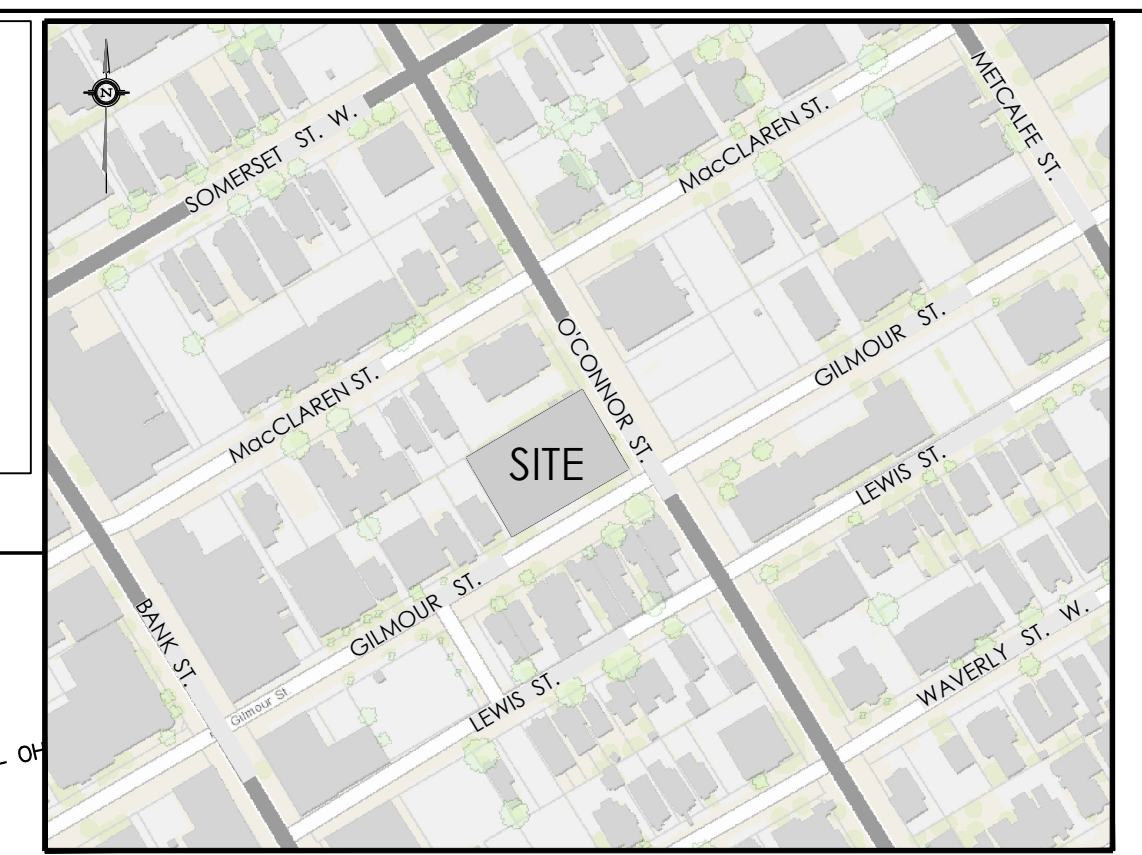
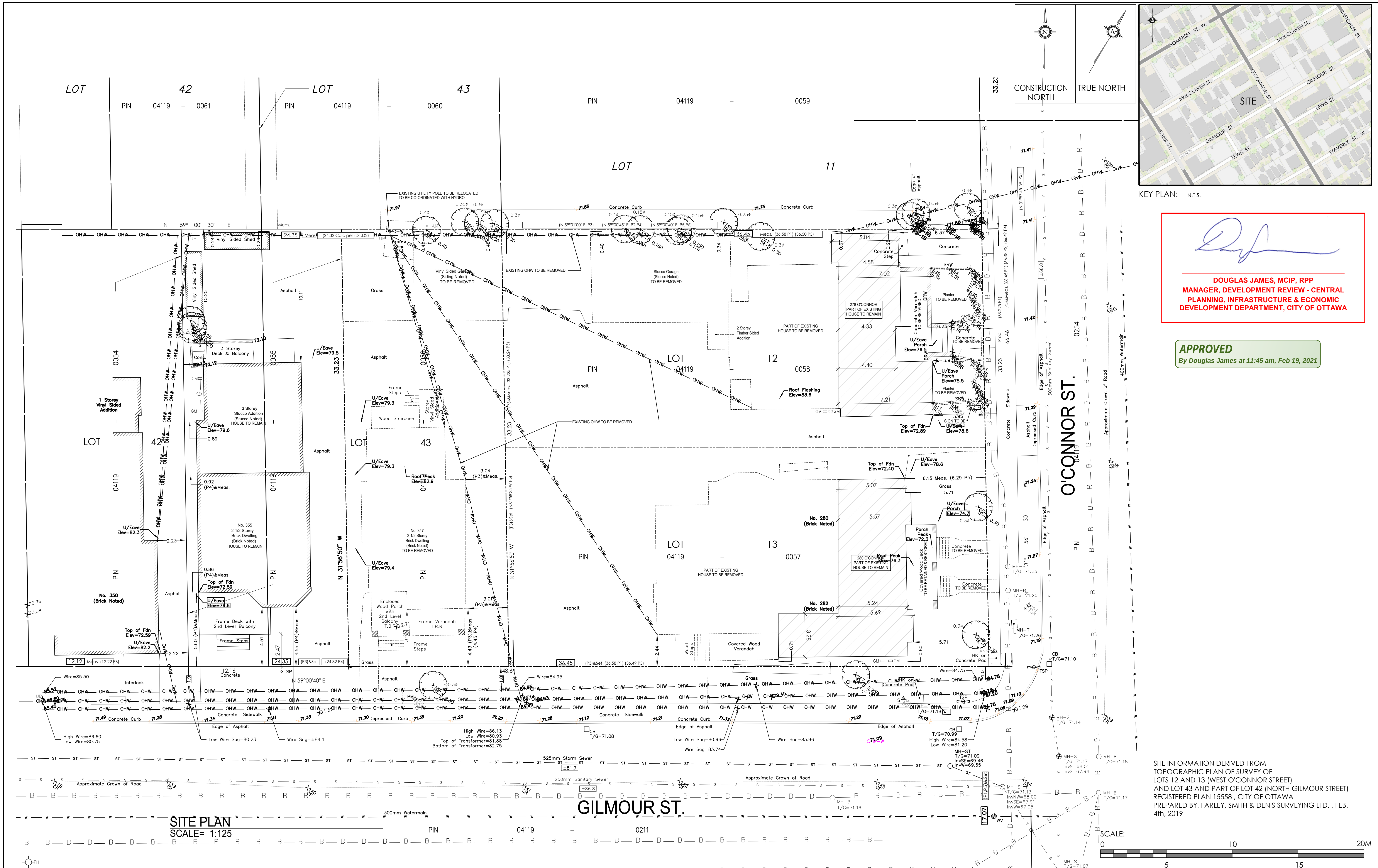
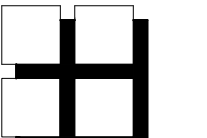





DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Douglas James at 11:45 am, Feb 19, 2021

SITE INFORMATION DERIVED FROM
TOPOGRAPHIC PLAN OF SURVEY OF
LOTS 12 AND 13 (WEST O'CONNOR STREET)
AND LOT 43 AND PART OF LOT 42 (NORTH GILMOUR STREET)
REGISTERED PLAN 15558, CITY OF OTTAWA
PREPARED BY, FARLEY, SMITH & DENIS SURVEYING LTD., FEB.
4th, 2019



M. David Blakely
Architect Inc.
2200 Prince of Wales Dr., Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8611 Fax (613) 226-7942

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NO.	DATE	DESCRIPTION	REVISIONS
12.			
11.			
10.			
9.			
8.			
7.	22/10/20	REVISED PER APPROVED RE-ZONING	JB
6.	25/09/20	FOR PERMIT UPDATE	JB
5.	14/07/20	FOR RE-SUBMISSION	JB
4.	03/06/20	REVISE PER HOUSE/AMENITY AREA	JB
3.	17/04/20	PER CITY COMMENTS/HERITAGE APPLICATION	JB
2.	25/03/20	REVISED BUILDING OUTLINE/UPPER FLOORS	JB
1.	19/12/19	FOR RE-SUBMISSION	JB
0.	18/08/19	FOR SITE PLAN APPLICATION	JB



ONTARIO ASSOCIATION OF ARCHITECTS
ARCHITECTS
M. DAVID BLAKELY
LICENSE
3658

PROJECT:
6 STOREY APARTMENT BUILDING
280 O'CONNOR ST.
OTTAWA, ONTARIO

C- SHEET NUMBER (DETAIL LOCATION)

CLIENT:
POLO IV PROPERTIES INC.
680 EAGLESON ROAD PO BOX 45011
OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE:
DEMOLITION SITE PLAN

DATE:
JULY, 2019

SCALE:
1 : 125

SHEET NO. REV. NO.:
SP-1a

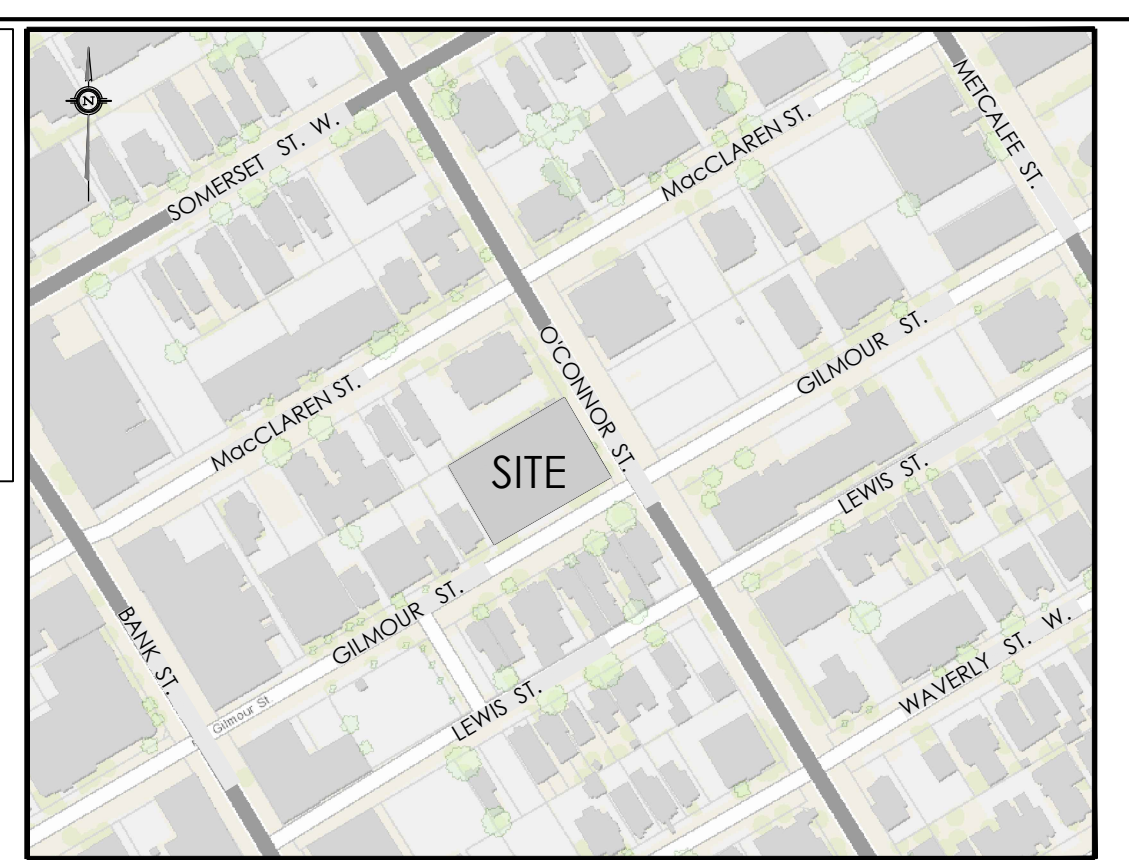
DRAWN BY:
JB

CHECKED:
MDB

D07-12-19-0146

**DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**

APPROVED
By Douglas James at 11:45 am, Feb 19, 2021



KEY PLAN: N.T.S.

City of Ottawa Zoning By-law 2008-250, As Amended by By-law 2020-266		
<i>R5B[2650] H(22) (Residential Fifth Density Zone, Subzone B, Exception 2650)</i>		
<i>Proposed Apartment Dwelling, Mid-rise</i>		
Zoning Mechanism	Required	Provided
<i>R5B[2650] Provisions (Sections 163, 164 & 239)</i>		
Min. Lot Area	675m ²	1,614m ²
Min. Lot Width	22.5m	33.23m
Max. Building Height	22	21.2m
Min. Front Yard Setback		
1st - 3rd storey	3.9m	3.93m
4th storey	10.9m	10.94m
5th storey	12.9m	12.97m
6th storey	13.9m	13.93m
Min. Corner Side Yard Setback		
1st - 3rd storey within 16m of the front lot line	0.7m	0.71m
1st storey after 16m from the front lot line	1.3m	1.39m
2nd storey after 16m from the front lot line	2.2m	2.20m
3rd storey after 16m from the front lot line	3.2m	3.25m
4th storey	4.0m	4.02m
5th storey	4.9m	4.96m
6th storey	7.5m	7.56m
Min. Rear Yard Setback		
1st - 4th storey	2.5m	2.5m
5th - 6th storey	3.4m	3.99m
Min. Interior Side Yard Setback		
1st - 3rd storey within 11m of the front lot line	0.2m	0.28m
after 11 metres and within 35m from the front lot line	2.5m	2.50m
after 35m from the front lot line	6.4m	6.49m
Min. Landscaped Area	30%	36.53%
Parking Provisions (Sections 101, 102 & 111)		
Min. Parking Spaces (Area X)		
0.5 spaces per unit in excess of 12 (minus 10%)	25.2 spaces	25 spaces
Min. Visitor Parking Spaces (Area X)		
0.09 spaces per unit in excess of 12	5.04 spaces	5 spaces
Min. Bicycle Parking Spaces		
0.5 spaces per unit	34 spaces	61 spaces
		13 @ grade level
Min. Width of a Double Driveway	3.4m	3.4m
Amenity Area Provisions (Section 137)		
Min. Total Amenity Area	408m ²	613m ²
Min. Communal Amenity Area	204m ²	232m ²
Min. Seapack for Exterior Rooftop Amenity Area		
From front lot line	20m	20.85m
From corner lot line	10.5m	11.2m

BUILDING INFORMATION
6 STOREY APARTMENT BUILDING
GROUND FLOOR -

	EXISTING HOUSES	
	3- 2 BEDROOM	
	NEW BUILDING	
	1- STUDIO	
	3- 1 BEDROOM	
	2- 2 BEDROOM	
		9 UNITS
SECOND FLOOR-	11- 1 BEDROOM 4- 2 BEDROOM	15 UNITS
THIRD FLOOR-	10- 1 BEDROOM 4- 2 BEDROOM	14 UNITS
FOURTH FLOOR-	7- 1 BEDROOM 5- 2 BEDROOM	12 UNITS
FIFTH FLOOR-	8- 1 BEDROOM 2- 2 BEDROOM	10 UNITS
SIXTH FLOOR-	3- 1 BEDROOM 5- 2 BEDROOM	8UNITS
		68 UNITS TOTAL
REFER TO SP-1a FOR DEMOLITION SITE PLAN		

SITE PLAN TO BE READ IN CONJUNCTION WITH

- LANDSCAPE PLAN PREPARED BY:
NOVATECH ENGINEERING CONSULTANTS LIMITED
SUITE 200- 240 MICHAEL COWPLAND DRIVE
OTTAWA ON K2M 1P6
- SITE SERVICING, GRADING & STORM WATER
MANAGEMENT PLANS PREPARED BY:
NOVATECH ENGINEERING CONSULTANTS LIMITED
SUITE 200- 240 MICHAEL COWPLAND DRIVE
OTTAWA ON K2M 1P6

SCALE:

0 5 10 15 20M



**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. - Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND LOCATIONS TO BE SHOWN ON THE PLAN. TO: M. DAVID BLAKELY ARCHITECT INC.	6. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT
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SEAL	
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12				24							
11				23							
10				22							
9				21							
8	22/10/20	REVISED PER APPROVED RE-ZONING	JB	20							
7	25/09/20	FOR PERMIT UPDATE	JB	19							
6	14/07/20	FOR PERMIT	JB	18							
5	03/04/20	REVISE PENHOUSE/ AMENITY AREA	JB	17							
4	17/04/20	PER CITY COMMENTS/HERITAGE APPLICATION	JB	16							
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2	19/12/19	FOR RE-SUBMISSION	JB	14							
1	08/08/19	FOR SITE PLAN APPLICATION	JB	13							
NO.	DATE	DESCRIPTION	INT.	NO.	DATE	DESCRIPTION	INT.	NO.	DATE	DESCRIPTION	INT.



A - DETAIL NUMBER
B - SHEET NUMBER
(DETAIL REQUIRED)
C - SHEET NUMBER
(DETAIL LOCATION)

PROJECT:	6 STOREY APARTMENT BUILDING 280 O'CONNOR ST. OTTAWA, ONTARIO
CLIENT:	POLO IV PROPERTIES INC. 680 EAGLESON ROAD PO BOX 45011 OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE:		SHEET NO. REV NO.:	
JULY. 2019		SP-1	
DATE:		SCALE:	
JULY. 2019		1 : 25	
DRAWN BY:		CHECKED:	
IR		MDR	



SOUTH ELEVATION - GILMOUR ST.
SCALE= 1:100

LIMITING DISTANCE= 10.97m
AREA OF EXPOSED BUILDING FACE= 703.36m²
MAX % U.P.O. (O.B.C. TABLE 3.2.3.1.D)= 100%
WALL CONSTRUCTION PROVIDED: 60 min. FIRE RESISTANCE RATING
NON-COMBUSTIBLE PROVIDED
TYPE CLADDING PROVIDED: NON-COMBUSTIBLE PROVIDED

EXTERIOR LIGHTING

- 'A' - 9" - 350dia. GLOBE & POLE, CYCLONE CGIIT4, BLACK, 9'-0" HIGH POLE
- 'A' - 7" - 350DIA. GLOBE & POLE, CYCLONE CGIIT4, BLACK, 7'-0" HIGH POLE
- 'B' - BEGA- LED WALL LUMMAIRE - 3000K- 24505- BLACK (5 1/2" x 19 5/8") (WIRING BOX 19537)
- 'C' - BEGA- LED WALL LUMMAIRE - 3000K- 22750+K3- BLACK (5 1/2" x 8 1/2")
- 'D' - POT LIGHTS - 3000K- BLACK TRIM
- 'E' - WALL MOUNT - WAC LIGHTING- WS-W20506 (10"x5 1/2"), 3000K, 16w, 805, BLK

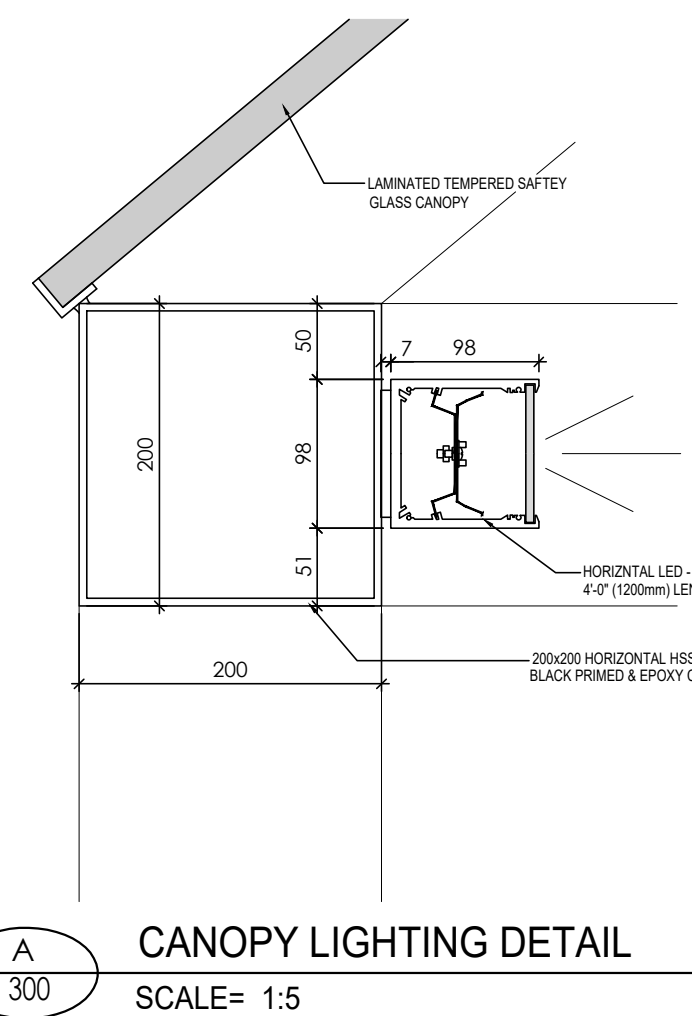
280 O'CONNOR EXISTING SLOPPED ROOF - WINOWNA LIGHTING - 500ADJH2 - DOWN FACING

LIST OF MATERIALS

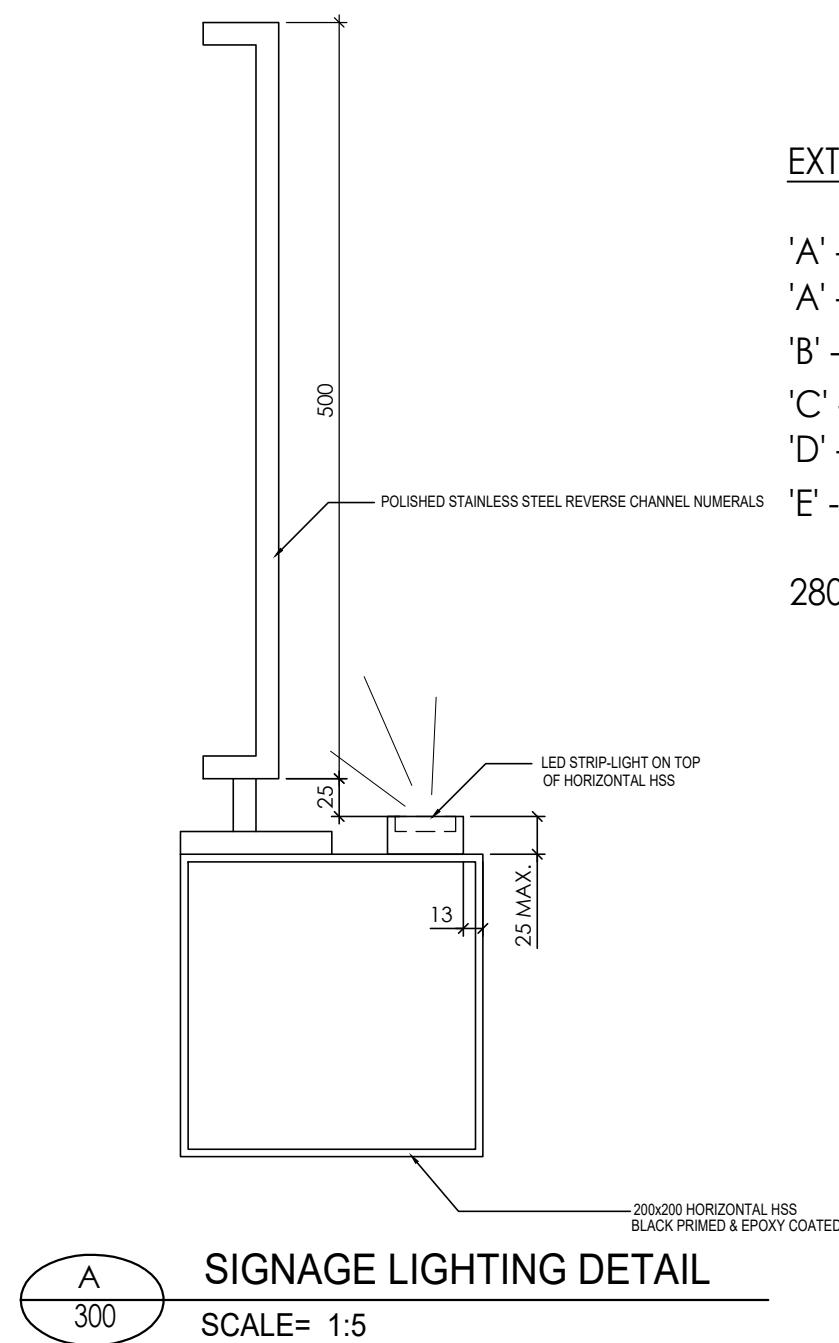
- 1- BRICK- MERIDIAN - RIVERDALE SMOOTH IRONSPOT- METRIC MODULAR
MORTAR - COLOUR TO MATCH BRICK - COVE JOINT (1)
- 2- BRICK - MERIDIAN - TUXEDO - METRIC MODULAR
MORTAR COLOUR TO MATCH BRICK - COVE JOINT (1)
- 3- URBAN ACCENT PANELS - COLOUR - PEWTER - LOW LUSTER (2)
- 4- ALUMINUM PANEL - COLOUR - PEWTER - LOW LUSTER (2)
- 5- WINDOW - CLEAR-LOW 'E' THERMOPANE
PRE-FINISHED EXTRUDED ALUMINUM
FRAMES- BLACK
- 6- W.I. RAILING - BLACK - SEMI GLOSS
- 7- GLASS CANOPY ON STEEL FRAME
(SQUARE-POWDER COATED - BLACK)
- 8- GLASS GUARD - CLEAR - FRAME- BLACK - SEMI GLOSS
- 9- JULIET BALCONY - GLASS - CLEAR - FRAME- BLACK - SEMI GLOSS
- 10- EXPOSED CONCRETE CANOPY
- 11- EXPOSED CONCRETE COLUMN

NOTES

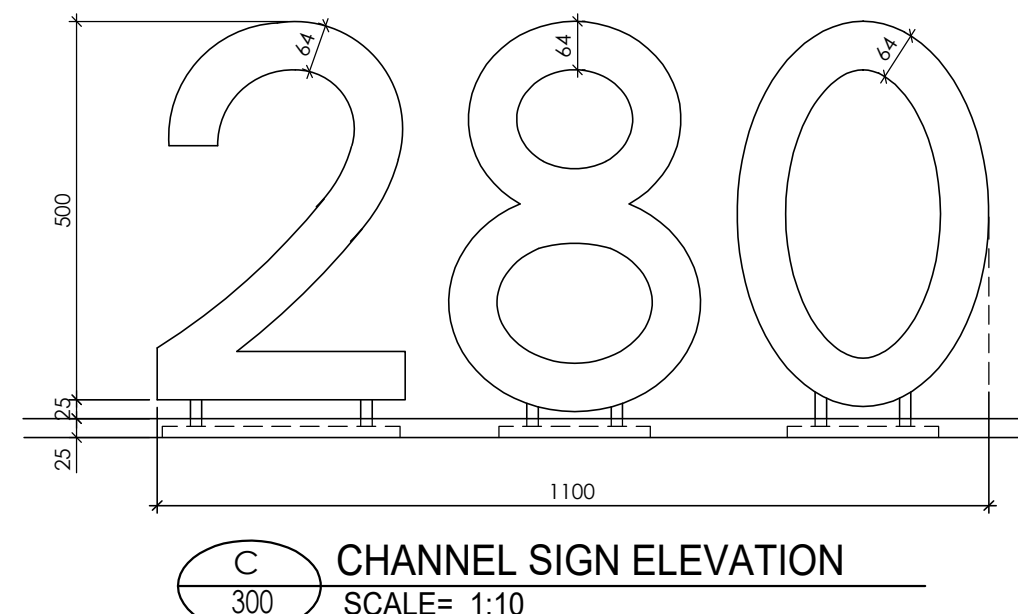
- (1) BRICK TYPE & MORTAR TO BE CONFIRMED BY ON SITE MOCK-UP
- (2) ALUMINUM PANEL COLOURS TO BE SELECTED FROM MANUFACTURER'S COLOUR RANGE & LARGE FORMAT SAMPLES.



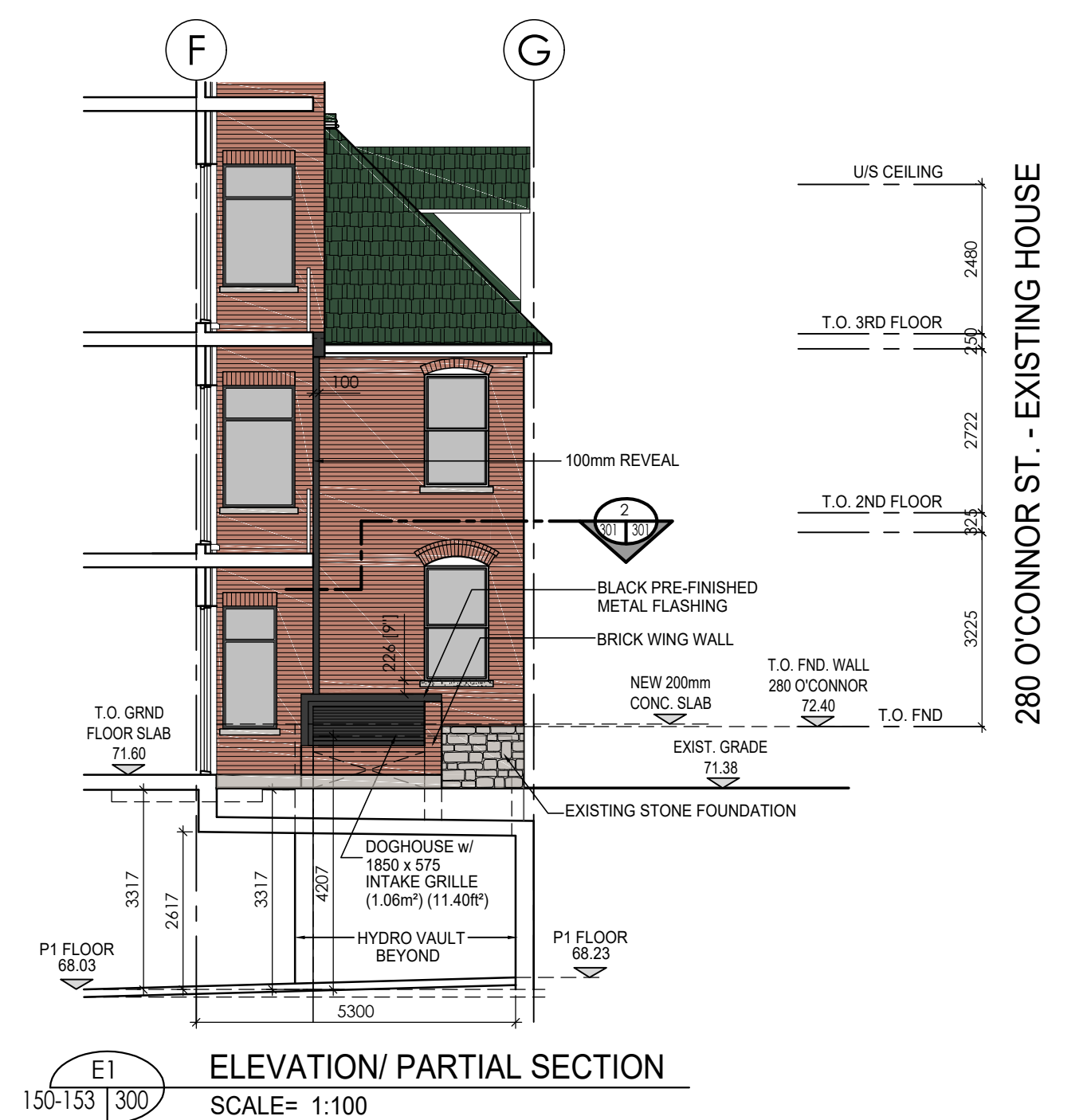
CANOPY LIGHTING DETAIL
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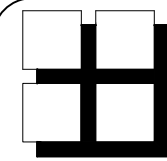
SIGNAGE LIGHTING DETAIL
SCALE= 1:5



CHANNEL SIGN ELEVATION
SCALE= 1:10



ELEVATION/PARTIAL SECTION
SCALE= 1:100



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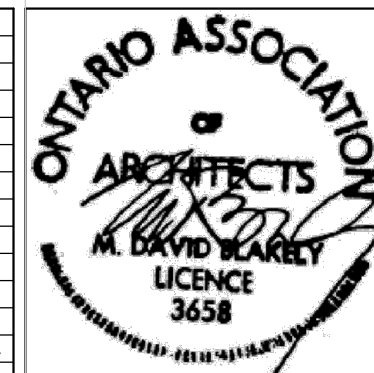
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9.			
8.			
7.			
6.	22/10/20	REVISED PER CITY COMMENTS	JB
5.	25/09/20	ISSUED FOR PERMIT UPDATE	JB
4.	17/09/20	ISSUED FOR WINDOW/MASONRY/RAILING PRICING	JB
3.	28/08/20	ISSUED FOR DRYWALL PRICING	JB
2.	14/07/20	FOR PERMIT	JB
1.	07/07/20	FOR CO-ORDINATION	JB
NO.	DATE	DESCRIPTION	INIT.

NO.	DATE	DESCRIPTION	INIT.
24.			
23.			
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18.			
17.			
16.			
15.			
14.			
13.			
NO.	DATE	DESCRIPTION	INIT.



A	B	C
A - DETAIL NUMBER	B - SHEET NUMBER (DETAIL REQUIRED)	C - SHEET NUMBER (DETAIL LOCATION)

PROJECT:
6 STOREY APARTMENT BUILDING
280 O'CONNOR ST.
OTTAWA, ONTARIO

CLIENT:
POLO IV PROPERTIES INC.
680 EAGLESON ROAD PO BOX 45011
OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE:
**SOUTH (GILMOUR ST.)
ELEVATION**

DATE:
DEC. 2018

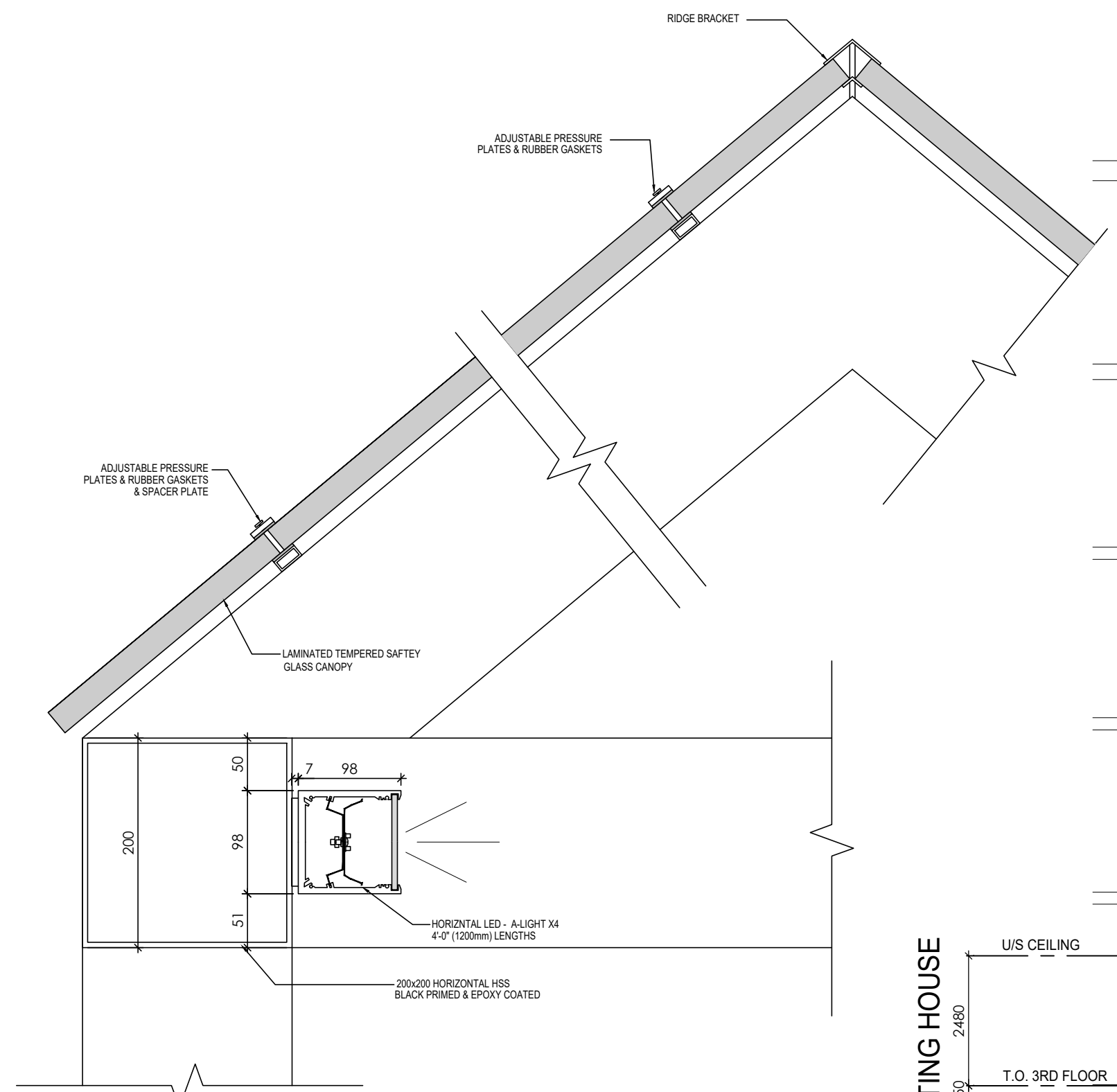
SCALE:
1 : 100

SHEET No. REV No.:
A300

DRAWN BY:
JB

CHECKED:
MDB

D07-12-19-0146



3
301 CANOPY SECTION DETAIL
SCALE= 1:5

280 O'CONNOR ST. - EXISTING HOUSE



EAST ELEVATION - O'CONNOR ST.
SCALE= 1:100
REVISED 4th FLOOR WINDOWS

LIMITING DISTANCE= 20.85m
AREA OF EXPOSED BUILDING FACE= 545.71m²
MAX % U.P.O. (O.B.C. TABLE 3.2.3.1.D)= 100%
WALL CONSTRUCTION PROVIDED : 60 min. FIRE RESISTANCE RATING
TYPE CLADDING PROVIDED: NON-COMBUSTIBLE PROVIDED

EXTERIOR LIGHTING

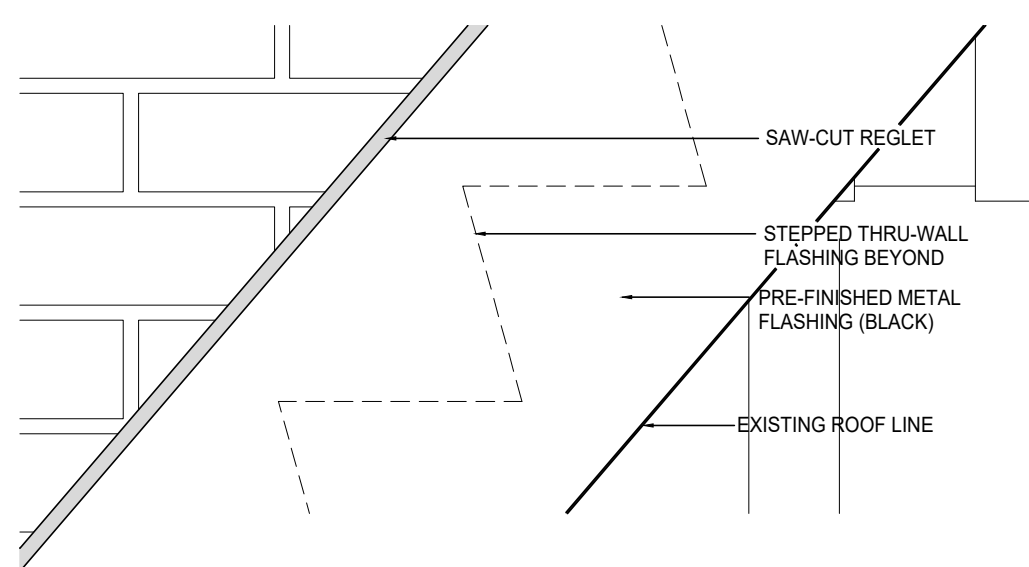
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'A' - 7" - 350dia. GLOBE & POLE, CYCLONE CGIT4, BLACK, 7'-0" HIGH POLE
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'D' - POT LIGHTS - 3000K- BLACK TRIM
'E' - WALL MOUNT - WAC LIGHTING- WS-W20506 (10"x5 1/2"), 3000K, 16w, 805, BLK
280 O'CONNOR EXISTING SLOPPED ROOF - WINOWNA LIGHTING - 500ADJH2 - DOWN FACING

LIST OF MATERIALS

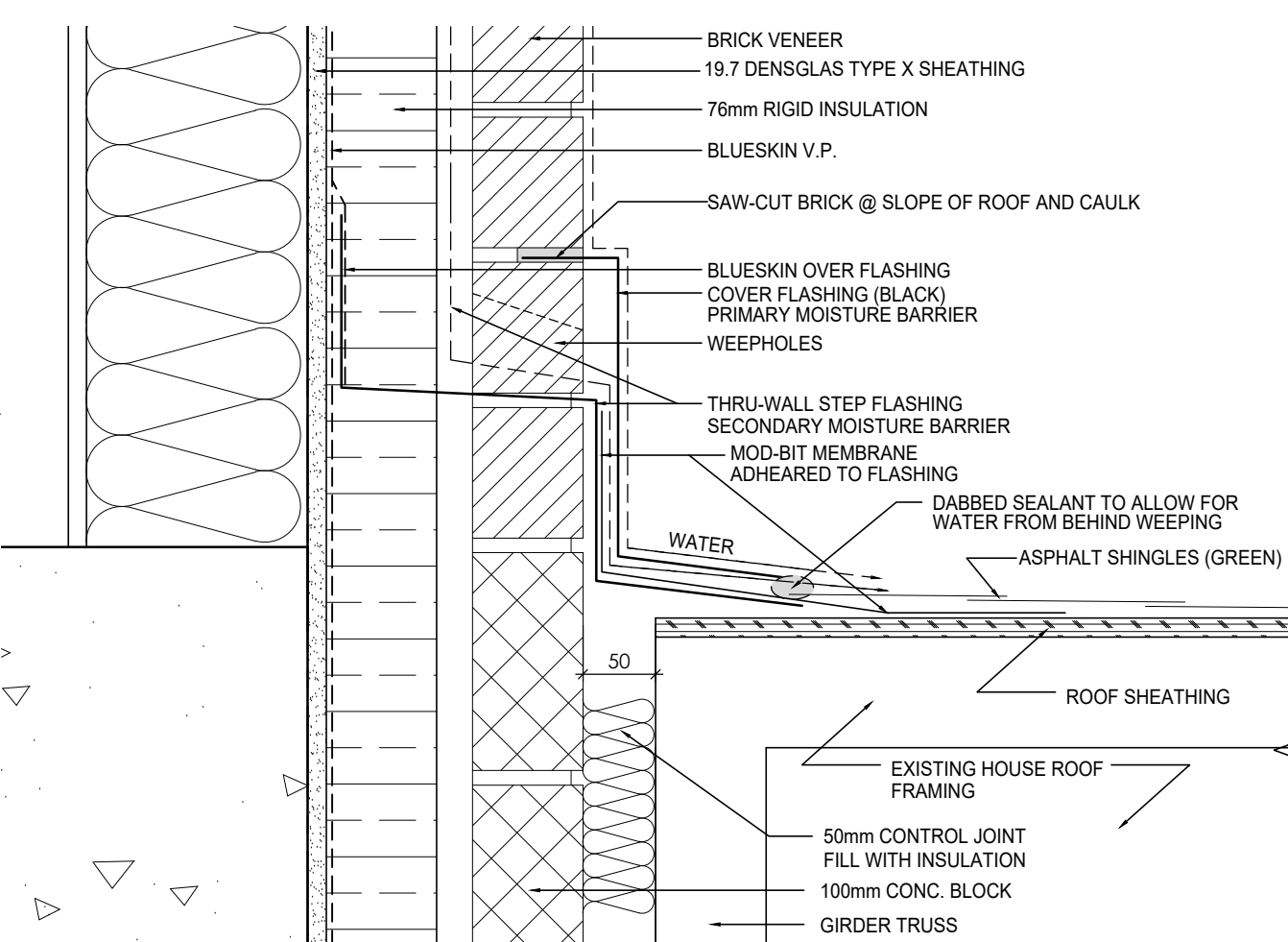
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MORTAR - COLOUR TO MATCH BRICK - COVE JOINT (1)
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- EXPOSED CONCRETE COLUMN

NOTES

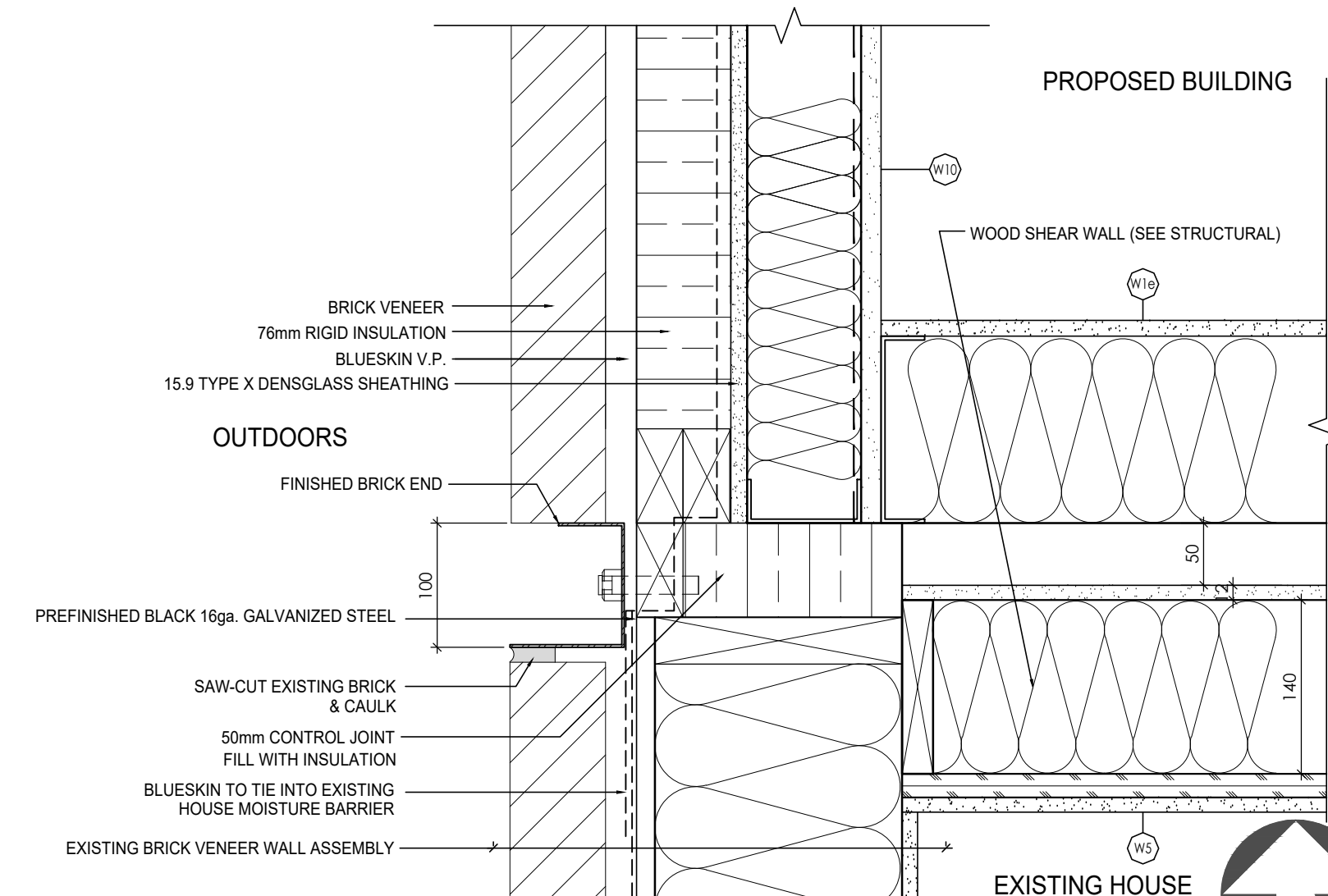
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- ALUMINUM PANEL COLOURS TO BE SELECTED FROM MANUFACTURER'S COLOUR RANGE & LARGE FORMAT SAMPLES.



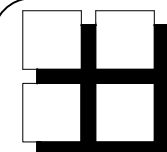
E1
301 PARTIAL ELEVATION - FLASHING DETAIL
SCALE= 1:5



1
301 SECTION DETAIL - EXISTING HOUSE ROOF @ PROPOSED BUILDING
SCALE= 1:5



2
301 PLAN DETAIL - EXISTING HOUSE WALL @ PROPOSED BUILDING
SCALE= 1:5
280 O'CONNOR WEST WALL



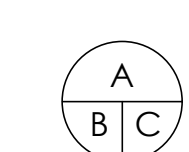
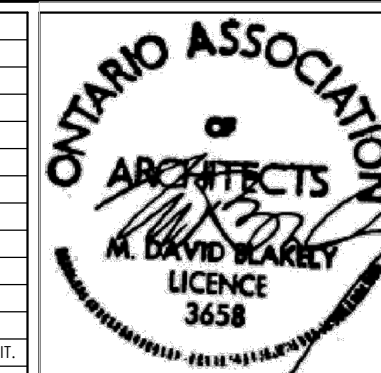
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SEAL

NO.	DATE	DESCRIPTION	INIT.	NO.	DATE	DESCRIPTION	INIT.
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11.				23.			
10.				22.			
9.				21.			
8.				20.			
7.				19.			
6.	22/10/20	REVISED PER CITY COMMENTS	JB	18.			
5.	25/09/20	ISSUED FOR PERMIT UPDATE	JB	17.			
4.	17/09/20	ISSUED FOR WINDOW/MASONRY/RAILING PRICING	JB	16.			
3.	28/08/20	ISSUED FOR DRYWALL PRICING	JB	15.			
2.	14/07/20	FOR PERMIT	JB	14.			
1.	07/07/20	FOR CO-ORDINATION	JB	13.			



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C - SHEET NUMBER (DETAIL LOCATION)

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6 STOREY APARTMENT BUILDING
280 O'CONNOR ST.
OTTAWA, ONTARIO

CLIENT:
POLO IV PROPERTIES INC.
680 EAGLESON ROAD PO BOX 45011
OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE:
EAST (O'CONNOR ST.)
ELEVATION

DATE:
DEC. 2018

SCALE:
1 : 100

SHEET NO. REV NO.:
A301

D07-12-19-0146



NORTH ELEVATION
SCALE= 1:100

EXTERIOR LIGHTING

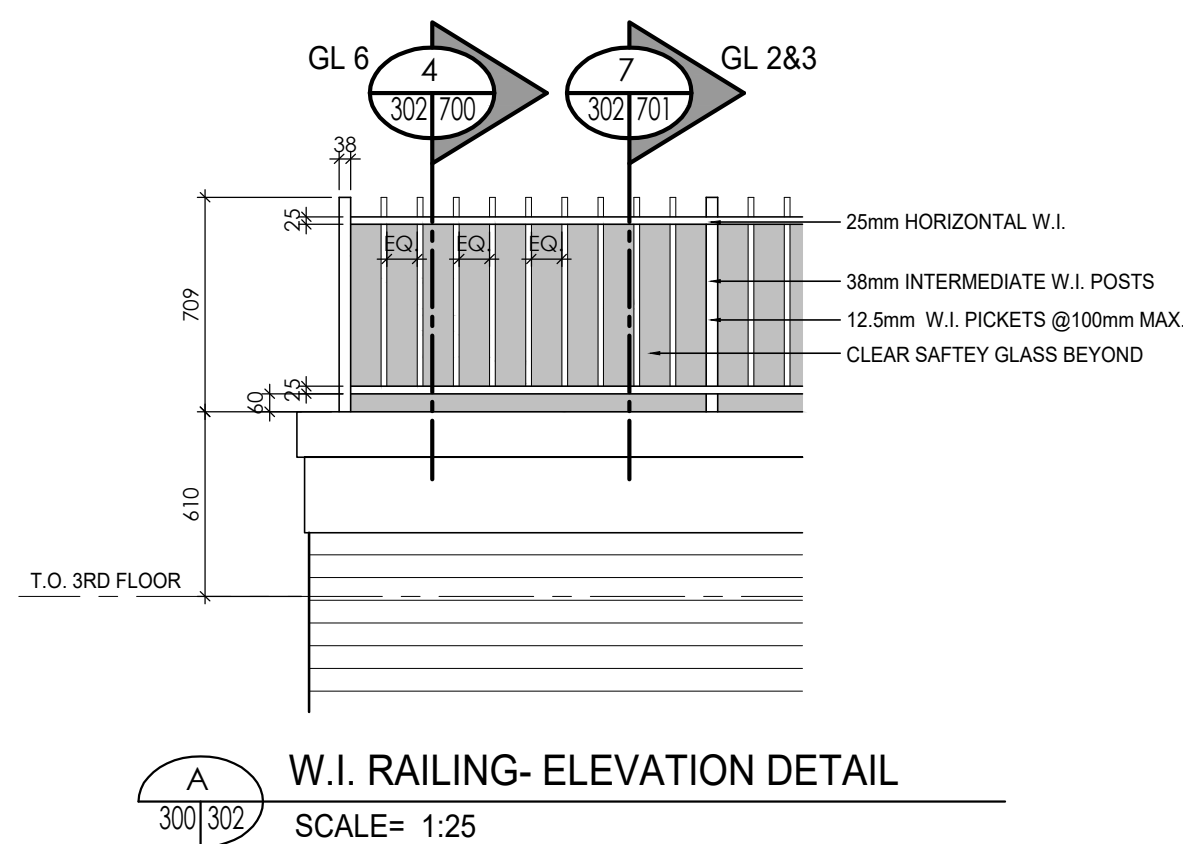
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'E' - WALL MOUNT - WAC LIGHTING- WS-W20506 (10"x5 1/2"), 3000K, 16w, 805, BLK
280 O'CONNOR EXISTING SLOPPED ROOF - WINOWNA LIGHTING - 500ADJH2 - DOWN FACING

LIST OF MATERIALS

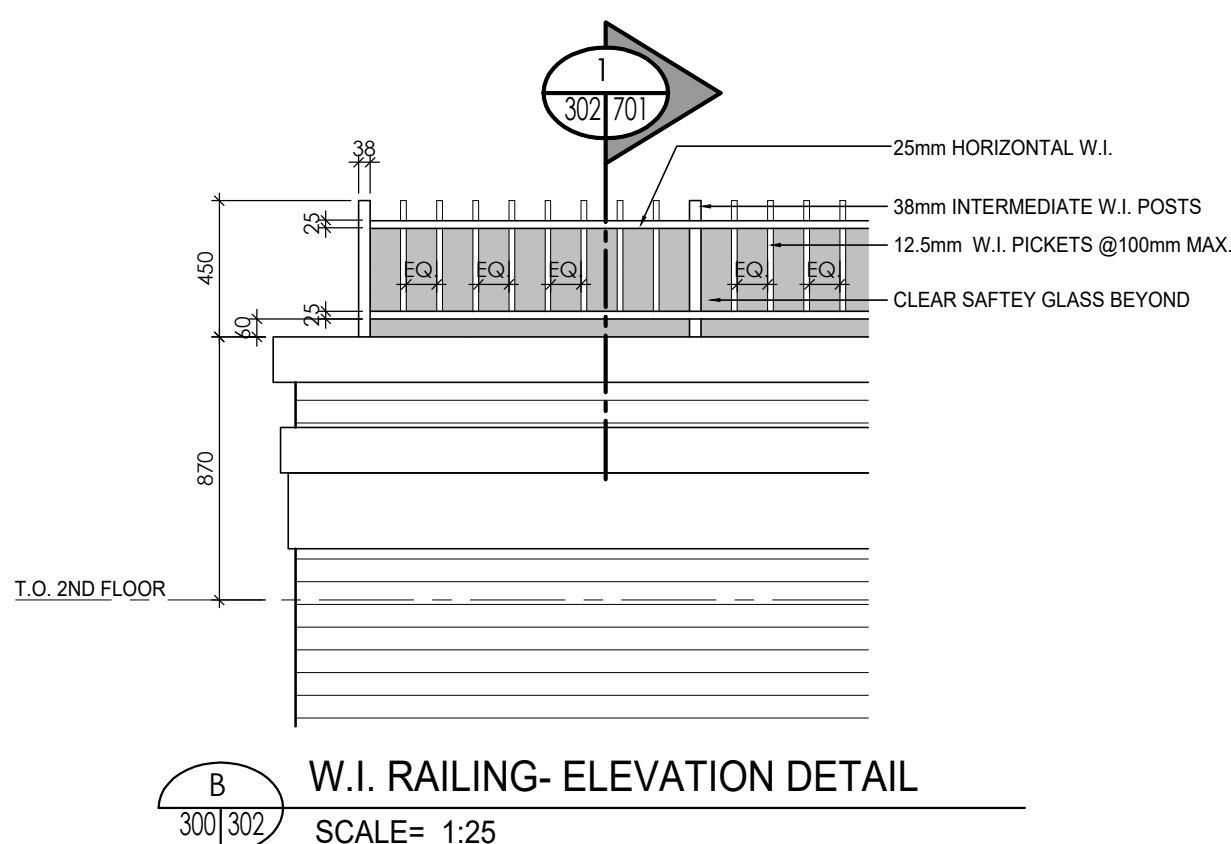
- 1- BRICK- MERIDIAN - RIVERDALE SMOOTH IRONSPOT- METRIC MODULAR MORTAR - COLOUR TO MATCH BRICK - COVE JOINT (1)
- 2- BRICK - MERIDIAN - TUXEDO - METRIC MODULAR MORTAR COLOUR TO MATCH BRICK - COVE JOINT (1)
- 3- URBAN ACCENT PANELS - COLOUR - PEWTER - LOW LUSTER (2)
- 4- ALUMINUM PANEL - COLOUR - PEWTER - LOW LUSTER (2)
- 5- WINDOW - CLEAR-LOW 'E' THERMOPANE PRE-FINISHED EXTRUDED ALUMINUM FRAMES- BLACK
- 6- W.I. RAILING - BLACK - SEMI GLOSS
- 7- GLASS CANOPY ON STEEL FRAME (SQUARE-POWDER COATED - BLACK)
- 8- GLASS GUARD - CLEAR - FRAME- BLACK - SEMI GLOSS
- 9- JULIET BALCONY - GLASS - CLEAR - FRAME- BLACK - SEMI GLOSS
- 10- EXPOSED CONCRETE CANOPY
- 11- EXPOSED CONCRETE COLUMN

NOTES

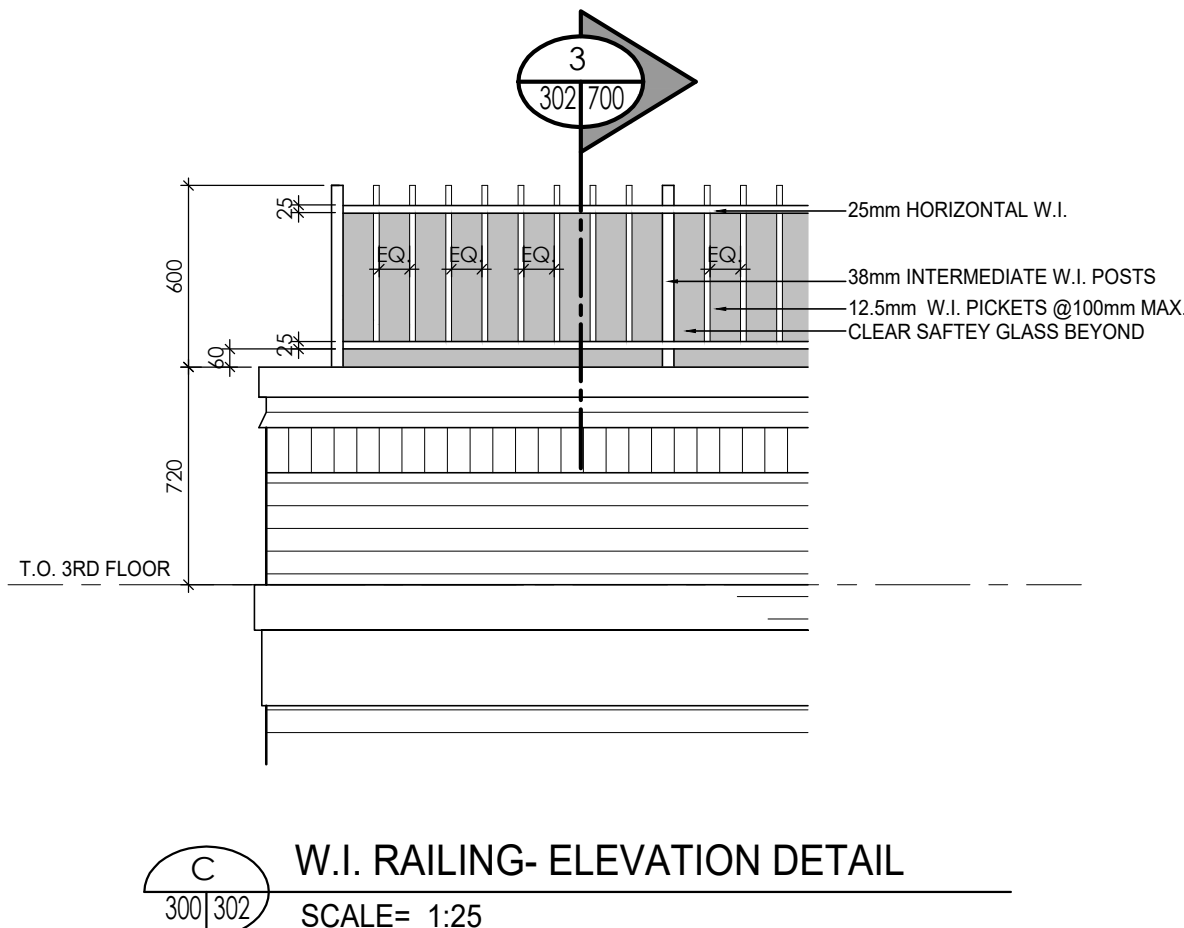
- (1) BRICK TYPE & MORTAR TO BE CONFIRMED BY ON SITE MOCK-UP
- (2) ALUMINUM PANEL COLOURS TO BE SELECTED FROM MANUFACTURER'S COLOUR RANGE & LARGE FORMAT SAMPLES.



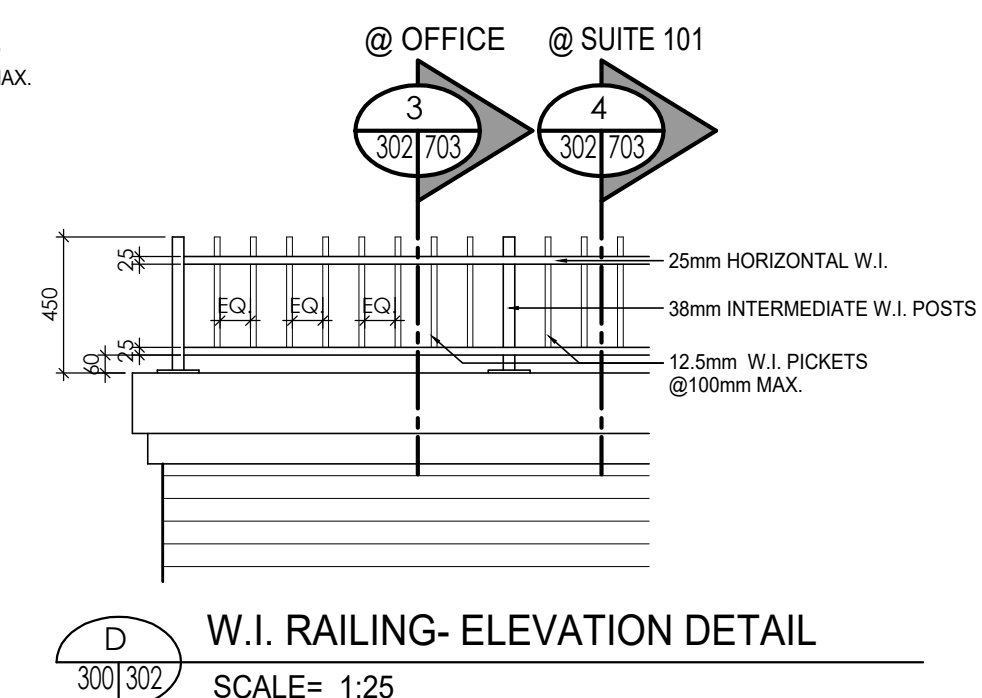
W.I. RAILING- ELEVATION DETAIL
SCALE= 1:25



W.I. RAILING- ELEVATION DETAIL
SCALE= 1:25



W.I. RAILING- ELEVATION DETAIL
SCALE= 1:25



W.I. RAILING- ELEVATION DETAIL
SCALE= 1:25

GENERAL NOTES:

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SEAL

NO.	DATE	DESCRIPTION	INIT.	NO.	DATE	DESCRIPTION	INIT.
12.				24.			
11.				23.			
10.				22.			
9.				21.			
8.				20.			
7.				19.			
6.	22/10/20	REVISED PER CITY COMMENTS	JB	18.			
5.	25/09/20	ISSUED FOR PERMIT UPDATE	JB	17.			
4.	17/09/20	ISSUED FOR WINDOW/MASONRY/RAILING PRICING	JB	16.			
3.	28/08/20	ISSUED FOR DRYWALL PRICING	JB	15.			
2.	14/07/20	FOR PERMIT	JB	14.			
1.	07/07/20	FOR CO-ORDINATION	JB	13.			



EXTERIOR LIGHTING

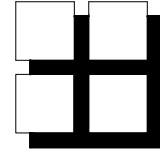
- 'A' - 9' - 350dia. GLOBE & POLE, CYCLONE CGIIT4, BLACK, 9'-0" HIGH POLE
'A' - 7' - 350DIA. GLOBE & POLE, CYCLONE CGIIT4, BLACK, 7'-0" HIGH POLE
'B' - BEGA- LED WALL LUMMAIRE - 3000K- 24505- BLACK (5 1/2" x 19 3/8") (WIRING BOX 19537)
'C' - BEGA- LED WALL LUMMAIRE - 3000K- 22750+K3- BLACK (5 1/2" X 8 1/2")
'D' - POT LIGHTS - 3000K- BLACK TRIM
'E' - WALL MOUNT - WAC LIGHTING- WS-W20506 (10'x5 1/2"), 3000K, 16w, 805, BLK
280 O'CONNOR EXISTING SLOPPED ROOF - WINOWNA LIGHTING - 500ADJH2 - DOWN FACING

LIST OF MATERIALS

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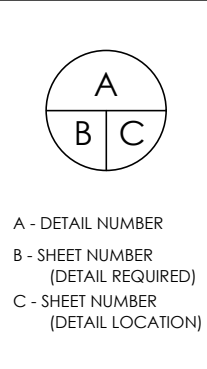
M. David Blakely
Architect Inc.
2200 Prince of Wales Dr., Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

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SEAL

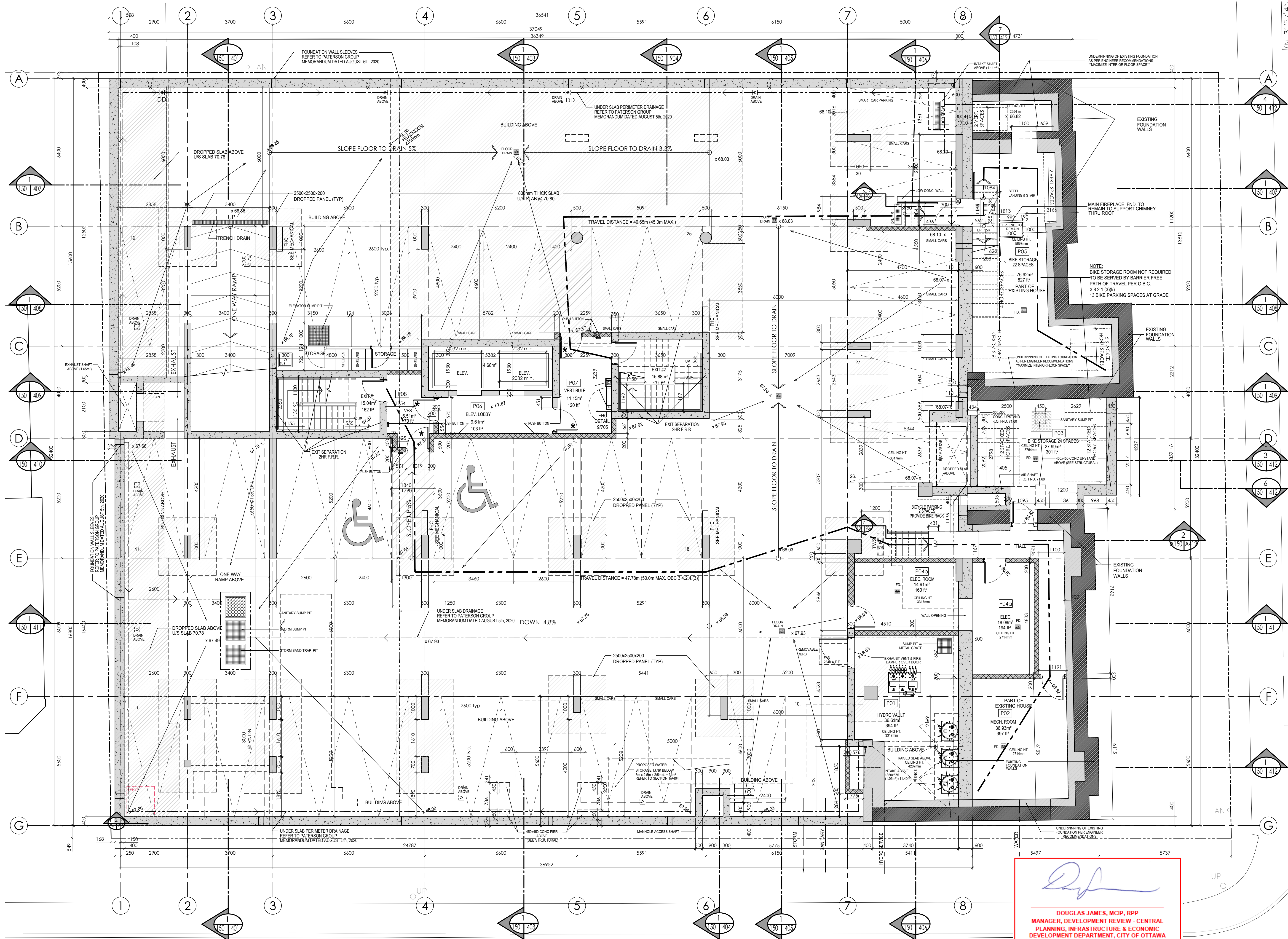
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12.				24.			
11.				23.			
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9.				21.			
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2.	14/07/20	FOR PERMIT	JB	14.			
1.	07/07/20	FOR CO-ORDINATION	JB	13.			



PROJECT:
6 STOREY APARTMENT BUILDING
280 O'CONNOR ST.
OTTAWA, ONTARIO
CLIENT:
POLO IV PROPERTIES INC.
680 EAGLESON ROAD PO BOX 45011
OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE:
WEST ELEVATION
DATE:
DEC. 2018
SCALE:
1 : 100
SHEET No. REV No.:
A303
DRAWN BY:
JB
CHECKED:
MDB

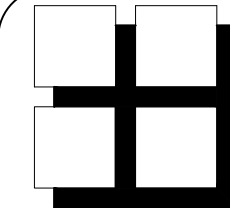
D07-12-19-0146



UNDERGROUND PARKING PLAN - FLOOR AREA= 1,212.79m² (13,054.36 ft²)
SCALE= 1:75
EXISTING HOUSES= 167.49m² (1,802.84 ft²)

Douglas James
DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Douglas James at 11:45 am, Feb 19, 2021



M. David Blakely
Architect Inc.

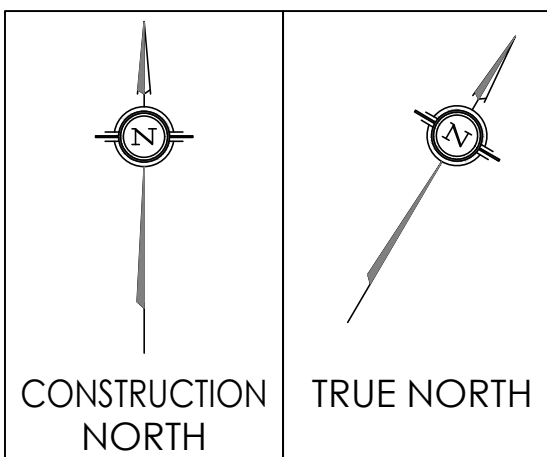
2200 Prince of Wales Dr. - Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:

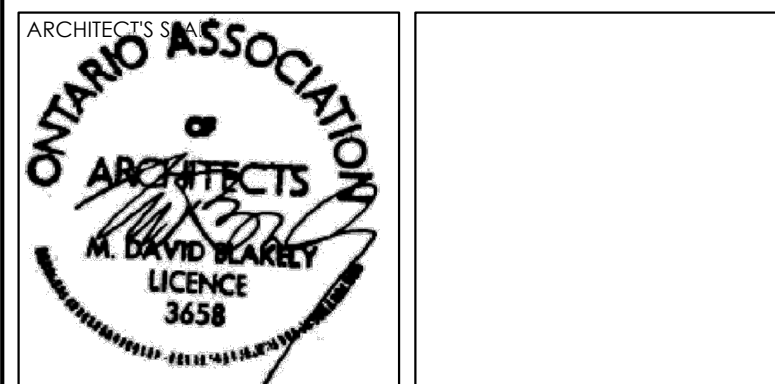
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FOUNDATION DRAINAGE/ WATERPROOFING:

REFER TO MEMORANDUM PREPARED BY PATERSON GROUP DATED AUGUST 5th, 2020 FOR PERIMETER DRAINAGE & WATERPROOFING DETAILS



12.			
11.			
10.			
9.			
8.			
7.			
6.	22/10/20	PER CITY COMMENTS	JB
5.	25/09/20	ISSUED FOR PERMIT UPDATE	JB
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1.	07/07/20	FOR CO-ORDINATION	JB
#	DATE	DESCRIPTION	INIT



A	A - DETAIL NUMBER
B	B - SHEET NUMBER (DETAIL REQUIRED)
C	C - SHEET NUMBER (DETAIL LOCATION)

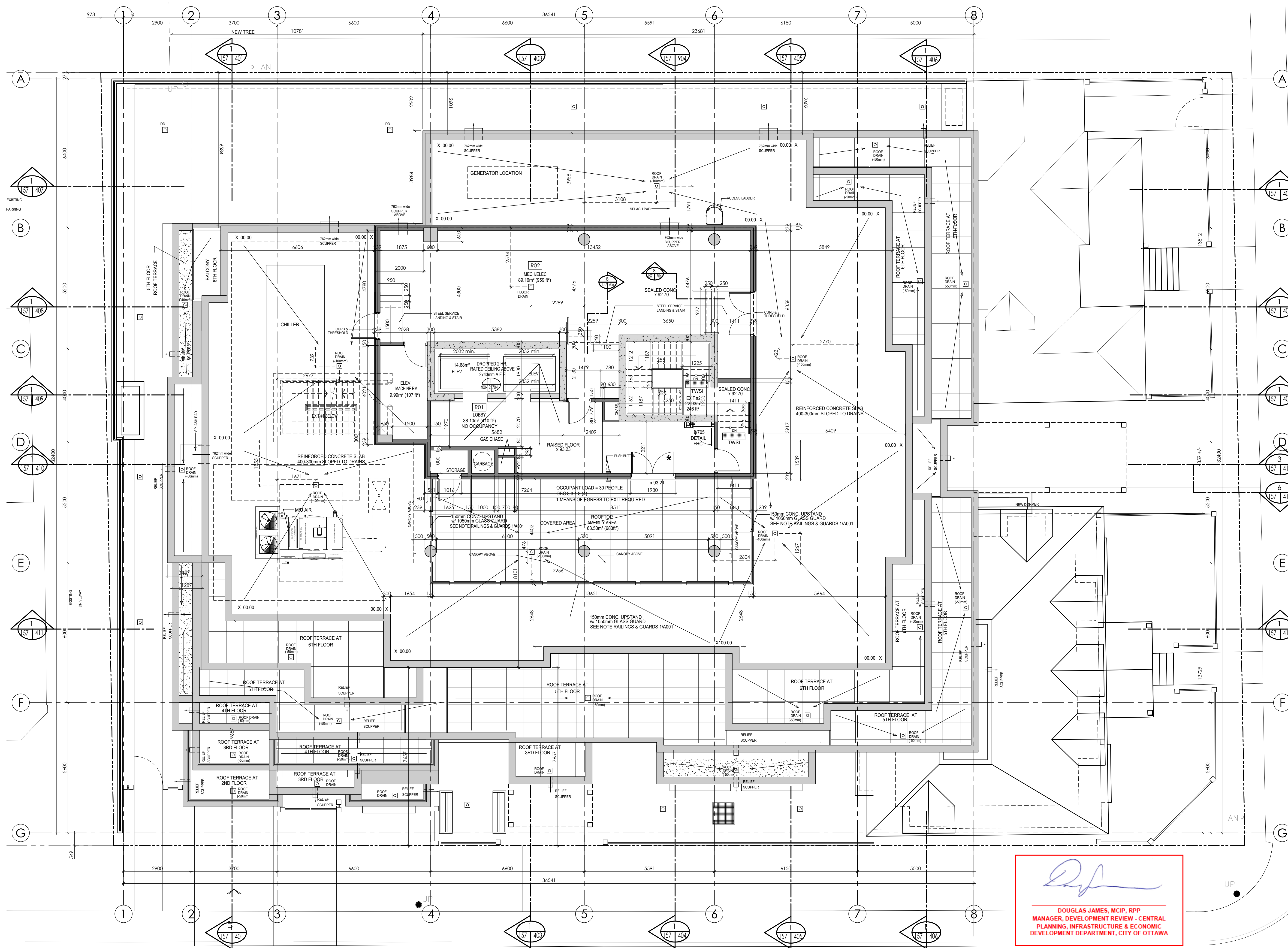
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OTTAWA, ONTARIO

CLIENT
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680 EAGLESON ROAD PO BOX 45011
OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE
UNDERGROUND
PARKING PLAN

DATE DEC. 2018	SCALE 1:75	SHEET No. A150
DRAWN BY: JB	CHECKED MDB	

D07-12-19-0146



ROOF PLAN - PENTHOUSE FLOOR AREA= 175.70m² (1,891.22 ft²)
 SCALE= 1:75

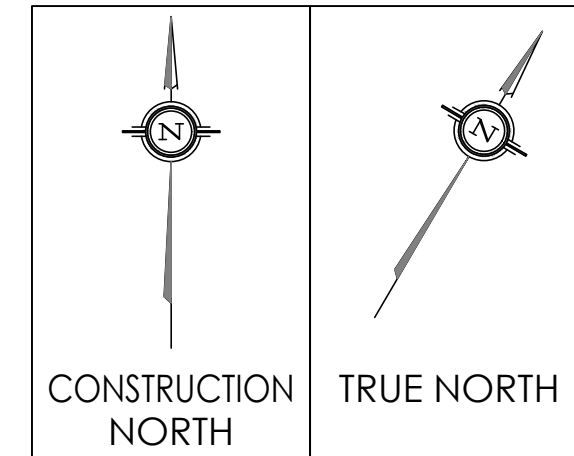
[Signature]
 DOUGLAS JAMES, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW - CENTRAL
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Douglas James at 11:45 am, Feb 19, 2021

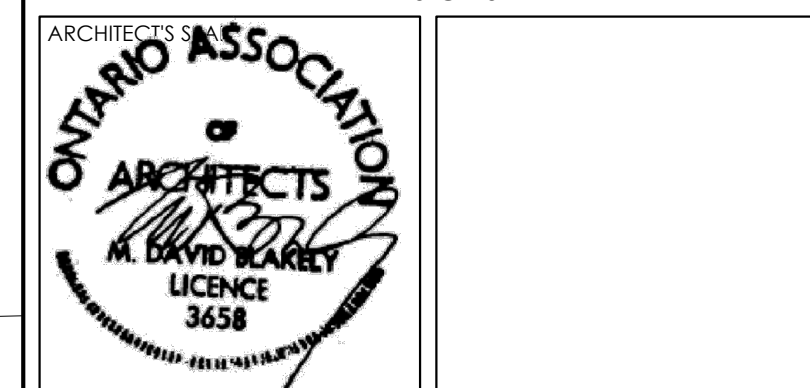
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- LEGEND:**
- * ACTIVE DOOR, POWER OPERATOR & PUSH BUTTONS
 - * SPRINKLER PROTECTED WINDOW
 - * COMBINATION ROOM AREAS ARE HATCHED AREA ONLY
 - ▲ WASHROOM BLOCKING FOR FUTURE GRAB BARS - 1 WASHROOM/UNIT SEE DETAILS 10-14/A705



12.			
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 OTTAWA, ONTARIO K2M 2G9

DRAWING TITLE
 ROOF PLAN

DATE DEC. 2018	SCALE 1:75	SHEET No. A157
DRAWN BY: JB	CHECKED MDB	

D07-12-19-0146