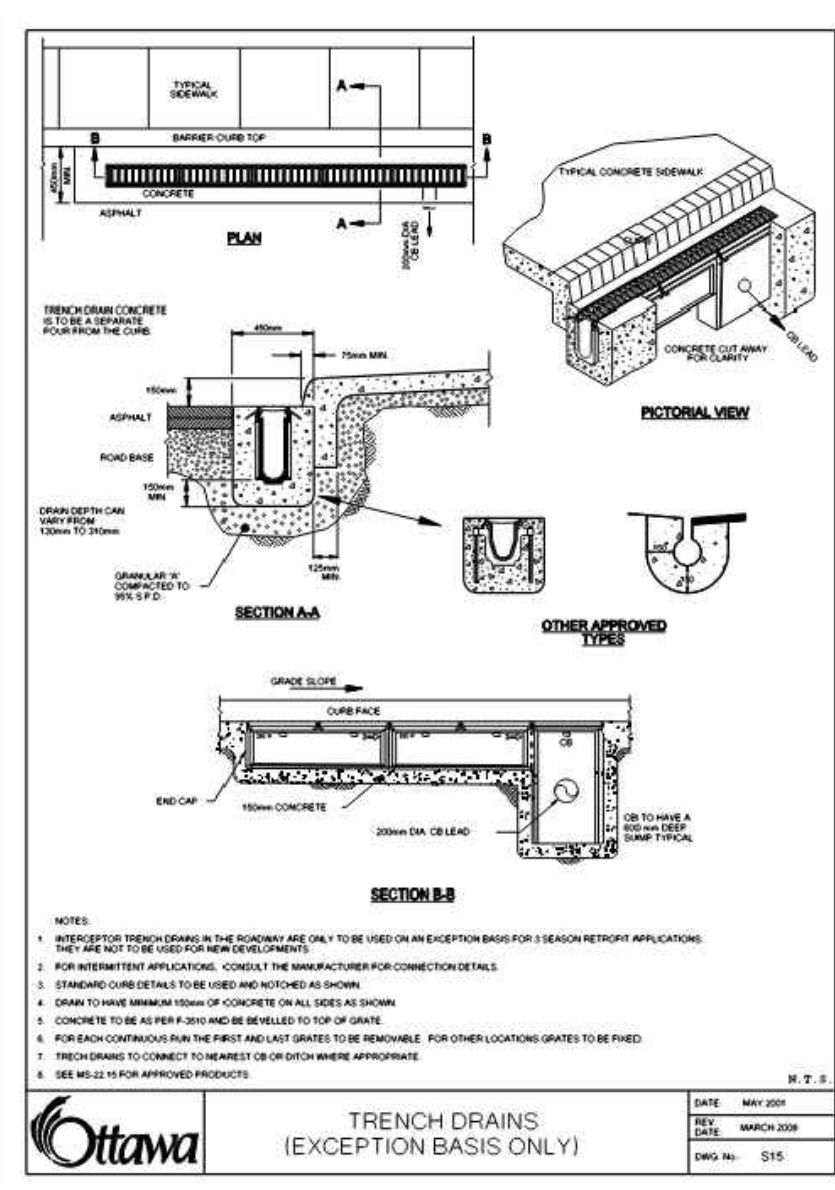
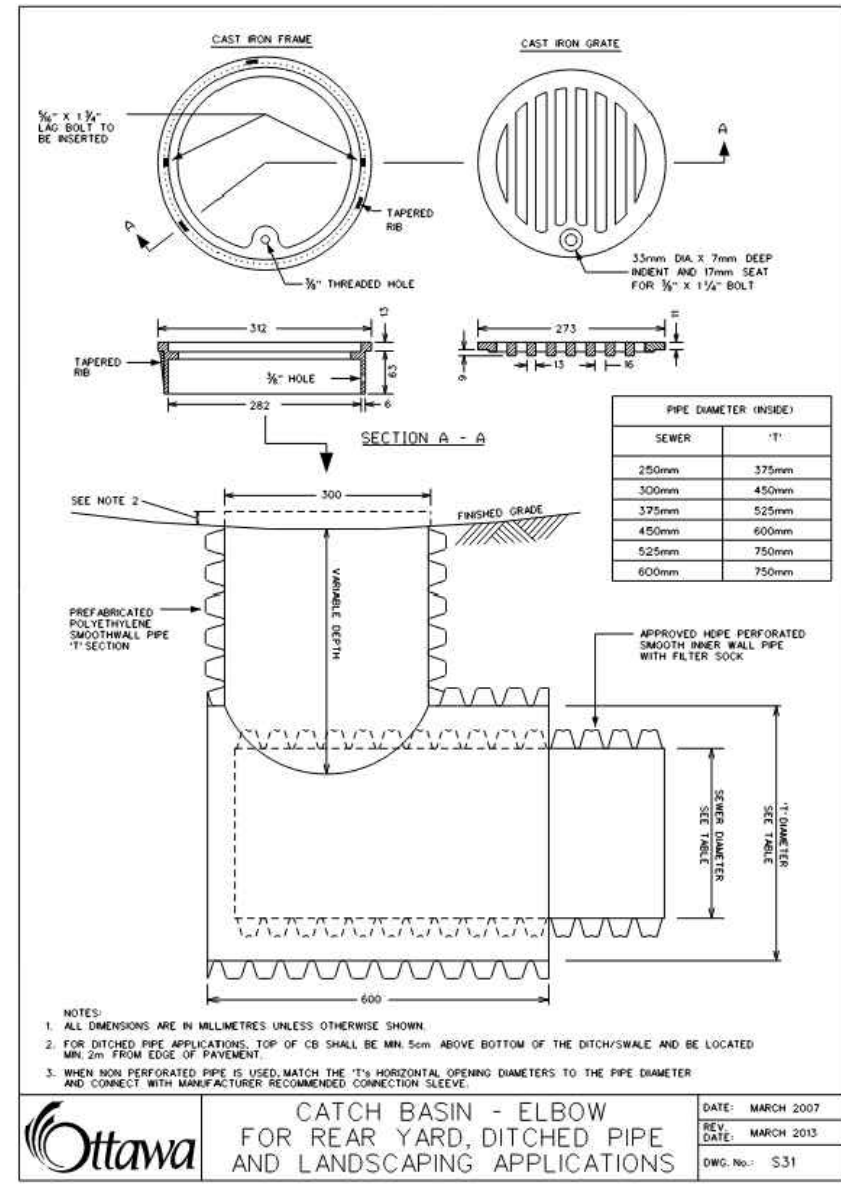
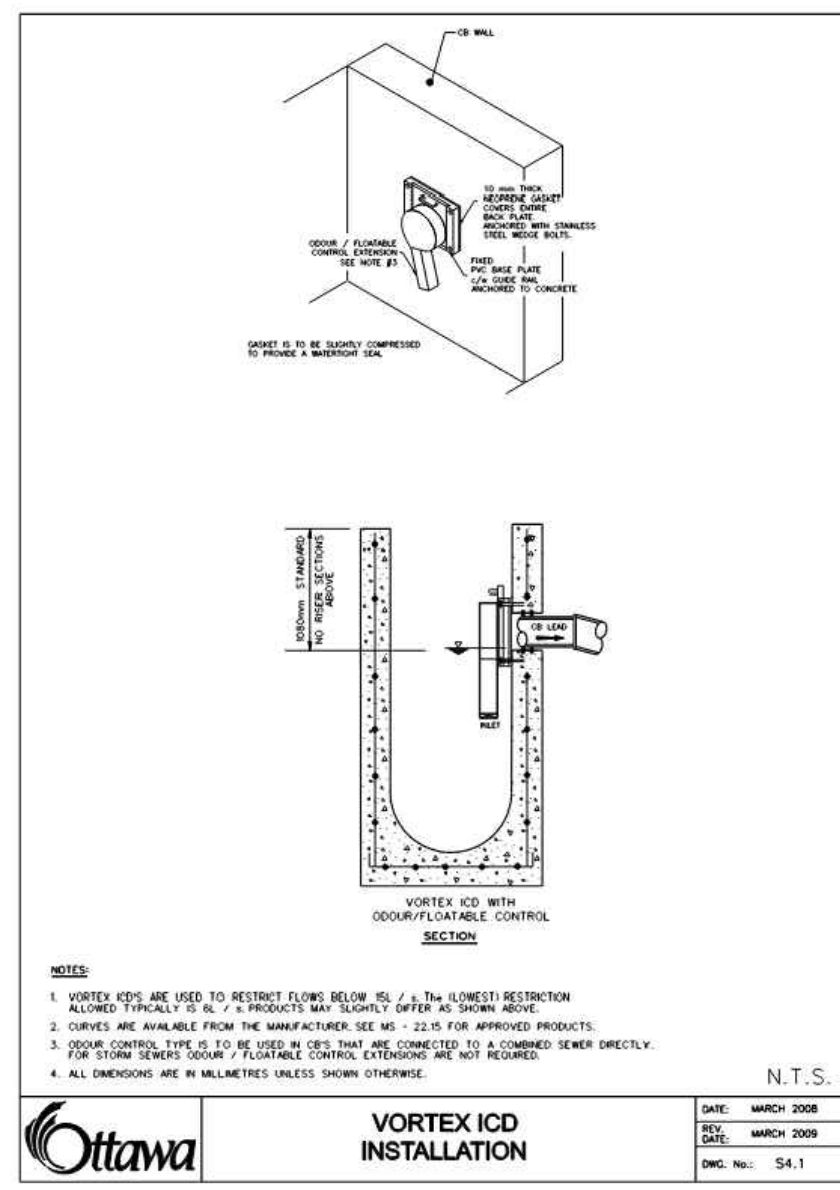
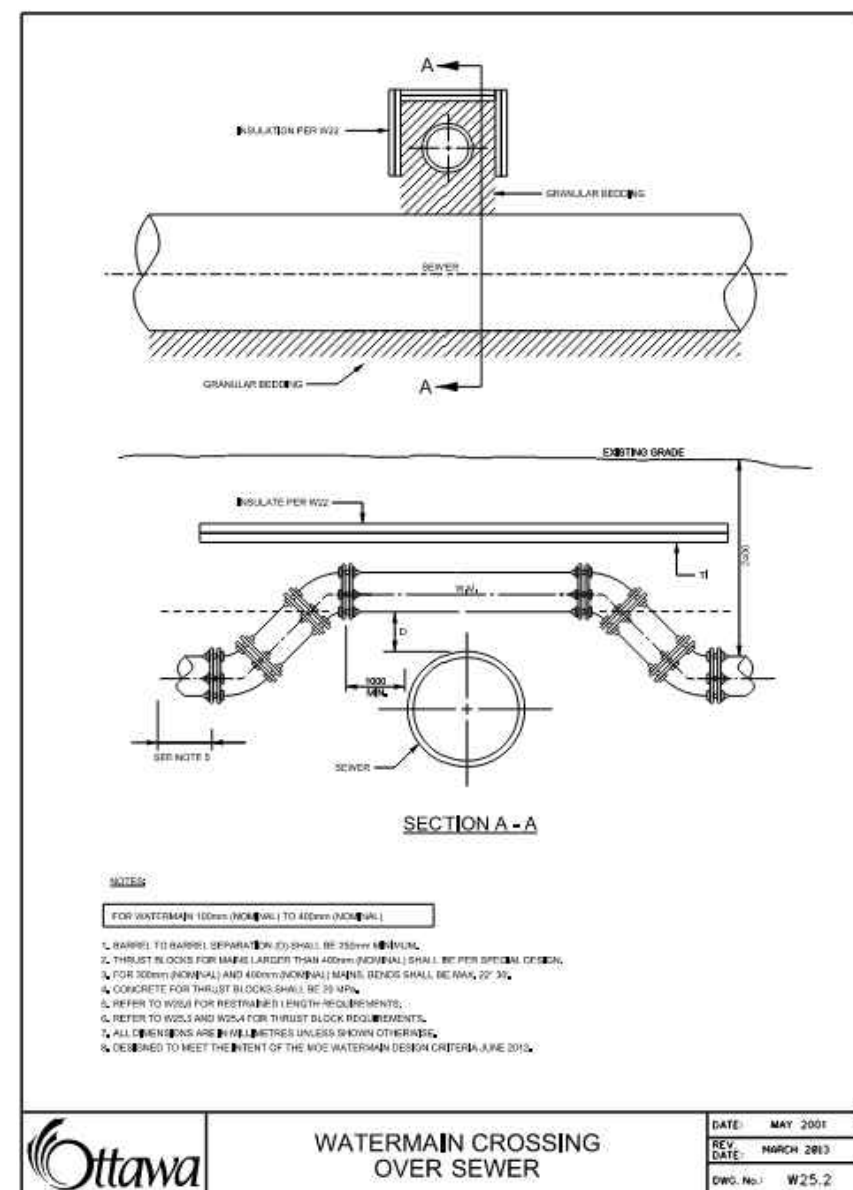
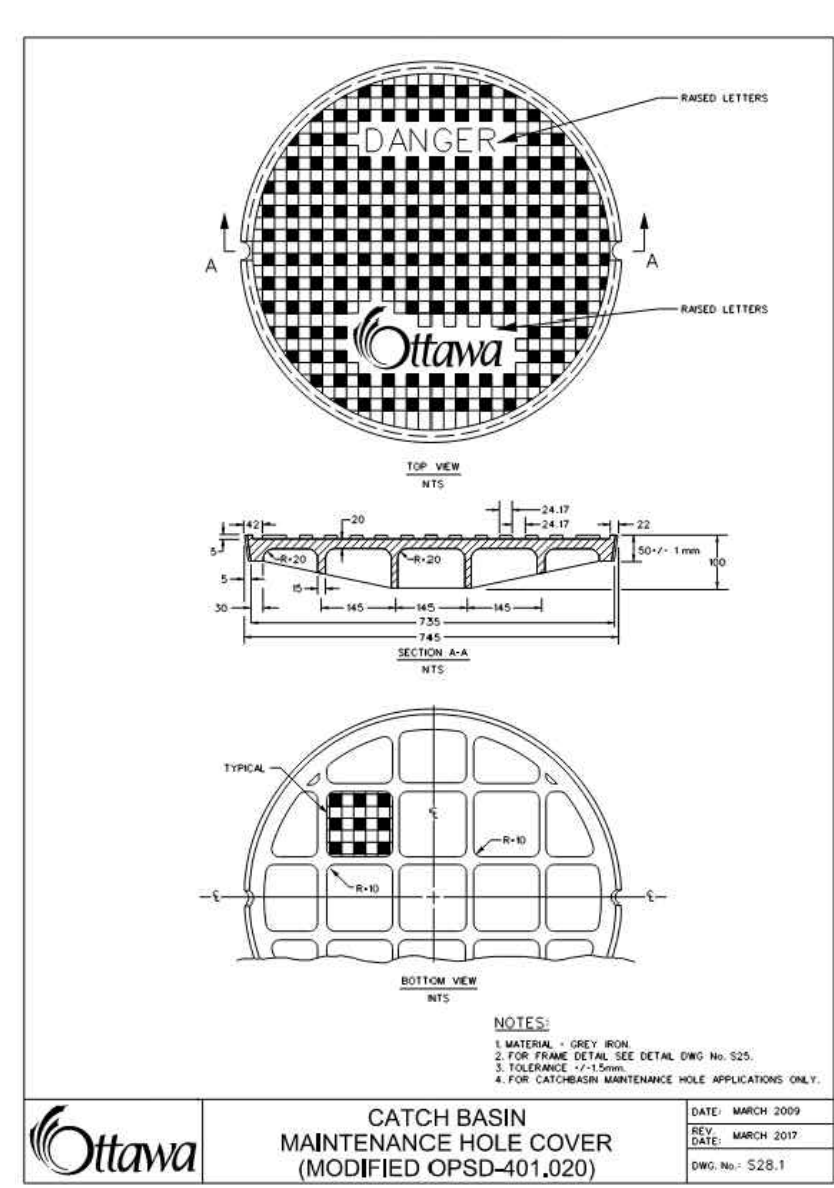
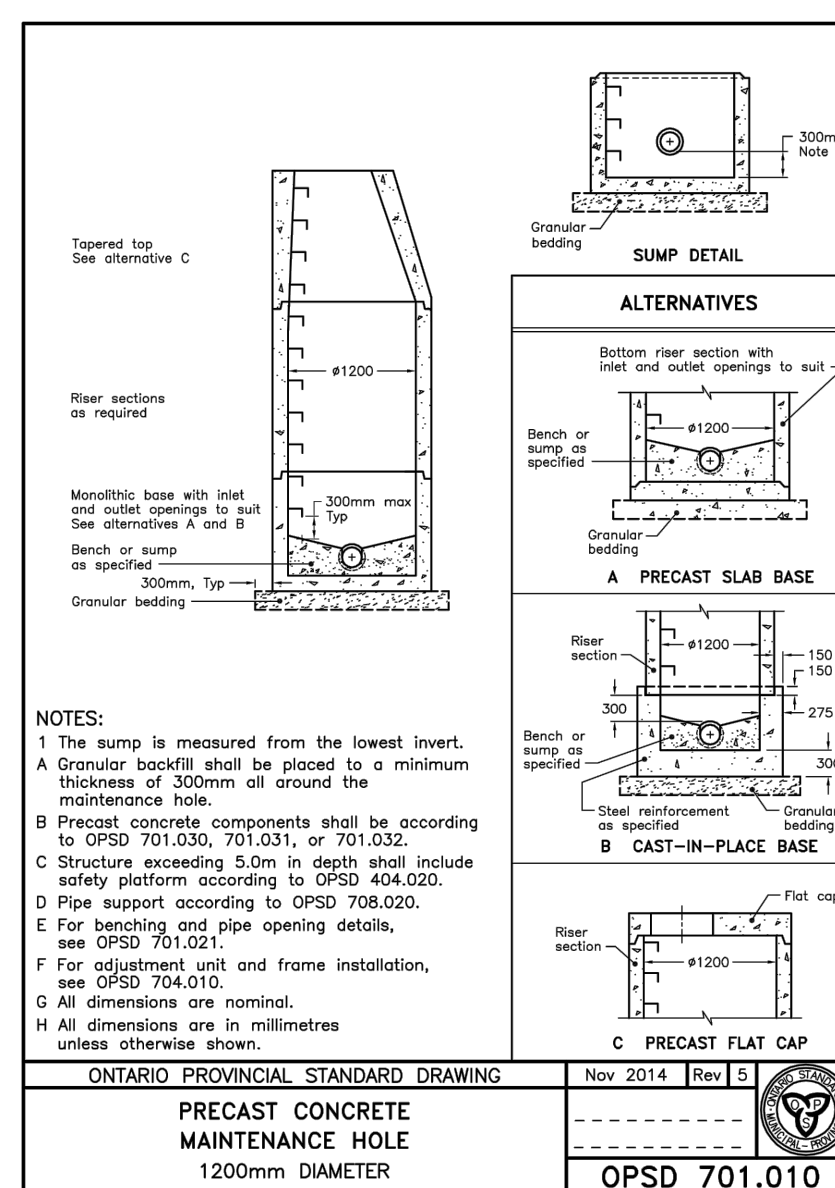
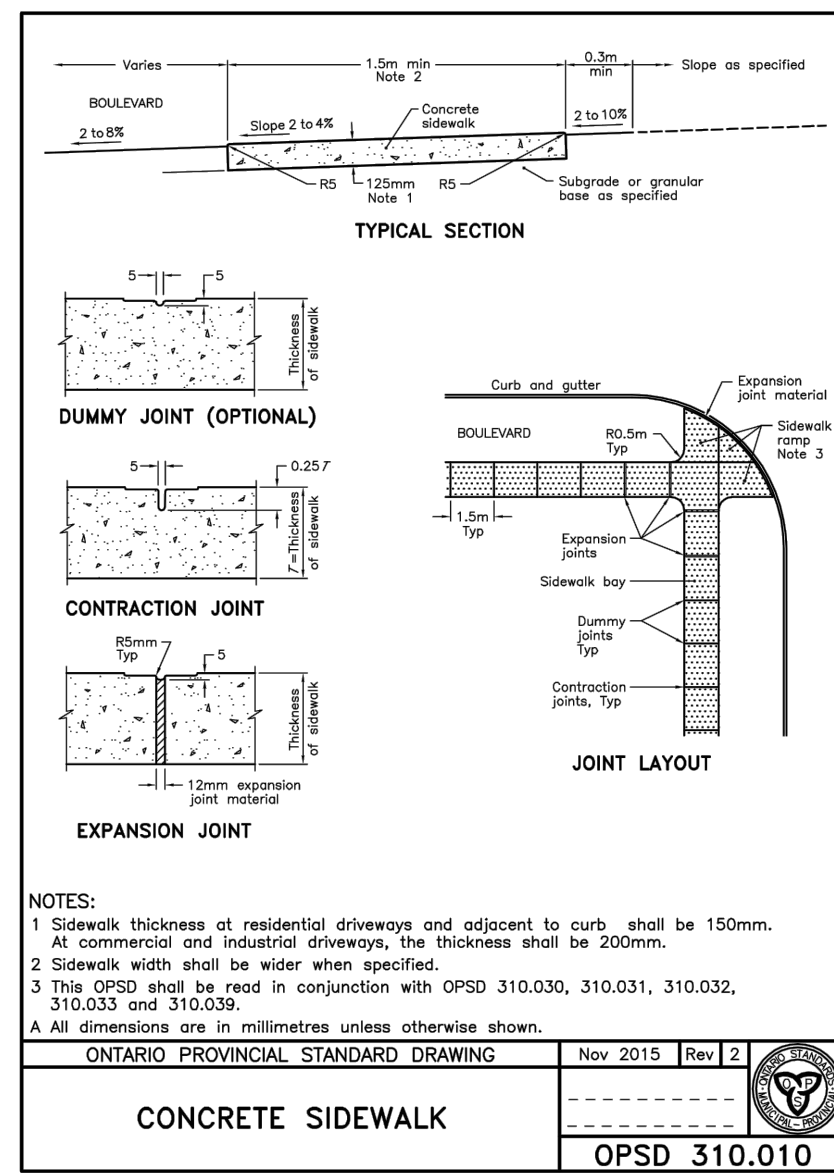
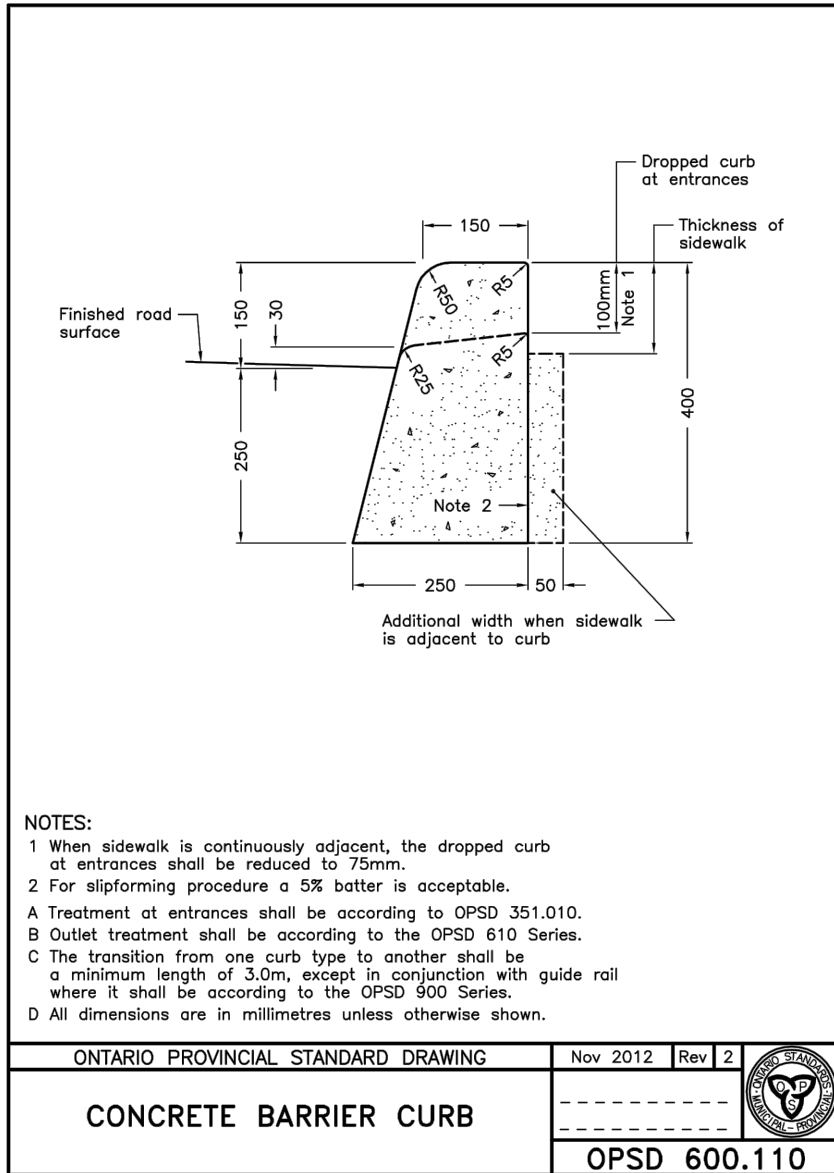
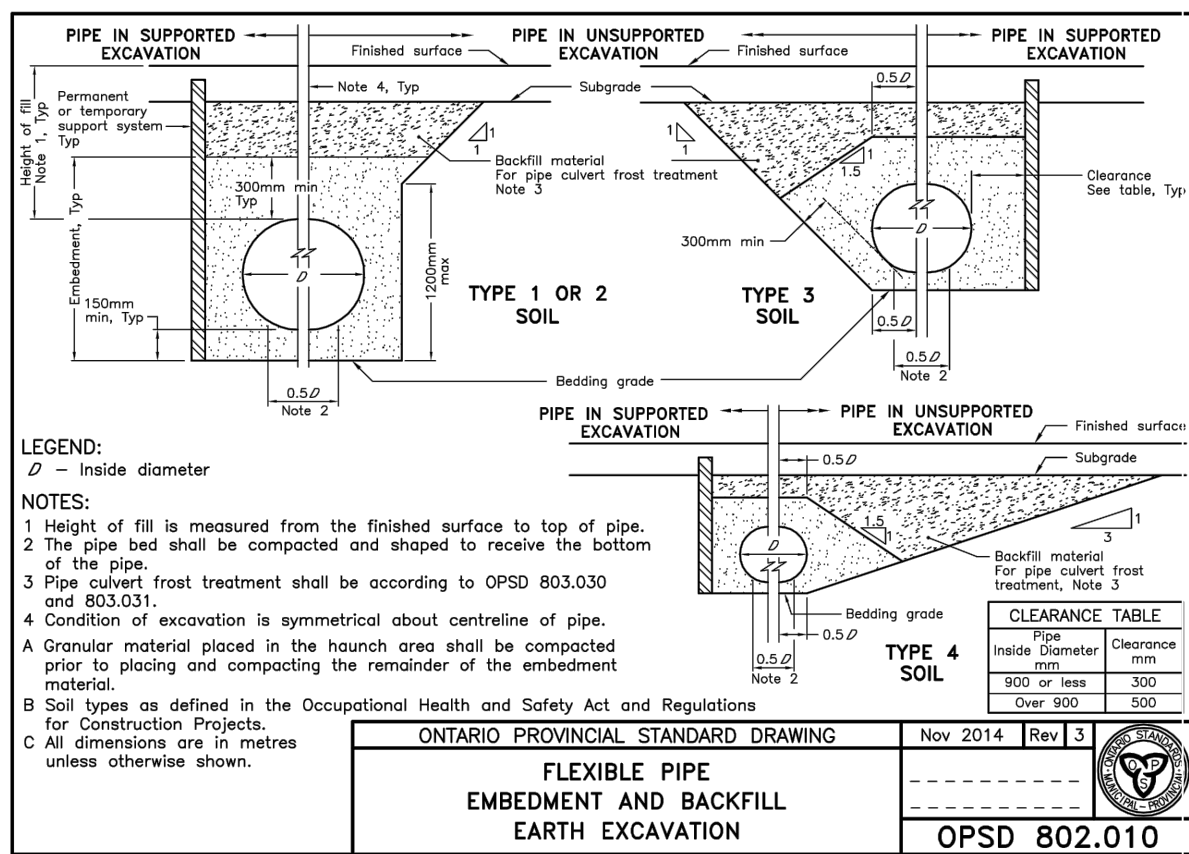
DRAWING TITLE

POST-DEVELOPMENT
WATERSHED PLAN

PROJECT NO.
200572

DATE
JANUARY 2021

C702



USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENTS, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDUMS AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER CONFIRMS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR CONFIRMS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD FILES OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, INCLUDING REPEATS OF THE PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.

UNLESS THE REVISION TITLE IS "ISSUED FOR CONSTRUCTION", THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO DO THE WORK, OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THESE DRAWINGS EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL DETERMINE ALL CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR KNOWING HOW THEY AFFECT THE WORK. SUBMITTAL OF A BID TO PERFORM THIS WORK IS A KNOWLEDGEABLE ACKNOWLEDGEMENT OF THE RESPONSIBILITIES, AND THAT THEY HAVE BEEN FULLY CONSIDERED IN PLANNING OF THE WORK, AND THE BID PRICE. NO CLAIMS FOR EXTRA CHARGES DUE TO THESE CONDITIONS WILL BE FORTHCOMING.

UNAUTHORIZED CHANGES

IN THE EVENT THE CLIENT, THE CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY LRI ASSOCIATES LTD. (LRI) WITHOUT OBTAINING LRI'S PRIOR WRITTEN CONSENT, THE CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST LRI, AND TO RELEASE LRI FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH UNAUTHORIZED CHANGES.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

IN ADDITION, THE CLIENT AGREES TO INCLUDE IN ANY CONTRACTS FOR CONSTRUCTION APPROPRIATE LANGUAGE THAT PROHIBITS THE CONTRACTOR OR ANY SUBCONTRACTORS OF ANY TIER FROM MAKING ANY CHANGES OR MODIFICATIONS TO LRI'S CONSTRUCTION DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF LRI, AND THAT FURTHER REQUIRES THE CONTRACTOR TO INDEMNIFY BOTH LRI AND THE CLIENT FROM ANY LIABILITY OR COST ARISING FROM SUCH CHANGES MADE WITHOUT SUCH PROPER AUTHORIZATION.

EXISTING SERVICES AND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT MAY NOT BE COMPLETE OR TO DATE. CONTRACTOR SHALL VERIFY IN FIELD FOR LOCATION AND ELEVATION OF PIPES AND CHECK WITH THE UTILITY COMPANIES BEFORE DIGGING OR PERFORMING WORK.

CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

THE ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

NOT AUTHENTIC UNLESS SIGNED AND DATED

No.	REVISIONS	BY	DATE
00	ISSUED FOR APPROVAL	M.B.	18 JUNE 2021

ENGINEERING | INGENIERIE

5430 Canotek Road | Ottawa, ON, K1J 9G2

www.lri.ca | (613) 842-3434

CLIENT		
FIRM CAPITAL		
DESIGNED BY:	DRAWN BY:	APPROVED BY:
M.B.	A.O.	M.B.
PROJECT		
PROPOSED 3-STORY LOW-RISE APARTMENT 1435 & 1455 MORISSET AVE, OTTAWA (ON)		
DRAWING TITLE		
CONSTRUCTION DETAIL PLAN		
PROJECT NO.		
200572		
DATE		
JANUARY 2021		