



PLANNING AND URBAN DESIGN JUSTIFICATION REPORT

**1545 WOODROFFE AVENUE
NEPEAN, ONTARIO**

APPLICATION FOR SITE PLAN CONTROL

PREPARED FOR:

EXP Services

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1.0 INTRODUCTION

M. Behar Planning & Design Inc. (MBPD) has been retained by EXP to provide land use planning and urban design consulting services for the redevelopment and reorganization of a parcel of land to a new gas station, convenience store, drive-through facility and car wash. This report provides planning and urban design justification in support of the proposed redevelopment and associated application for Site Plan Control.

This Planning and Urban Design Justification Report:

- Provides a description of the subject lands as well as the existing built form context
- Describes the proposed development's characteristics and attributes, including site organization, design and landscaping features;
- Reviews and assesses the development proposal against the applicable planning and urban design policies, and Zoning By-law, including:
 - The Provincial Policy Statement;
 - The Growth Plan for the Greater Golden Horseshoe;
 - The City of Ottawa Official Plan
 - Zoning By-law No. 2008-250, as amended
 - Urban Design Guidelines for Gas Stations
 - Urban Design Guidelines for Drive-through Facilities
- Provides summary conclusions of the planning and urban design rationale for the proposed development.

This report demonstrates the appropriateness of the proposed development from a land use planning and urban design perspective and discusses how the proposed development is consistent with the Provincial Policy Statement and maintains the intent of the City of Ottawa Official Plan.

2.0 SITE DESCRIPTION AND AREA CONTEXT

2.1 Site Description

The subject site is located at the northeast corner of Woodroffe Avenue and Medhurst Drive. The subject property is municipally known as 1545 Woodroffe Avenue and legally described as Part of Lot 30, Concession 1, Rideau Front and Part of the Road Allowance Between Lots 30 and 31, Concession 1, Rideau Front, Geographic Township of Nepean, City of Ottawa.

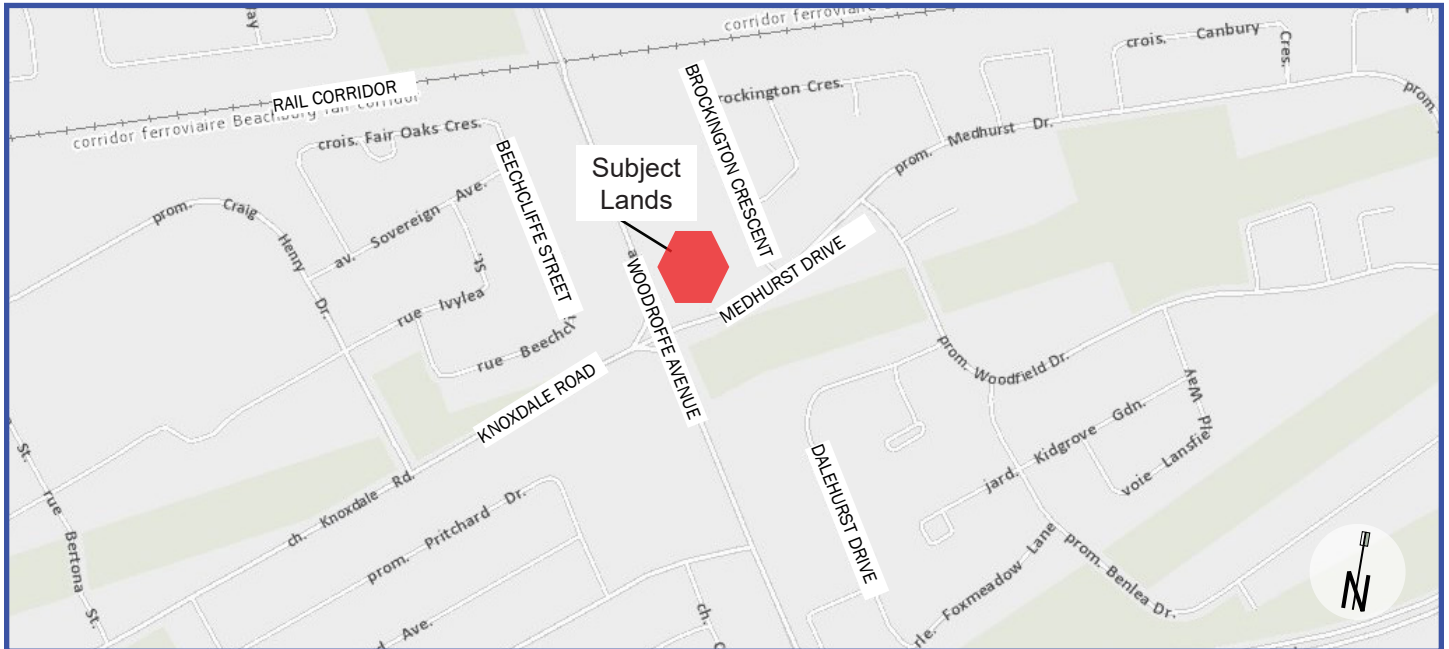


Figure 2.0a - Context Aerial

The subject lands are a corner site, at the northeast corner of Woodroffe Avenue and Medhurst Drive. The site is generally rectangular in shape and measures 8,210 sq. meters (0.8 hectares) in area, inclusive of any widenings. The property maintains approximately 70 meters of frontage onto Medhurst Drive and 110 meters of frontage onto Woodroffe Avenue.

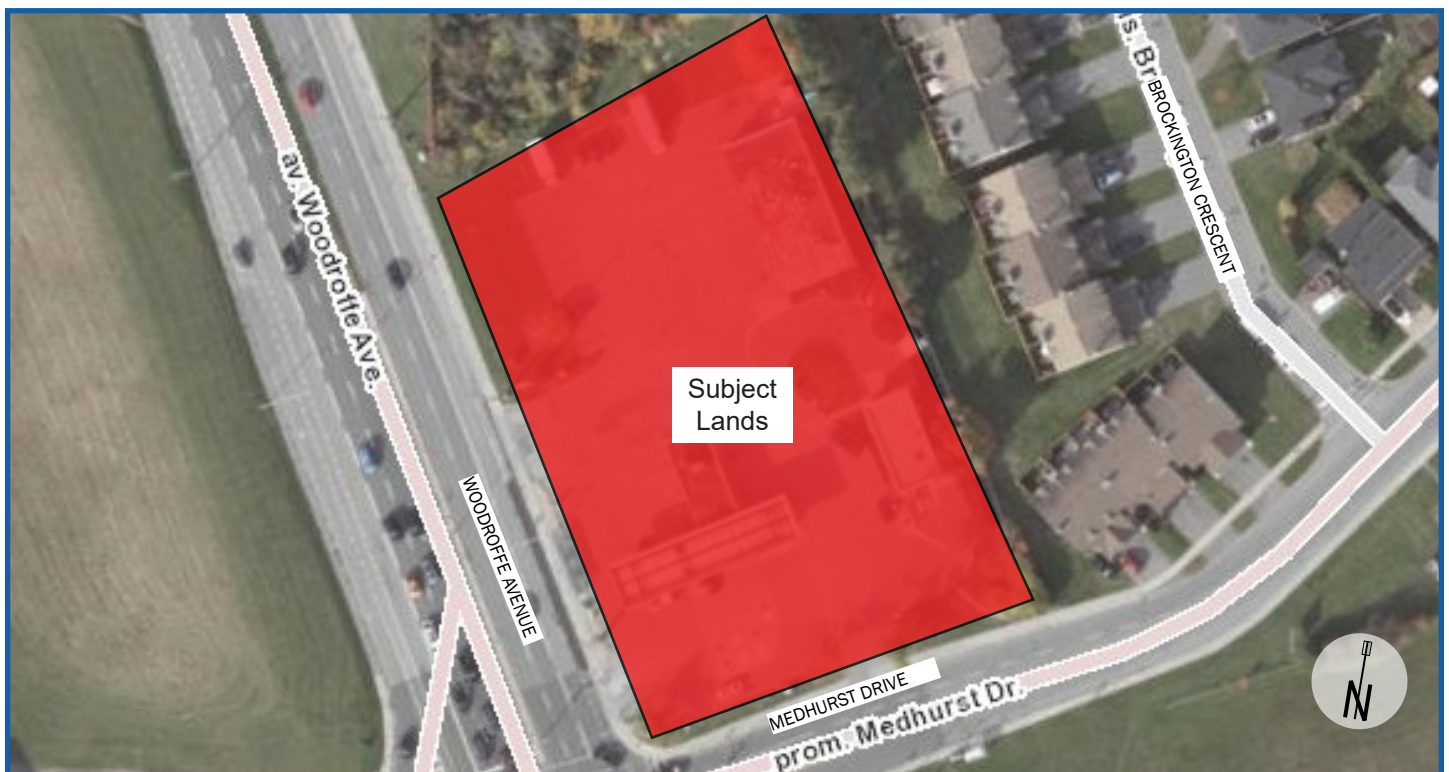


Figure 2.0b - Site Aerial

2.0 SITE DESCRIPTION AND AREA CONTEXT

The property is currently occupied by a number of commercial buildings, including existing one storey gas, retail building and car wash facility. An additional one storey retail building (Tim Hortons) exists on site but has been vacated. The existing buildings are proposed to be removed as part of the redevelopment.



Figure 2.0c - Existing 1 storey gas bar on site



Figure 2.0d - Existing vacated one storey retail building (Tim Hortons)



Figure 2.0e - Existing car wash on site



Figure 2.0f - View of site from Medhurst Drive

2.2 Surrounding Area Context

The subject lands are located within the existing urban area and are primarily surrounded by a mixture of residential uses, including townhouses, semi-detached and single detached dwellings.

The lands north of the subject property are comprised of two storey townhouse and semi-detached dwellings, such as those located along Brockington Crescent and Brockington Court. The lands to the east of the subject site continue the pattern of townhouse and semi-detached dwellings, such as those fronting onto Medhurst Drive and Brockington Crescent.

As a corner site, the subject lands are bound by two public roads to the west and south as previously noted. On the west side of Woodroffe Avenue, across from the site is a vacant parcel. Beyond the vacant parcel are a collection of single detached homes which front onto Beechcliffe Street.

On the south side of Medhurst Drive is a Hydro Corridor, which is surrounded by additional multi-unit residential complexes.

2.0 SITE DESCRIPTION AND AREA CONTEXT



Figure 2.0g - Two storey townhouses north of subject lands



Figure 2.0h - Two storey townhouses east of subject lands



Figure 2.0i - Vacant parcel on west side of Woodroffe Avenue



Figure 2.0j - Hydro corridor on south side of Medhurst Drive

3.0 DESCRIPTION OF PROPOSED DEVELOPMENT

3.1 Overview and Statistics

The proposal seeks to redevelop the existing underutilized gas station site (Esso) into an updated gas station site under new ownership (Circle K). The proposal seeks to permit a re-organized gas bar canopy and newly consolidated 1 storey retail structure containing a convenience store, retail and drive-through restaurant. A revised stand-alone car-wash facility has also been proposed along the north property line.

The proposed development consists of:

- A convenience store measuring 337 sq.m. (3268 sq. ft.)
- A retail unit measuring 56 sq.m. (600 sq. ft.)
- A drive-through facility (Tim Hortons) measuring 113 sq. m. (1215 sq. ft.)
- A total of 37 parking spaces is provided on-site
- A total of 5 bike parking spaces
- 13 queuing spaces for the car-wash facility
- 11 queuing spaces for the drive-through restaurant (9 to menu board)

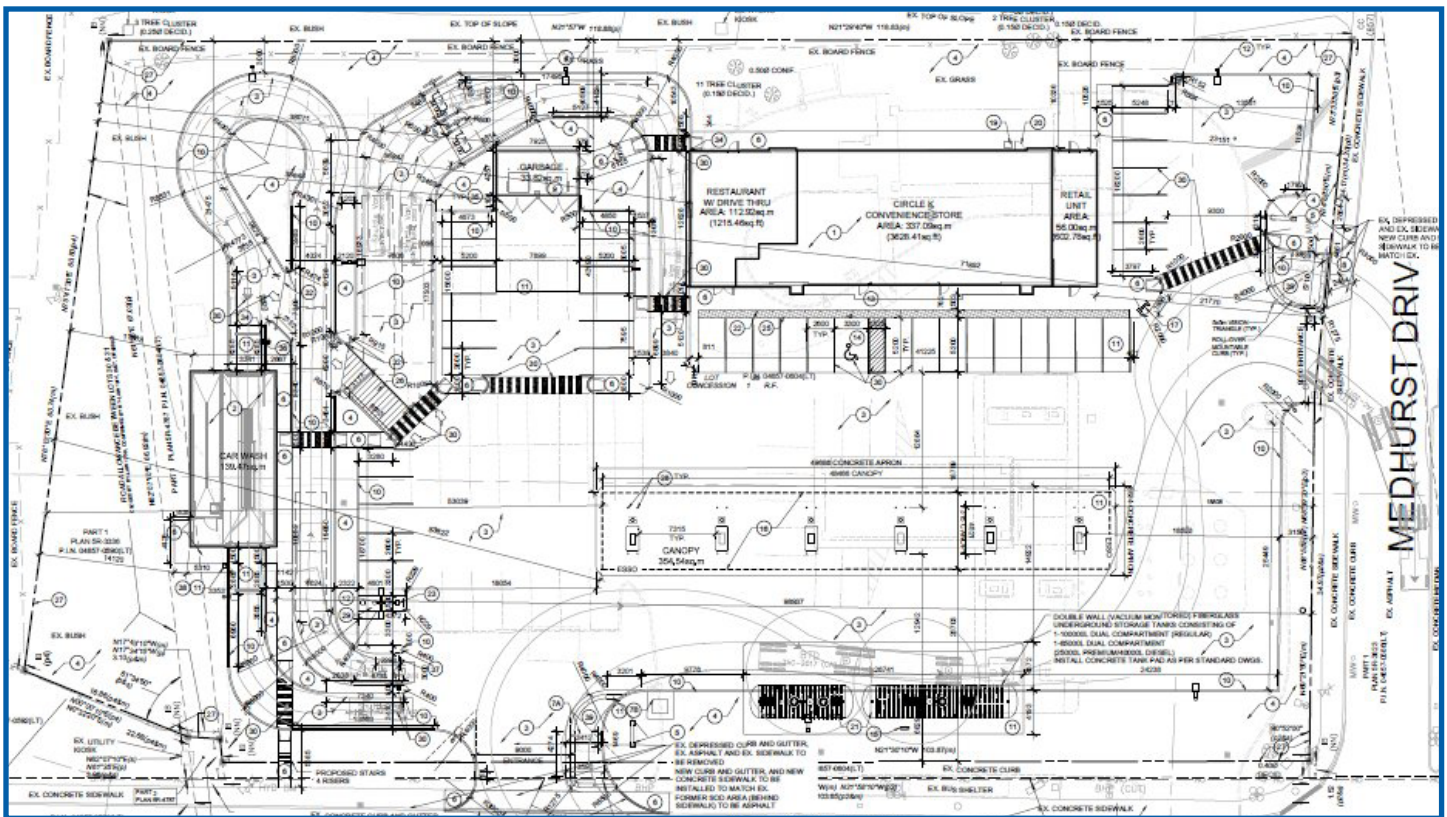


Figure 3.0a - Site Plan

3.2 Site Organization

The proposed development has been re-organized to provide for a continuation of the existing uses on site but provides a more efficient use of land. The proposal seeks to generally utilize two existing curb cuts on Medhurst Drive and Woodroffe Avenue for vehicular access. The existing access near the intersection has been removed and replaced with landscaping.

The site currently contains three separate buildings: the gas bar/retail, abandoned restaurant and car-wash facility. The proposal seeks to consolidate a restaurant use, convenience store and new retail area into one building, located in the eastern half of the site. The proposal also seeks to relocate the car wash facility in the northern portion of the site.

The drive-through components of the car wash and restaurant have been organized on the site so as to reduce any potential impacts to the full extent feasible. In this regard, these stacking lanes have been grouped in the northeast corner of the site, generally coinciding with the heaviest existing treed area to assist in screening this area from adjacent properties.

3.0 DESCRIPTION OF PROPOSED DEVELOPMENT

The re-organization of the site has resulted in an improvement to the layout by consolidating uses in a building, breaking up large asphalted parking areas into smaller sections and more opportunities for landscaping.

The culmination of these changes improves on-site circulation and pedestrian safety. With more clearly delineated stacking lanes, pedestrian routes and pavement markings, the proposal makes for safer on-site circulation for both vehicles and pedestrians. The two access points also allow for the safe access and delivery of fuel by larger tanker trucks.

3.3 Built Form & Architecture

The proposed consolidated building now share an architectural design that utilizes a contemporary design vocabulary. While still one connected building, the proposed facade utilizes individual parapets, which coincide with columns to more clearly delineate the three retail unit entrances. All the units maintain ample amounts of clear glazing on the primary visible elevation. This elevation has been further upgraded with a high fibre cement wainscot, which takes on the appearance of manufactured stone.

The remaining sections of the upper portions of the elevations are comprised of fibre cement wall panels. These panels come in two shades of brown/beige and also incorporate a varied texture. These coloured sections coincide with the columns and individual unit entrances as noted above.

The proposal also includes upgraded side elevations that carry the same design vocabulary. A significant return is provided by the cement wainscot and extends back to the rear wall. This treatment is provided along both side elevations, resulting in visually attractive view towards the building from both street frontages. The result is a elevation that employs varied colours, textures and materiality to provide visual interest. Lastly, the proposed signage on the 3 commercial units is comprised of internally illuminated sign with blocking, which is subject to a separate permit process.

The proposed car wash facility also carries this architectural vocabulary forward with similar colouring, materiality and overall design intent as the primary building on site.

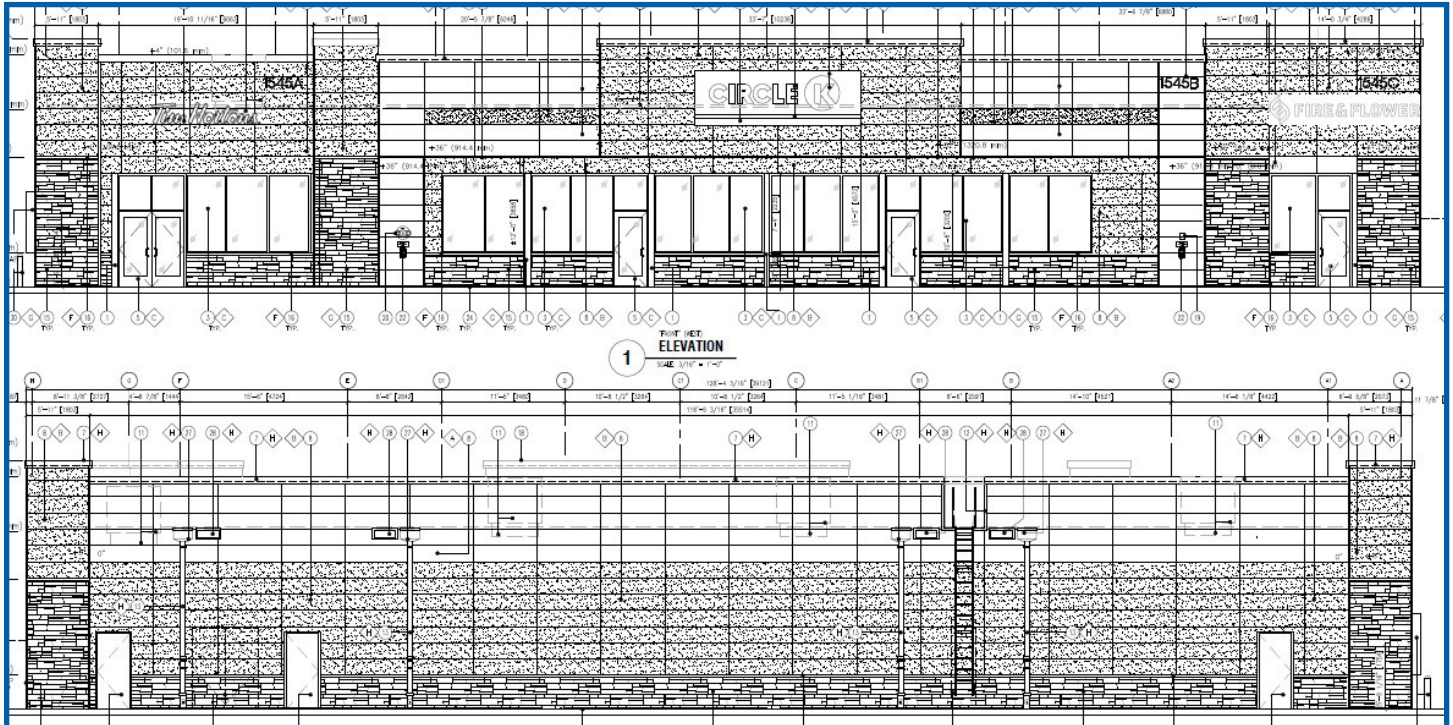


Figure 3.0b - Front and Rear Elevation - Main Building

3.0 DESCRIPTION OF PROPOSED DEVELOPMENT



Figure 3.0c - Front Coloured Elevation - Main Building

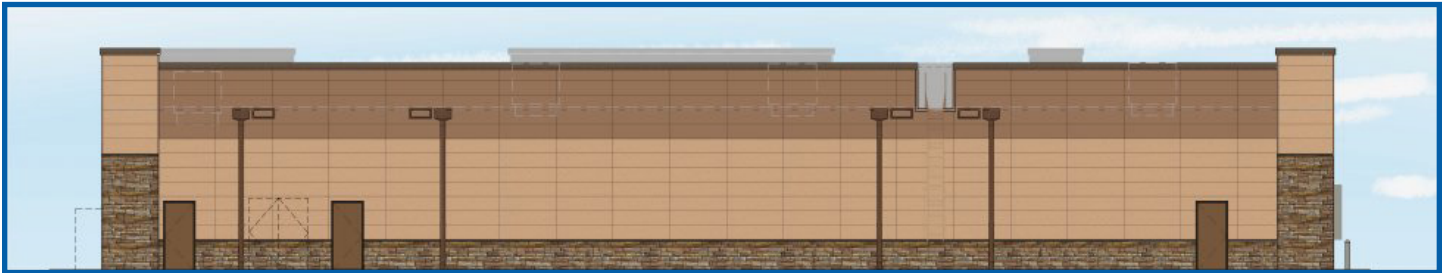


Figure 3.0d - Rear Coloured Elevation - Main Building



Figure 3.0e - Side (North and South) Elevations - Main Building



Figure 3.0f - South Coloured Elevation - Car Wash

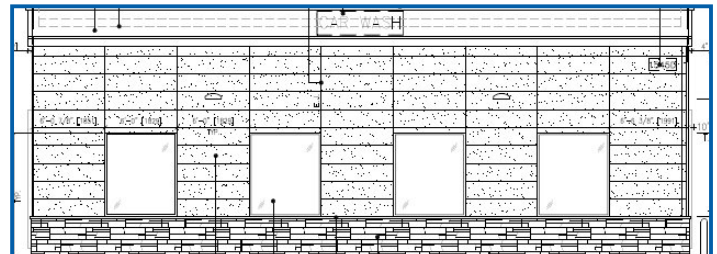


Figure 3.0g - South Elevation - Car Wash

3.0 DESCRIPTION OF PROPOSED DEVELOPMENT

3.4 Landscape & Amenity Features

The proposed development improves the overall site plan by providing additional landscape opportunity and introducing additional landscaped areas on the site. In this regard, a very generous 6.6m wide landscape strip is provided along Woodroffe Avenue, generally coinciding with the existing underground tanks. This area is augmented with grasses, shrubbery and deciduous trees. This pattern of grasses, shrubs and coniferous trees continues along the Medhurst Drive frontage, within the 3m landscape strip.

Where feasible, additional on-site landscaping has been introduced between stacking lanes and parking areas. A more clearly delineated pedestrian network has been provided through the use of clear pavement markings as well as delineated pedestrian walkways within the site, as well as from parking areas to building entrances.

A 1.8m tall board privacy fence is proposed along the east property line. This will work in concert with the proposed planting in that area to screen those areas from adjacent properties. This screening utilizes existing trees on site to the full extent feasible as well as new plantings to provide an effective visual break and mitigate any adverse impacts.

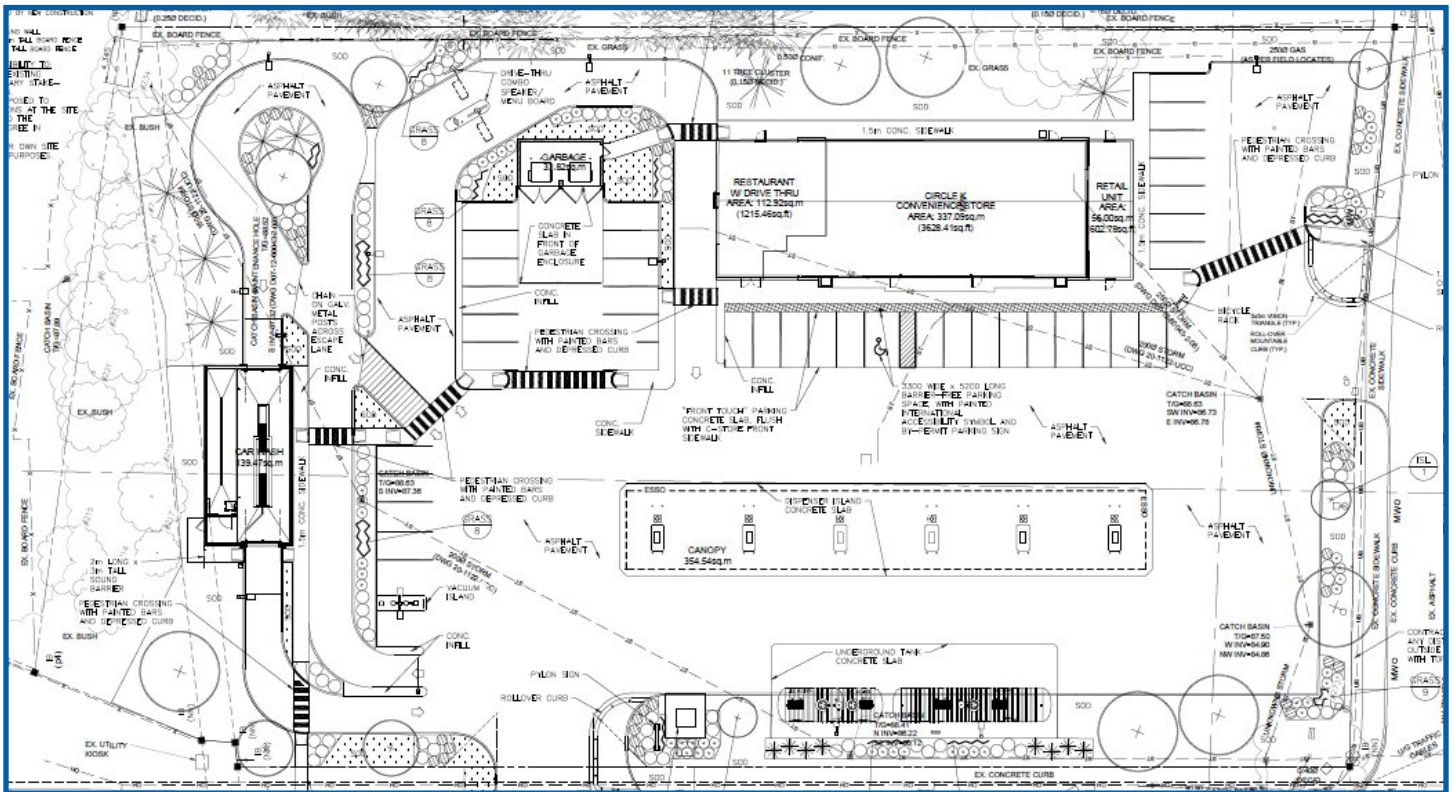


Figure 3.0h - Landscape Plan

4.0 PLANNING & URBAN DESIGN PARAMETERS

4.1 Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The vision of the PPS is to build strong communities by ensuring efficient land use and development patterns in terms of optimizing the use of land, resources and public investment in infrastructure and public service facilities. Land use patterns should promote a mix of housing, employment, parks and open spaces, and transportation choices that facilitate pedestrian mobility and other modes of travel. In addition, cost-effective development standards are promoted to minimize land consumption and servicing costs. Municipal planning decisions are required to be “consistent with” the PPS.

Section 1.1 - Managing and Directing Land Use to Achieve Efficient Land Use Patterns requires municipalities to manage and direct land uses to achieve efficient development and land use patterns. The PPS states healthy, livable and safe communities are sustained by promoting cost-effective development patterns to minimize land consumption and servicing costs, to accommodate an appropriate range of housing with a view to meeting long-term needs.

Section 1.1.3 - Settlement Areas states that these areas shall be the focus of growth and development, and their vitality and regeneration shall be promoted. Land use patterns within Settlement Areas shall be based on densities and a range of land uses which; efficiently use land and resources, are appropriate for, and efficiently use, the planned for or available infrastructure and public service facilities, and avoid the need for unjustified and/or uneconomical expansion and support active transportation. Planning authorities are to identify appropriate locations and promote opportunities for intensification and redevelopment. New development in designated growth areas should occur in the built-up area and shall have a compact form and mix of uses and densities to efficiently use land and infrastructure.

Section 1.2.6 - Land Use Compatibility requires developments to minimize and mitigate any potential adverse impacts from odour and noise.

Section 1.3 notes that planning authorities shall promote economic development and competitiveness by, providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs as well as provide opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses.

Section 1.6 notes that infrastructure and public service facilities shall be provided in an efficient manner that supports long term viability and projected needs.

Section 1.7 requires the long term prosperity to be supported by promoting opportunities for economic development, redevelopment of brownfield sites and optimizing the use of land.

Assessment:

The proposed development is consistent with Section 1.1 of the PPS. It proposes a development form that is within the established Urban Area of the City of Ottawa and is indicative of an efficient development that fits with the existing and emerging context, optimizes the use of land and minimizes servicing costs.

As a site that has maintained a gas station use historically, the proposal is consistent with Provincial policies by continuing this use and promoting economic competitiveness of a currently underutilized site. The varying commercial / employment uses will contribute to the wide range of economic activities for the site.

As a brownfield, the proposal represents an appropriate re-use of the subject lands that encourages further economic development and better optimizes the use of land, while maintaining the long term viability of this site.

4.0 PLANNING & URBAN DESIGN PARAMETERS

4.2 Growth Plan for the Greater Golden Horseshoe (2020)

The Growth Plan for the Greater Golden Horseshoe (PTG) is a framework on how to implement the policies stated in the PPS regarding growth management, complete communities, reducing sprawl and protecting the environment. PTG further emphasizes the policy themes expressed through the PPS with specific direction to direct growth to built-up areas where the capacity exists. The general intent of current Provincial policy is to direct growth to existing settlement areas, provide a healthy mix of land uses that meet the community's needs and build compact, vibrant and complete communities which optimize the use of existing and new infrastructure.

Section 2.2.2 - Delineated Built-up Areas directs the vast majority of growth and development to settlement areas which have a delineated built boundary, have existing or planned municipal water and wastewater systems, and support the achievement of complete communities. Intensification is expected to account for a minimum of 60% of growth and development by the year 2031.

Section 2.2.5 encourages applications to promote economic competitiveness by making more efficient use of existing underutilized employment areas and ensuring the viability of sufficient land in appropriate locations.

Assessment:

The proposed development conforms to the Growth Plan as it provides a continuation and more efficient use of land than has historically existed on the site. The re-organization and introduction of additional retail uses assist in better optimizing the use of land and contributes to the overall site plan to better integrate with the surrounding area.

As per policy 2.2.2, the subject lands are located within the built-up area and are able to utilize existing infrastructure, community facilities, and transportation services.

As per policy 2.2.5, the proposed development promotes economic competitiveness by making more efficient use of existing underutilized site while ensuring the viability of sufficient land in appropriate locations.

4.3 City of Ottawa Official Plan (2004 Office Consolidation)

The Ottawa Official Plan was approved in 2003 and sets out the policy framework for the subject site. The subject site is not within any Secondary Plan Areas or subject to any Site Specific policies.

The lands subject to this application are designated General Urban Area. As per Section 3.6.1, the General Urban Area designation permits a wide range of uses, including commercial, retail and service uses.

Section 3.6.1.8 goes on further to note that throughout the General Urban Area, the City will encourage the provision of a variety of small, locally-oriented convenience and service uses that complement adjacent residential land uses, and are of a size and scale consistent with the needs of nearby residential areas. These uses are required to be compatible and complement surrounding land uses, conveniently located and are of a size and scale suitable for the area.

Section 2.5.1 provides general community design guidance on matters related to built form, open spaces and infrastructure. New developments are required to enhance the sense of community, create safe and accessible places and ensure that new development respects the character of existing areas.

Assessment:

The proposed development results in a built form that implements the planned function of the existing site as a commercial use that provides a neighbourhood service. In this regard, the proposal seeks to better optimize the subject lands for commercial uses and provide the needed small, locally-oriented convenience and service uses. While providing a needed neighbourhood commercial use, the proposal has also been organized to provide a more efficient use of land along a busy arterial road, while providing a scale and size that is consistent with and will provide a transition to the nearby residential areas.

The proposed development provides a 1 storey built form along an arterial road that serves as an appropriate transition towards the neighbourhood interior. The proposal re-organized the gas bar and canopy to be oriented towards Woodroffe Avenue, thereby ensuring the majority of vehicles and resupply trucks are directed to the arterial frontage.

4.0 PLANNING & URBAN DESIGN PARAMETERS

The existing retail building and restaurant use on site have been consolidated into one building generally oriented along the east property line. The car wash has also been re-organized along the north property lines. These one storey buildings will screen the gas bar and parking areas from the residences to the north and east. These uses are further augmented with a strong planting scheme which will provide a visual break and mitigate any adverse impacts from the vehicular oriented uses on site.

4.4 City of Ottawa Zoning By-law No. 2008-250

The subject lands currently maintain dual zoning. The majority of the site is zoned GM15 H(9.5) - General Mainstreet Subzone 15 with a maximum height of 9.5m. The General Mainstreet subzone permits an automobile service station, car wash and gas bar on the subject lands. There are also a series of site-specific performance standards that are in place as part of the zoning for the previous Esso operation.

A small area of the northern portion of the subject lands are zoned R3WW - Residential Third Density Subzone WW. This zone permits a variety of ground related residential uses such as detached, duplex, semi-detached and townhouse uses, along with implementing performance standards.

Assessment:

Given the historical gas bar use of the subject lands, the uses have already been established on the property. The proposal also meets the existing perimeter landscape buffer and parking requirements. Additionally, no uses are proposed for the portion of the lands zoned R3WW. As such, the proposal meets the current zoning requirements and no change to the by-law is required.

4.6 Urban Design Guidelines

The City maintains urban design guidelines for gas stations. The intent of these guidelines is to promote compatible gas station developments that improves its existing or planned context, protect and enhance the character and quality of the districts and neighbourhoods where gas stations are located, enhance the public streets and contribute to a high quality public space, create safe and controlled traffic circulation that balances the needs of vehicles and pedestrian and to minimize impacts on adjacent land uses that could be caused by on-site activities. The guidelines are organized into six sections, which provide guidance on the streetscape, pedestrians, vehicles/parking, landscape, signage and servicing.

The City also maintains Urban Design Guidelines for Drive-Through Facilities. These guidelines are very similar to the gas-station guidelines in terms of their urban design intent and in many instances are duplicative as a result of the similar urban design considerations for drive-through uses. As such, a joint assessment of the applicable urban design guidelines is provided below.

Assessment:

Streetscape and the Public Realm

- *the proposal provides a 1 storey commercial building height which will provide a sensitive transition towards existing two storey residential dwellings, as well as provide an appropriate interface between an arterial road and the existing neighbourhood.*
- *the south elevation of the car wash facility, which is visible from Woodroffe Avenue utilizes clear glass windows, which assist in animating the streetscape.*
- *an ample amount of clear glazing has been provided for the main retail / drive-through building to ensure visibility between the store, pump islands and surrounding streets.*

Pedestrians and Cyclists

- landscaping in the form of deciduous trees, shrubbery and grasses have been utilized along both street frontages to enhance the streetscape
- walkways throughout the site have been clearly delineated with painted bars and depressed curbs. This provides for safe pedestrian movement within the site and from the site to the public realm.
- a bicycle rack is provided near the main entrances of the convenience store / retail unit.

4.0 PLANNING & URBAN DESIGN PARAMETERS

Vehicles and Parking

- *the revised site plan seeks to utilize the existing vehicular entrances off Medhurst Drive and the northern entrance off Woodroffe Avenue. The existing access along Woodroffe Avenue, adjacent the intersection is proposed to be closed and completed with landscaping.*
- *stacking lanes have been generally consolidated in the northeast corner of the subject site. The portions of the stacking lanes that are close to a shared property line have been screened with a new 1.8m high board wood fence. This new barrier is augmented with existing and new tree planting, resulting in a visual break that will mitigate any potential adverse impacts.*
- *the car wash and drive-through facility maintain separate stacking lanes*
- *the stacking lane for the car wash facility maintains an escape lane and the minimum number of queuing spaces has been provided for both the car-wash and drive-through facility.*
- *on-site circulation is provided to ensure unobstructed forward movement by tanker trucks, including the vertical clearance of the canopy for the safe unloading of fuel.*
- *where feasible, stacking lanes have been separated from parking areas by landscape islands*

Landscaping and Environment

- *a significant landscape strip of 6.6m has been provided along Woodroffe Avenue. North of the proposed access the strip narrows to an appropriate 3m. Similarly, a 3m landscape strip has been provided along Medhurst Avenue.*
- *tree planting along site perimeters has been provided as per the City's tree spacing requirements. Native species have been used.*
- *a minimum 3m wide landscape buffer, in coordination with an acoustic barrier is provided along the east property line to screen and buffer the adjacent residential uses. The north property line provides a minimum 11m setback and utilizes a large number of existing trees to continue screening these lands.*

Signage

- *building signage has been provided for the main building through internally illuminated signs. These signs are of a character and scale that fits within the overall facade expression and also ensures that all lighting is directed away from neighbouring properties and directs light to the street frontages.*
- *a main ground mounted pylon sign is proposed near the Woodroffe Avenue access which is in keeping with the overall scale of redevelopment.*
- *landscaping has been utilized around the pylon sign to screen the base and create a more visually attractive streetscape.*
- *lighting is proposed for the site that ensures all light is contained within the site and does not result in any light spillover to adjacent properties. This is shown in the submitted lighting plan*

Servicing and Utilities

- *noise generating areas have been located away from the residential areas to the full extent feasible. In this regard, the proposed car wash opening and vacuum station has been organized towards the Woodroffe Avenue public frontage.*
- *a 1.8m high wood privacy fence along with supplementary landscaping has been provided along the north and east property lines.*
- *a garbage enclosure is proposed adjacent the drive-through restaurant, which completely screens the garbage bins from public view.*
- *the garbage enclosure has been designed with a metal finish, painted 'tan' to match the proposed car-wash and commercial building, resulting in a consistent design.*

5.0 PUBLIC CONSULTATION PLAN

Below is a brief summary of the anticipated public engagement strategy.

MBPD believes that it is important to maintain strong connections with residents and key stakeholders in the community right from the start of the development approvals process. The identification of interested persons/parties is critical to meaningful public participation.

Pre-application

While preparing for the submission for this application, we have:

- Met with City Staff on March 1, 2021 to obtain feedback and confirm submission requirements (Pre-Application Meeting)

Post Application

Upon receiving a preliminary staff report:

- Attend the statutory public meeting
- Collect the names and addresses from residents and stakeholders that have expressed an interest in this project and interact with them as necessary
- Attend any additional community meetings if/as required
- Work with City Planning staff as well as various departments to coordinate resubmissions and address circulation comments

6.0 SUMMARY CONCLUSIONS

The proposed redevelopment represents a more efficient use of land in keeping with the overall planned function of this particular site. While continuing to provide neighbourhood commercial uses, the proposal improves the overall site layout and results in a site design that ensures appropriate transition and compatibility with surrounding areas. In this regard, the proposed development will impart land use and built form attributes that will ensure that the development:

- Is consistent with the Provincial Policy Statement and conforms to the Growth Plan for the Greater Golden Horseshoe by continuing this use and promoting economic competitiveness of a currently underutilized site. The varying commercial / employment uses will contribute to the wide range of economic activities for the site.
- Implements the planned function of the Official Plan by providing a better optimized commercial site that provides small, locally-oriented convenience and service uses, while ensuring an appropriate fit with the surrounding context.
- Implements the intent of the urban design guidelines for gas stations and drive-through facilities by:
 - providing a 1 storey building that is contextually sensitive with adjacent residential uses
 - incorporating existing landscaping on-site and augmenting with new landscaping along public street frontages and shared property lines.
 - organizing stacking lanes to be clearly defined routes that are separated from parking areas with landscaping and appropriate queuing distances are provided.
 - providing a 1.8m high acoustic barrier to screen the site and provide a visual break
 - incorporating landscape strips along public street frontages and shared property line

Therefore, it is concluded that in the context of this planning and urban design assessment, the proposal represents an appropriate and more efficient use of land than currently exists.

Respectfully submitted,



Chris Pereira, MCIP, RPP
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