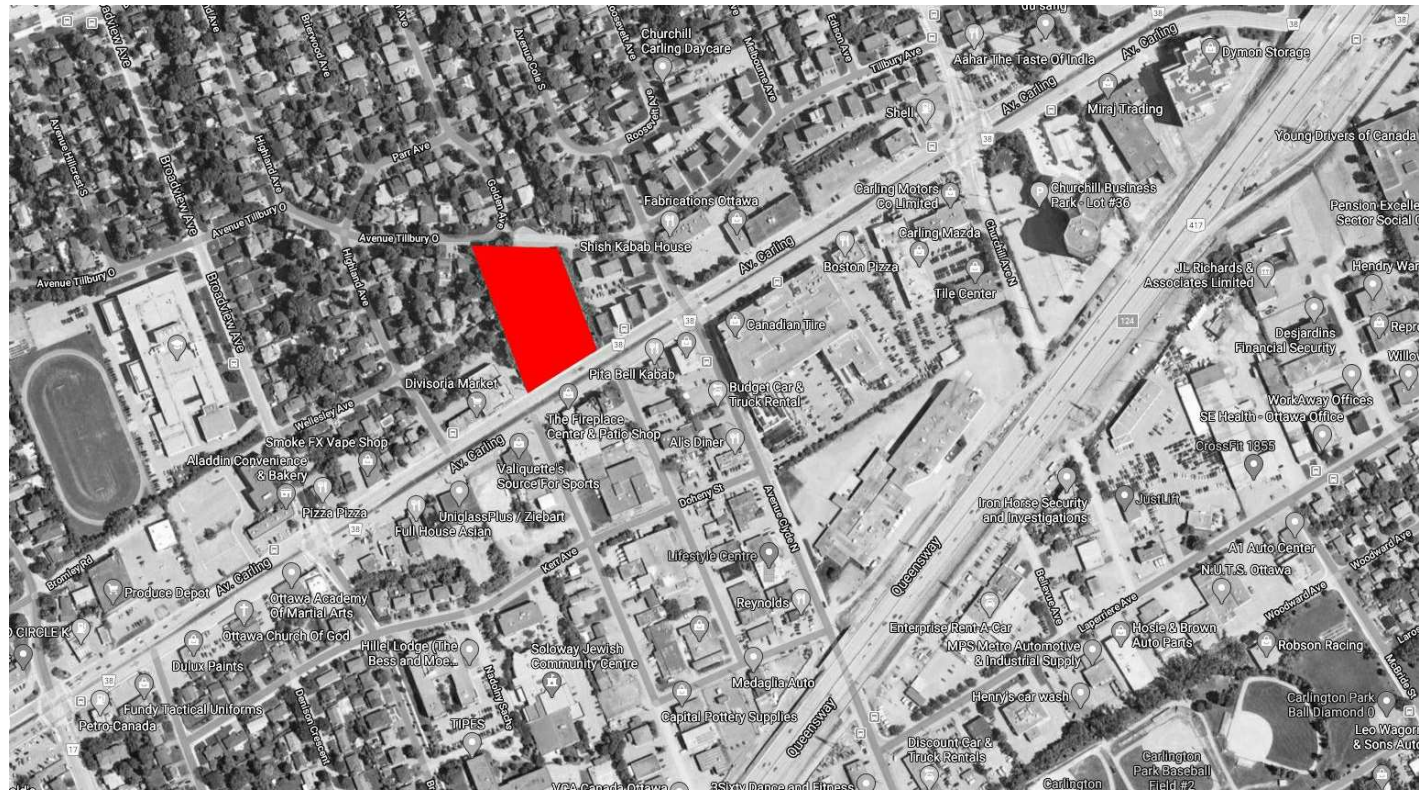




ZONE AM10		
PROVISION	REQUIRED	PROVIDED
Min Lot Width	no minimum	+/- 77.751 m
Min Lot Area	no minimum	+/- 8 928 m ²
Max Building Height	20 to 30 m	+/- 72.51 m
Min Front Yard Setback	0 m	7.796 m
Min Rear Yard Setback	3 m	14.355 m
Min Interior Side Yard Setback	no minimum	2.860 m / 4.175 m

AREA X (INNER URBAN) IN SCHEDULE 1A FOR MINIMUM PARKING REQUIREMENTS
Rental Mid & High Rise Apartments : Min. 0.5 per dwelling unit (VISITOR PARKING 19 SPACES REQUIRED)
Retirement Home : 0.25 per dwelling unit or rooming unit plus 1 per 100 m² of gross floor area used for medical, health or personal services

MINIMUM BICYCLE PARKING SPACE REQUIREMENTS
Rental Mid & High Rise Apartments : Min. 0.5 per dwelling unit
Retirement Home : 0.25 per dwelling unit

AREA OF SITE :	+/- 8 928 sq.m.
SITE COVERAGE :	+/- 1 842 m ² (Retirement Home)
	+/- 1 096 m ² (Rental)
	Total = +/- 2 938 m ² = 32.9 %
GROUND PARKING AREA :	+/- 1 471 m ² = 16.5 %
LANDSCAPED AREA (EXCLUDING PARKING) :	+/- 4 519 m ² = 50.6 %

- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY;
- FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLAN BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY;
- FOR PROPOSED VEGETATION AND LANDSCAPE INFORMATION, SEE LANDSCAPE ARCHITECTURE PLAN BY JAMES B. LENNOX & ASSOCIATES, SUBMITTED SEPARATELY.
- FOR PROPOSED LIGHTING LAYOUT, SEE ELECTRICAL ENGINEERING PLAN BY QUADRANT ENGINEERING, SUBMITTED SEPARATELY.

RETIREMENT HOME	
PROPOSED GROSS FLOOR AREA :	+/- 8 098 m ²
BASEMENT G.F.A. :	+/- 75 m ²
GROUND FLOOR G.F.A. :	+/- 0 m ²
GROUP C RET. HOME G.F.A. (2nd to 9th floor) :	+/- 8 023 m ²
REQUIRED AMENITY AREA :	930 m ² (6 m ² x 155) (Min. 465 m ² COMMUNAL)
PRIVATE AMENITY AREA (G.F.A.) :	+/- 391 m ²
COMMUNAL AMENITY AREA :	+/- 2 262 m ² (1266m ² INSIDE / 996m ² OUTSIDE)
MED. HEALTH OR PERSONEL SERVICE (G.F.A.) :	+/- 179 m ²
NUMBER OF FLOORS AND BUILDING HEIGHT :	9 FLOORS + MECH. / +/- 33.40m
DWELLING UNITS :	152
PARKING STALLS :	61 (61 INSIDE)
PROVIDED BICYCLE STALLS :	39 (33 INSIDE / 6 OUTSIDE)

** EXCLUDING ROOF TERRACE AMENITIES

NUMBER OF SUITES REQUIRED TO BE BARRIER-FREE :
152 UNITS = 23 UNITS HAVE TO BE BARRIER-FREE
THEY WILL BE DISTRIBUTED BETWEEN THE 8 DWELLING FLOORS

RENTAL	
PROPOSED GROSS FLOOR AREA :	+/- 13 941 m ²
BASEMENT G.F.A. :	+/- 0m ²
GROUND FLOOR G.F.A. :	+/- 282 m ²
RENTAL FLOORS G.F.A. (2nd to 22nd floor) :	+/- 13 659 m ²
PRIVATE AMENITY AREA (G.F.A.) :	+/- 921 m ²
COMMUNAL AMENITY AREA :	+/- 594 m ² (309m ² INSIDE / 285m ² OUTSIDE)
NUMBER OF FLOORS AND BUILDING HEIGHT :	22 FLOORS + MECH. / +/- 72.51m
DWELLING UNITS :	195
PARKING STALLS :	185 (170 INSIDE / 15 OUTSIDE)
PROVIDED BICYCLE STALLS :	99 (84 INSIDE / 15 OUTSIDE)

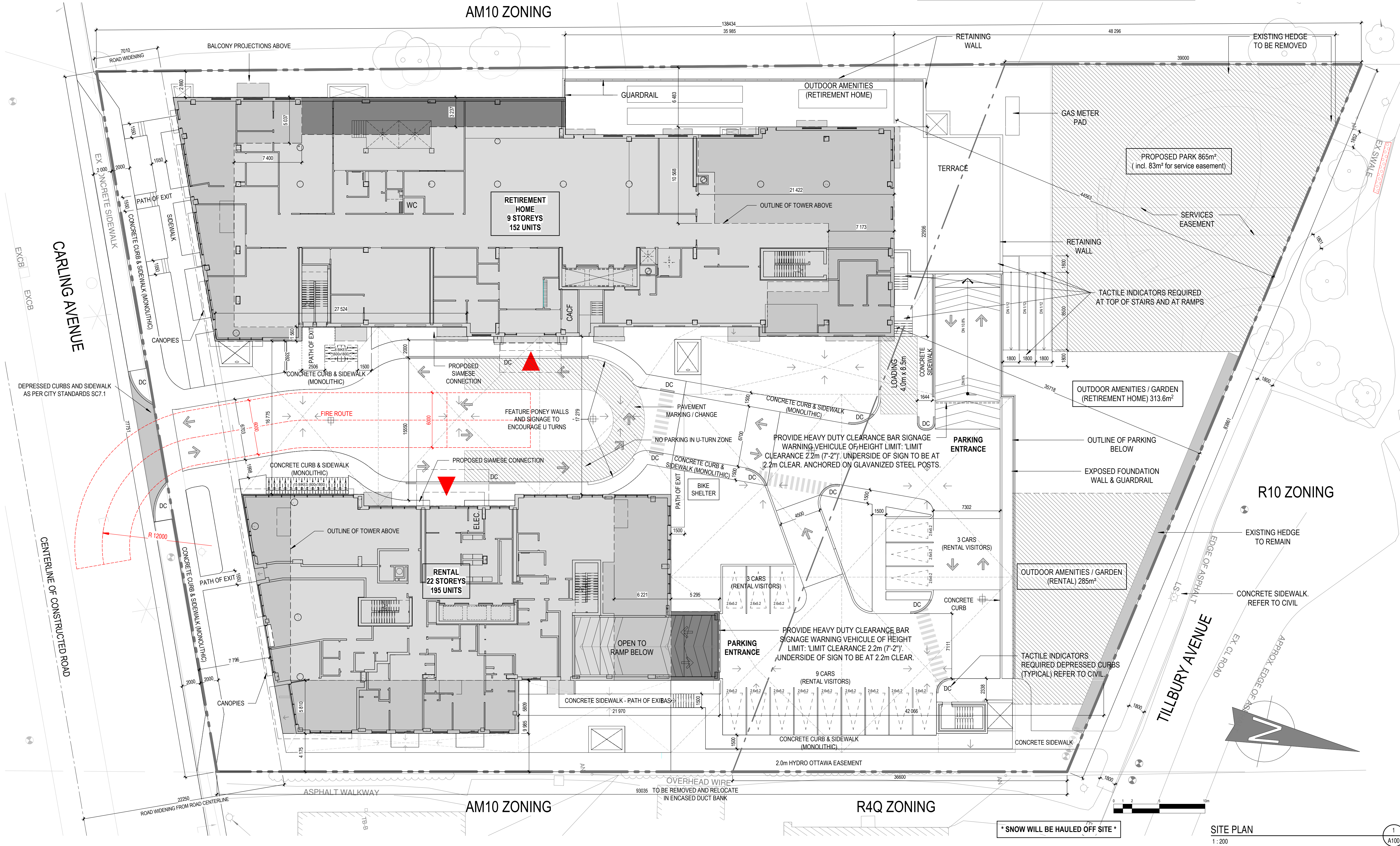
NUMBER OF SUITES REQUIRED TO BE BARRIER-FREE :
195 UNITS = 29 UNITS HAVE TO BE BARRIER-FREE
THEY WILL BE DISTRIBUTED BETWEEN THE 22 FLOORS

GARBAGE / RECYCLING & ORGANICS :	
REQUIRED 11y ² (0.053y ² X 195)	3 X 4y ² PROVIDED FOR GARBAGE (COMPACTED)
REQUIRED 4y ² (0.018y ² X 195)	1 X 4y ² PROVIDED FOR GMP
REQUIRED 8y ² (0.038y ² X 195)	2 X 4y ² PROVIDED FOR FIBERS
REQUIRED 4 X 240L (240L / 50 UNITS)	4 X 240L PROVIDED FOR THE ORGANICS

DJ

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Douglas James at 2:37 pm, May 19, 2021



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GÉOTECHNIQUE Geotechnical
Paterson Group
154 Colomade Road South, Ottawa ON K2E 7J5
T 613 220 7881 / patersongroup.com

STRUCTURE Structural
Goodeve Structural Inc.
18-77, Avenue Drive, Ottawa ON K1E 7E7
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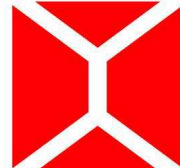
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James B. Lennox & Associates
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SCEAU / Seal

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ARCHITECT(E)S


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CLIENT Client

 **CLARIDGE**
HOMES

OUVRAGE Project

1707 CARLING
RENTAL TOWER

EMPLACEMENT Location NO PROJET No
OTTAWA 12372.00

NO	REVISION	DATE (aa-mm-jj)
A	FOUNDATION PERMIT	2021.04.01
B	SITE PLAN APPROVAL	2021.04.14

DESSINÉ PAR Drawn by
CR/PV/MR
DATE (aa-mm-jj)
NOV 2020
TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked
LH
ÉCHELLE Scale
1 : 200

SITE PLAN AT GROUND

RÉVISION Revision NO. DESSIN Dwg Number

B **A100**
#18157

D07-12-20-0048