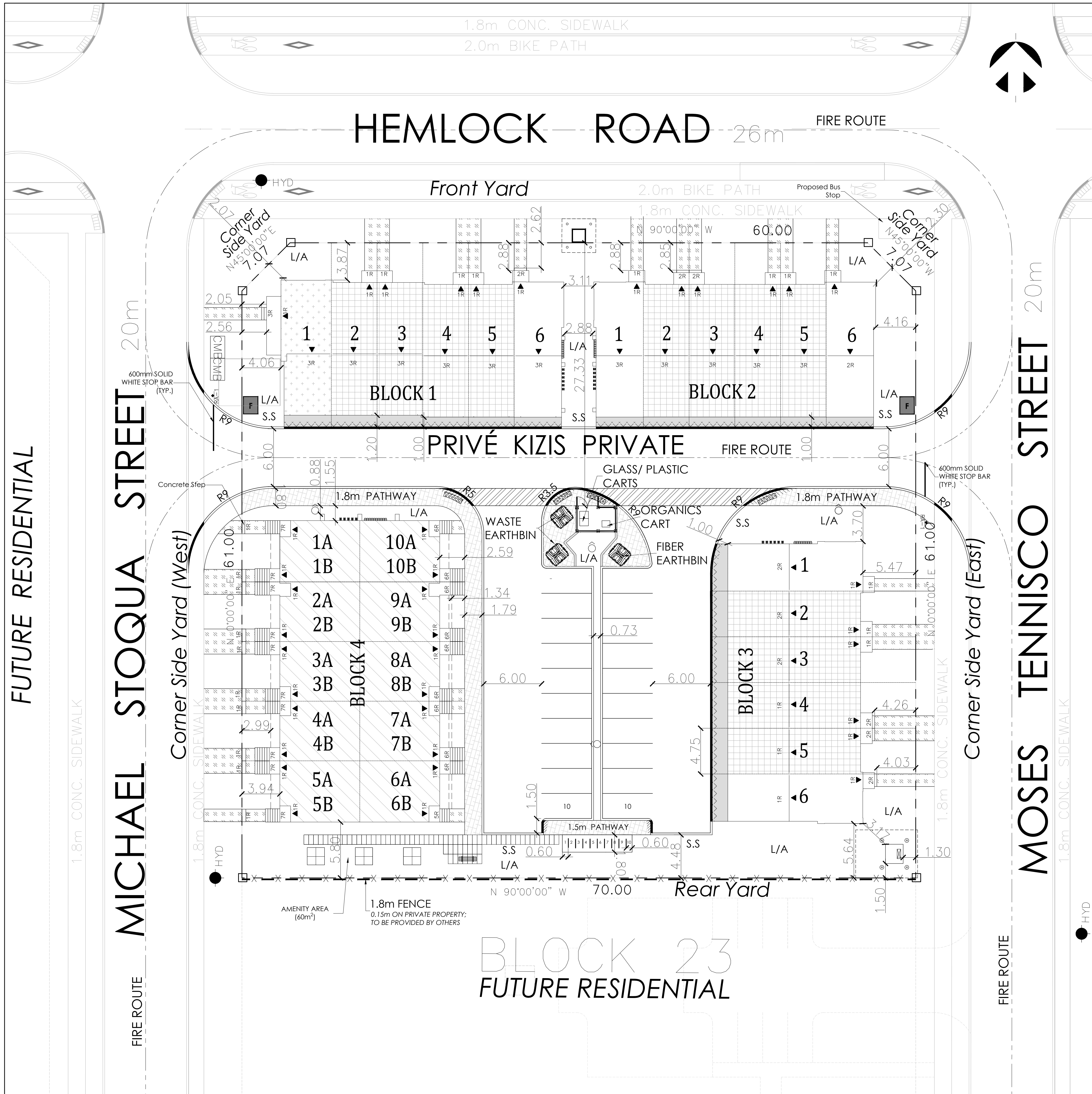




SITE STATISTICS AND DEVELOPMENT DATA	
SITE AREA	4,594.19 m ²
PAVED AREA	1,319.99 m ² (29%)
LANDSCAPED AREA	1,416.08 m ² (31%)
TOTAL BUILDING COVERAGE	1,858.12 m ² (40%)
TOTAL GROSS FLOOR AREA	4,647 m ²
TYPE A TOWNHOUSE MODEL (12)	1,702 m ²
TYPE B TOWNHOUSE MODEL (2)	312 m ²
TYPE C TOWNHOUSE MODEL (4)	622 m ²
STACKED TOWNS UPPER MODEL (10)	1,152 m ²
STACKED TOWNS LOWER MODEL (10)	859 m ²
DENSITY (UP/H)	82.6
ZONE CATEGORY	RSY[245]

DWELLING BLOCK		GROUND FLOOR	
	DWELLING TYPE	AREA (m2)	UNITS
BLOCK 1	REAR LANE TOWNS	402.49	6
BLOCK 2	REAR LANE TOWNS	402.49	6
BLOCK 3	REAR LANE TOWNS	401.88	6
BLOCK 4	STACKED TOWNS	500.72	20
TOTAL		1,707.58	38

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
164 (Table)	MIN. LOT WIDTH (m)	N/A	N/A
164 (Table)	MIN. LOT AREA (m ²)	1,400 m ²	4,594.19 m ²
164 (Table)	MAX. BUILDING HEIGHT (m)	11.00 m	10.63 m
239 (2457)	MIN. FRONT YARD SETBACK (m)	3.00 m	3.87 m
239 (2457)	MIN. CORNER SIDE YARD SETBACK (m)	3.00 m	3.94 m
164 (Table)	MIN. REAR YARD SETBACK (m)	3.00 m	5.64 m
164 (Table)	MIN. INTERIOR YARD SETBACK (m)	3.00 m	N/A
101 (Table)	RESIDENT PARKING - REAR LANE TOWNS (18 @ 0.75/unit)	14	18
	STACKED [20 @ 0.5/unit]	10	20
239 (2457)	VISITOR PARKING	0	0
131 (Table)(1)	MIN. WIDTH OF PRIVATE WAY (m)	6.00 m	6.00 m
239 (2457)	SETBACK OF ANY WALL OF A RES. BUILDING TO PRIVATE WAY (m)	1.00 m	1.00 m
239 (2457)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY (m)	1.00 m	1.00 m
111A (Table)	BICYCLE PARKING (STACKED TOWNS)	10 [0.5/unit]	10
137 (Table)(7)	MIN. STACKED TOTAL AMENITY AREA (6m ² per unit)	120 m ²	230 m ² * _k
	MIN. 50% OF THE REQUIRED TOTAL AMENITY AREA FOR COMMUNAL LANDSCAPED AREA	60 m ²	60 m ²
161(8)	MIN. % LANDSCAPED AREA	30%	30%

*Includes an average of $\pm 8.5\text{m}^2$ per unit for terraces

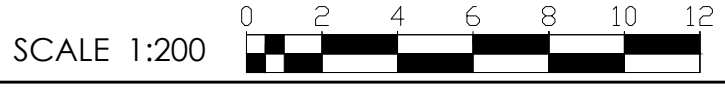
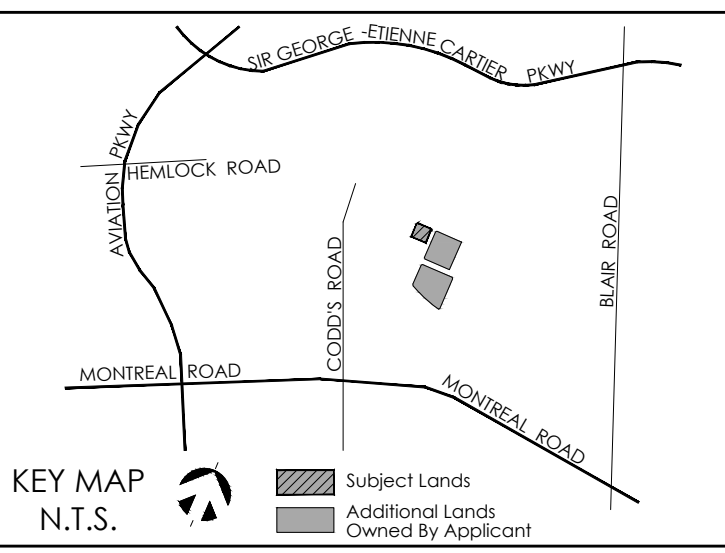
SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
65 (6)	PERMITTED PROJECTIONS INTO YARDS: COVERED OR UNCOVERED BALCONY, PORCH, DECK	2.00 m (MAX)	0.44 m
Table 65(5)	FIRE ESCAPES, OPEN STAIRWAYS, >10m	>1.0m to lot line	2.56 m
106 (1)(a)	MIN. PERPENDICULAR PARKING SPACE SIZE	>0.60m to lot line	1.35 m
239 (2457)	MIN. DRIVEWAY WIDTH TO PARKING LOT (m)	2.6 x 5.2 m	2.6 x 5.2 m
239 (2457)	MIN. AISLE WIDTH TO SPACES (m)	6.00 m	6.00 m
107 (2)	MIN. DRIVEWAY WIDTH TO GARAGE (m)	6.00 m	6.00 m
109 (3)(b)	MAX. WALKWAY WIDTH PERMITTED IN YARD (m)	6.00 m	4.75 m
110 (Table)	MIN. LANDSCAPE BUFFER WIDTH PARKING LOT TO LOT LINE	1.80 m	1.80 m
	MIN. OF 15% OF LANDSCAPE AREA WITHIN AND SURROUNDING A PARKING LOT	15%	≥15%
110 (3)(b)	MIN. WASTE COLLECTION SETBACK TO LOT LINE (m)	3.00 m	27.33 m
55 (3)(e)(ii)	ACCESSORY STRUCTURE SETBACK (m)	0.60 m	1.30 m
55 (5)	PROJECTION HEIGHT (MAX) (m)	3.20 m	1.80 m
239 (2457)	UTILITY INSTALLATIONS SETBACK (m)	0.60 m	1.30 m
Table 131(4)	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT (m)	1.20 m	3.11 m
111B (TABLE)	MIN. BICYCLE PARKING SPACE DIMENSIONS (m)	Width: 0.6 m Length: 1.8 m	0.6 m 1.8 m
111 (9)	MIN. BICYCLE PARKING SPACE ACCESS WIDTH AISLE (m)	1.5 m	1.5 m

[Handwritten signature]

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED

By Douglas James at 2:55 pm, May 19, 2021



	PATHWAY (PAVERS)		ENTRANCE
	WALKWAY TO ENTRY		UNIT NUMBER
	CROSSWALK (PAVERS)		FIRE HYDRANT
	ASPHALT DRIVEWAY		STOP SIGN
	MOUNTABLE CURB		3 PHASE TRANSFORMER & SWITCHGEAR
	CURB (0.2m)		TRANSFORMER
	DEPRESSED CURB		CANADA POST MAIL BOX
	PORCH		ART / WAYFINDING FEATURE
	WINDOW WELL		FOOD GARDEN
	PROJECTION (STAIRS)		TACTILE WALKING SURFACE INDICATOR
	LANDSCAPED AREA		STREET TREE
	TYPE A TOWNHOUSE (4.75m)		LIGHTING (R<0.5m)
	TYPE B TOWNHOUSE (5.21m)		EARTHbins
	TYPE C TOWNHOUSE (5.13m)		CONCRETE WALL
	STACKED DWELLING		
	PROPOSED LOT BOUNDARY		
	BLOCK BOUNDARY		
	FENCE		
	BIKE RACK		
	HYDRO METERS		
	GAS METERS		
	SNOW STORAGE AREA		
	BENCH		
	PATIO SLABS AND STEPPING STONES		

18/03/21	Shifted transformers and adjusted landscaping	EC	EC
22/02/21	Review waste collection area and lighting, shift transformers	EC	EC
08/12/20	Added earthbais	CR	CR
14/10/20	Insert lighting plan	CR	CR
10/09/20	Review Block 4 setback, insert internal walkway	CR	CR
14/05/20	Issue for Detailed Design	EC	EC
25/03/20	Review Site Proposal for Site Plan Amendment	EC	EC
07/03/18	Issue for Third Submission to City	3P	3P
14/12/17	Issue for Second Submission to City	3P	3P
28/07/17	Draft for review	3P	3P
DATE (month)	REVISION	BY	BY

GENERAL NOTES

1. DO NOT SCALE DRAWINGS FOR PRINT.
2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING AND MATTHEW HOMES. COPYRIGHT RESERVED.
3. SITE PLAN PREPARED IN ACCORDANCE WITH PLAN 4M-1581D PLAN 4R-30196, PREPARED BY ANNIS O'SULLIVAN, VOLLEBECK LTD.
4. TOWNHOUSE DWELLING UNITS ARE DESIGNED TO ACCOMMODATE CURBSIDE CARBAGE PICK-UP.
5. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
6. REFERENCES CITY OF OTTAWA T.W.S.J. DETAIL SC7.3.
7. SNOW WILL BE REMOVED FROM THE SITE IMMEDIATELY, ONCE ON-SITE SNOW STORAGE AREAS HAVE BEEN FULLY UTILIZED.



WATERIDGE VILLAGE: PHASE 1B

1400 HEMLOCK ROAD

BLOCK 22
PART OF LOTS 22 AND 23

CONCESSION 1 (OTTAWA FR

APPHIC TOWNSHIP OF GLOUCESTER
REGISTERED PLAN 114-155

REGISTERED PLAN 4M-133
CITY OF OTTAWA

TITLE: BLOCK 22 SITE PLAN

DATE: 08-16-2009	DRAWN BY: JG	
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DATE: March 18, 2021	DRAWN BY: EC CHECKED BY: CR	DRAWING NO.
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FILE NO.: D07-12-20-0066 A2

JOB NO.: Mattamy - Wateridge

WING NO.
A2