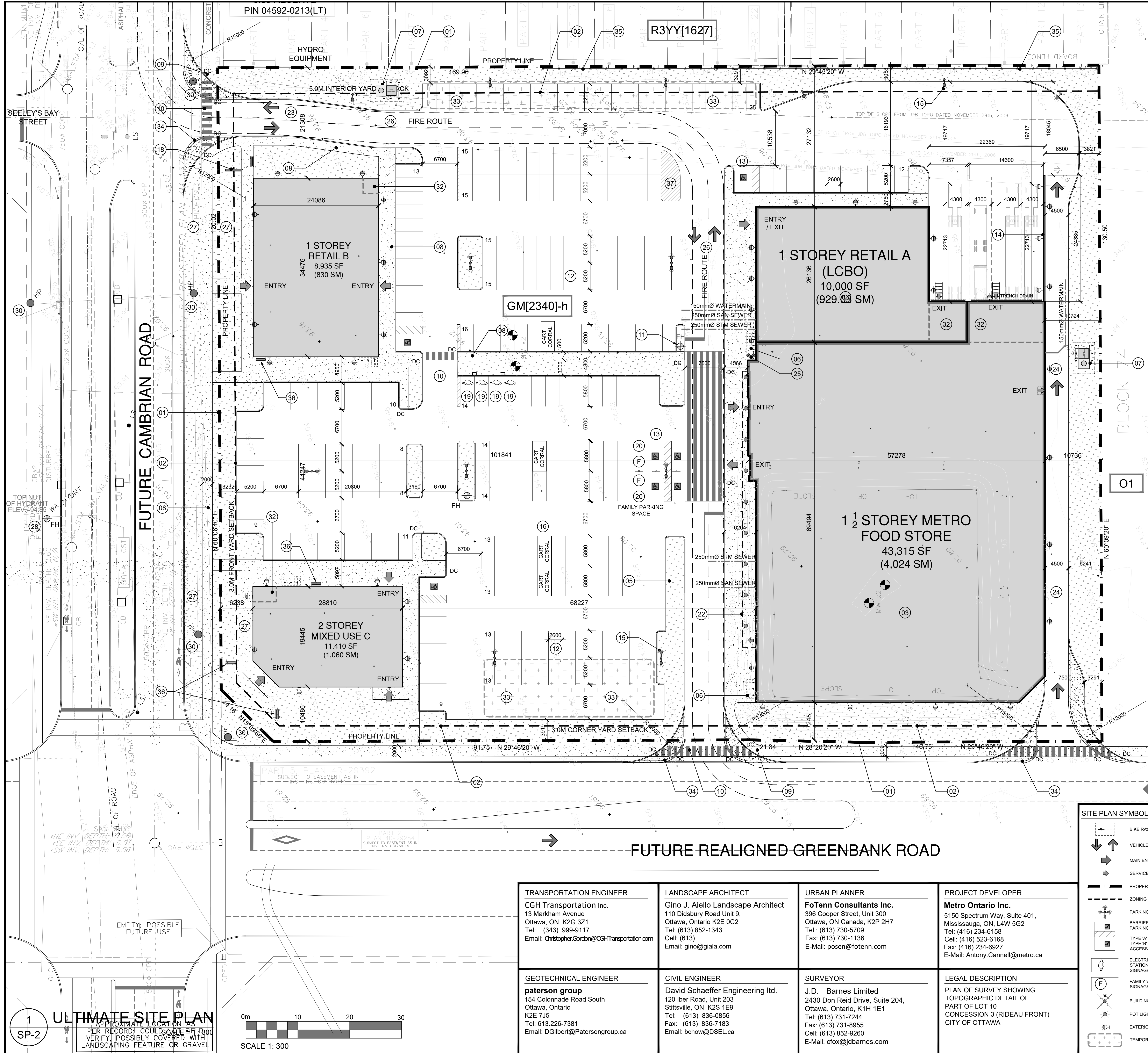




PROJECT INFORMATION

ZONING

GMM2340-h

SITE AREA

22,063.0 sq. m.
(237,404 sq. ft.)

BUILDING HEIGHT

6 Storeys or 24.0 M

FRONT YARD SETBACK

3.0 M

CORNER YARD SETBACK

3.0 M

INTERIOR YARD SETBACK

5.0 M

REAR YARD SETBACK

0.0 M

LANDSCAPE BUFFER AROUND A PARKING LOT

3.0 M

LOADING SPACE - METRO

1

LOADING SPACE - RETAIL 'A'

0

PARKING - FOOD STORE

-3.4 PER 100m² OF G.F.A.

PARKING - RETAIL

-3.4 PER 100m² OF G.F.A.

GROSS BUILDING - AREAS

G.F.A. - CITY OF OTTAWA'S DEFINITION

RETAIL FOOD - METRO

2,921.3 sq. m.
(31,445 sq. ft.)

RETAIL STORE 'A' (ESTIMATE)

696.8 sq. m.
(7,500 sq. ft.)

RETAIL STORE 'B' (ESTIMATE)

622.5 sq. m.
(6,700 sq. ft.)

MIXED USE 'C' (ESTIMATE)

795.0 sq. m.
(8,567 sq. ft.)

TOTAL AREA

5,035.1 sq. m.
(54,197 sq. ft.)

G.F.A. - BUILDING FOOTPRINT

4,024.0 sq. m.
(43,315 sq. ft.)

RETAIL FOOD - METRO

49,310 sq. ft.

RETAIL STORE 'A'

10,000 sq. ft.

RETAIL STORE 'B'

8,300 sq. ft.

MIXED USE 'C'

10,660 sq. ft.

TOTAL AREA

6,843.0 sq. m.
(73,650 sq. ft.)

CAR PARKING

REQUIRED

METRO - RETAIL FOOD

-3.4 PER 100 m² OF G.F.A.

RETAIL - BLDG 'A'

-3.4 PER 100 m² OF G.F.A.

RESTAURANT - BLDG 'B'

-3.4 PER 100 m² OF G.F.A.

1st FL. RETAIL - BLDG 'C'

-3.4 PER 100 m² OF G.F.A.

2nd FL. OFFICE - BLDG 'C'

-3.4 PER 100 m² OF G.F.A.

TOTAL

171

PROVIDED

METRO - RETAIL FOOD

RETAIL - BLDG 'A'

190

RETAIL - BLDG 'B'

30

1st FL. RETAIL - BLDG 'C'

25

2nd FL. OFFICE - BLDG 'C'

15

TOTAL

275

METRO PARKING SPACE

2.74 x 5.75 m

STANDARD PARKING SPACE

2.6 x 5.2 m

SMALL CAR PARKING SPACE

2.4 x 4.6 m

BARRIER FREE SPACE - TYPE A

3.4 x 5.2 m

BARRIER FREE SPACE - TYPE B

2.4 x 5.2 m

BICYCLE PARKING

REQUIRED

COMMERCIAL RETAIL

-1.0 PER 250m² OF G.F.A.

PROVIDED

COMMERCIAL RETAIL

LOADING

PROVIDED

COMMERCIAL RETAIL

-2,000m² & OVER OF G.F.A.

COMMERCIAL CAFE

-0m² TO 350m² OF G.F.A.

TOTAL

3

LOT COVERAGE

PAVED SURFACE = 10,464.1 sq. m. 47.4%

BUILDING FOOTPRINT = 6,281.0 sq. m. 28.5%

LANDSCAPE OPEN SPACE = 5,317.9 sq. m. 24.1%

TOTAL = 22,063.0 sq. m. 100.0%

DRAWING NOTES

1. PROPERTY LINE

2. BUILDING SETBACK LINE

3. PROPOSED COMMERCIAL BUILDING

4. FUTURE DEVELOPMENT AREA

5. LANDSCAPE ISLAND WITH 150mm BARRIER CURB

6. BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK

7. HYDRO EQUIPMENT

8. CONCRETE SIDEWALK, WIDTH AS NOTED

9. TWSI TO BE LOCATED AND INSTALLED AS PER CITY REQUIREMENTS

10. PEDESTRIAN CROSS WALK WITH DEPRESSION CURBS

11. FIRE HYDRANT

12. STANDARD PARKING SPACE (2.6 x 5.2 M)

13. BARRIER FREE PARKING SPACE

14. DROPPED GARBAGE / LOADING BAYS WITH SCREEN WALL

15. LIGHT STANDARD - LOCATION TO BE CONFIRMED

16. CART CORRAL

17. PAINTED ISLAND AND OR CURBS

18. PYLON SIGN

19. ELECTRIC VEHICLE SPACE WITH CHARGING STATION AND SIGNAGE

20. FAMILY PARKING SPACE WITH SIGNAGE

21. WATER STORAGE TANK, SEE CIVIL

22. BUILDING CANOPY

23. 2 WAY ACCESS DRIVEWAY / ROAD

24. 1 WAY ACCESS DRIVEWAY / ROAD

25. SIAMSE CONNECTION

26. FIRE ROUTE

27. SOFT LANDSCAPING

28. EXISTING FIRE HYDRANT

29. EXISTING LIGHT STANDARD

30. EXISTING HYDRO POLE

31. RELOCATE EXISTING LIGHT STANDARD

32. INTERNAL GARBAGE / RECYCLING AREA

33. TEMPORARY SNOW STORAGE AREA

34. MOUNTABLE CURB WITH CONCRETE TRUCK APRON

35. 3.0m HT. SOUND BARRIER FENCE

36. BENCH

37. PAINTED ISLAND

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

REVISED FOR 2nd ROUND OF COMMENTS

May 20, 21

REVISED FOR 1st ROUND OF COMMENTS

Apr. 20, 21

ISSUED FOR SITE PLAN CONTROL

Aug. 31, 20

ISSUED FOR CONSULTANT REVIEW

July 5, 20

REVISIONS:

ARCHITECT SEAL:

ARCHITECT: rla/architecture

roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6

Tel: 613.724.9932 F: 613.724.1209 rlaarchitecture.ca

PROJECT TITLE: METRO - BARRHAVEN

GREENBANK ROAD @ CAMBRIAN ROAD

OTTAWA ONTARIO

SHEET TITLE: ULTIMATE SITE PLAN

DRAWN: RV

CHECKED: R.V.

SCALE: 1:300

SHEET No. SP-2

PROJECT No. 1949

PAPER SIZE: ISO Full Bleed B1 (707.00 X 1000.00 MM) LOT DATE: Thursday, May 20, 2021 PLOT SCALE: 1:1 PEN STYLE: 0-RLA-MASTER-100%.ctb F:\2019\1949 - Greenbank @ Cambrian - Metro\01_Design Development\1949 Greenbank Metro SP-1 2021 05 12.dwg #