

TREE CONSERVATION REPORT

2046-2050 Scott Street

Tree Conservation Report submitted as Partial
Requirements for a Site Plan Control Application

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Forester, ISA Certified Arborist®, ON-1976



Dendron Forestry Services

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Preliminary Tree Conservation Report

Submitted as part of Site Plan Control Application

Address: 2046 – 2050 Scott Street

Date: January 15, 2021

Prepared by: Astrid Nielsen, RPF, ISA Certified Arborist ®

Prepared for: Jakub Ulak, President, Surface Developments, jakub@surfacedevelopments.com

Site Visit: May 4, 2020

Introduction

This Tree Conservation Report v2.0 replaces the Preliminary Tree Conservation Report that was prepared by Dendron Forestry Services dated May 4, 2020. The objectives of this Tree Conservation Report are:

- To describe all trees over 10 cm on the site, recording their species, size, and current health condition
- To evaluate the impact of the trees by the proposed development and what the recommended action is (retain or protect)
- To provide recommendations on how to mitigate damage to retained trees during construction

Current Vegetation

The following is an inventory of all trees 10 cm or greater on the property and adjacent property that will be impacted by development. It also includes Distinctive Trees (30 cm or greater) on adjacent properties whose Critical Root Zone extend within the area of excavation.

These trees have been identified on the Tree Conservation Report Map. Note that no trees, except for 4 and 5 were included on the grading plan, and their locations have been estimated.



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Tree Inventory

Tree ¹	Species	Diameter at breast height (dbh)	Critical Root Zone (m) ²	Ownership	Condition	Action
1	Manitoba maple (<i>Acer negundo</i>)	15 cm	1.5 m	Private	Poor; topped by hydro	Proposed removal; in conflict with proposed development
2	American elm (<i>Ulmus americana</i>)	49 cm	5 m	Private	Good/fair; restricted and compromised rooting zone	Proposed removal; in conflict with proposed development
3	American elm (<i>Ulmus americana</i>)	18 cm	2 m	Private	Good/fair; restricted and compromised rooting zone	Proposed removal; in conflict with proposed development
4	Siberian elm (<i>Ulmus pumila</i>)	60 cm	6 m	Private	Fair; multi-stem with included bark	Proposed removal; in conflict with proposed development
5	Manitoba maple (<i>Acer negundo</i>)	44 cm	4 m	Private	Good	Proposed removal; in conflict with proposed development
6	Manitoba maple (<i>Acer negundo</i>)	14	1.5 m	Private	Fair	Proposed removal; in conflict with proposed development
7	Ash (<i>Fraxinus spp.</i>)	42 cm	n/a	Private	Dead	Remove
8	Freeman maple (<i>Acer freemanii</i>)	30 cm	3 m	City; right-of-way in front of 295 Ashton	Fair; multiple cankers along the trunk and crown dieback	Proposed removal; in conflict with proposed development
9	Pyramidal cedar clump	10, 10, 5, 5 cm (estimate)	1 m	City; right of way in front of 301 Ashton	Good	Proposed removal; replace with a



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						larger tree
10	Crab apple (<i>Malus spp</i>)	15 cm (estimate)	1.5 m	Private – rear yard of 301 Ashton	Good	Proposed removal; in conflict with proposed development
11	Lilac (<i>Syringa reticula</i>)	Multi- stemmed; 7 stems 10-15 cm (estimate)	2 m	Private – rear yard of 301 Ashton	Good	Proposed removal; in conflict with proposed development

¹ Please refer to the attached map for tree numbers. Note that the map includes a tree layer added to the survey or site plan (in pdf format) provided by the client. This layer includes only information about the trees and the original plan is not altered in this process. Also note that all locations have been estimated except for 4 and 5 which were included in the survey.

² Critical Root Zone is an area around the trunk with a radius equivalent to 10 times the diameter of the trunk

Proposed Development and Conserved Vegetation

The trees along the existing fence in the rear of 2046 Scott and 295 Ashton are all privately-owned and are in the footprint of the proposed 30-storey building. All of these trees have seeded naturally, and several are considered non-native, invasive species. However, these species can withstand harsh urban environments and provide shade and other benefits where other native species may not survive. Because their location is not compatible with the new building, removal is recommended.

Tree no. 8 is a Freeman maple that is in fair condition. The main stem has several cankers, some of which have sealed over. There is also some crown dieback, possibly caused by root damage when the adjacent soft surface was converted to asphalt about 5 years ago (see Google Street view for reference). Given the poor health of this tree, it is not recommended that it be incorporated into the new development.

The trees on the 301 Ashton property include the clump of cedar in the front along with two small trees in the rear yard, a crab apple and lilac tree. Note that this yard was not accessed, and the size, health and species of these trees have been estimated through a 2-m high fence. All the trees on this property lie within the footprint of the underground garage and, therefore, removal is requested.

A Tree Permit from the City of Ottawa is required prior to the removal of any of the trees identified in this report.



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The undersigned personally inspected the property and issues associated with this report on May 4, 2020. On Behalf of Dendron Forestry Services,



Astrid Nielsen, MFC, RPF (Registered Professional Forester)

ISA Certified Arborist®, ON-1976

ISA Tree Risk Assessment Qualified

Principal, Dendron Resource Surveys

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Figure 1: Trees no. 1-3: American elms and Manitoba maple to be removed



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Figure 2: Trees 4 to 7: Siberian elm, Manitoba maple and ash (dead) to be removed



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Figure 3: Tree no. 8 - City-owned Freeman maple to be removed



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Intended Use of the Report

This Information Report was carried out by Dendron Forestry Services (hereafter Dendron) at the request of the Client. The information, interpretation and analysis contained within this Report is to be used solely for the purposes outlined within this Report. This Report is for the exclusive use of the Client.

Limitations of this Report

This Report is based on the circumstances and observations as they existed at the time of the site inspection of the Client's Property and the trees situated thereon by Dendron and upon information provided by the Client to Dendron. The opinions in this Report are given based on observations made and using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by Dendron as to the length of the validity of the results, observations, recommendations and analysis contained within this Report. As a result the Client shall not rely upon this Report, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the trees discussed in this Report should be re-assessed periodically.

Further Services

Neither Dendron nor any assessor employed or retained by Dendron for the purpose of preparing or assisting in the preparation of this Report shall be required to provide any further consultation or services to the Client, save and except as already carried out in the preparation of this Report and including, without limitation, to act as an expert witness or witness in any court in any jurisdiction unless the Client has first made specific arrangements with respect to such further services, including, without limitation, providing the payment of the Report's regular hourly billing fees.

Dendron accepts no responsibility for the implementation of all or any part of the Report, unless specifically request to examine the implementation of such activities recommended herein. In the event that inspection or supervision of all or part of the implementation is requested, that request shall be in writing and the details agreed to in writing by both parties.

Assumptions

The Client is hereby notified and does hereby acknowledge and agree that where any of the facts and information set out and referenced in this Report are based on assumptions, facts or information provided to Dendron by the Client and/or third parties and unless otherwise set out within this Report, Dendron will in no way be responsible for the veracity or accuracy of any such information. Further, the Client acknowledges and agrees that Dendron has, for the purposes of preparing their Report, assumed that the Property, which is the subject of this Report is in full compliance with all applicable federal, provincial, municipal and local statutes, regulations, by-laws, guidelines and other related laws. Dendron explicitly denies any legal liability for any and all issues with respect to non-compliance with any of the above-referenced statutes, regulations, bylaws, guidelines and laws as it may pertain to or affect the Property to which this Report applies.

Professional Responsibility

In carrying out this Report, Dendron and any Assessor appointed for and on behalf of Dendron to perform and carry out the Report has exercised a reasonable standard of care, skill and diligence as would be customarily and normally provided in carrying out this Report. While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or all parts of them will remain standing. It is professionally impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or all their component parts, in all given circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential to fall, lean, or otherwise pose a danger to property and persons in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

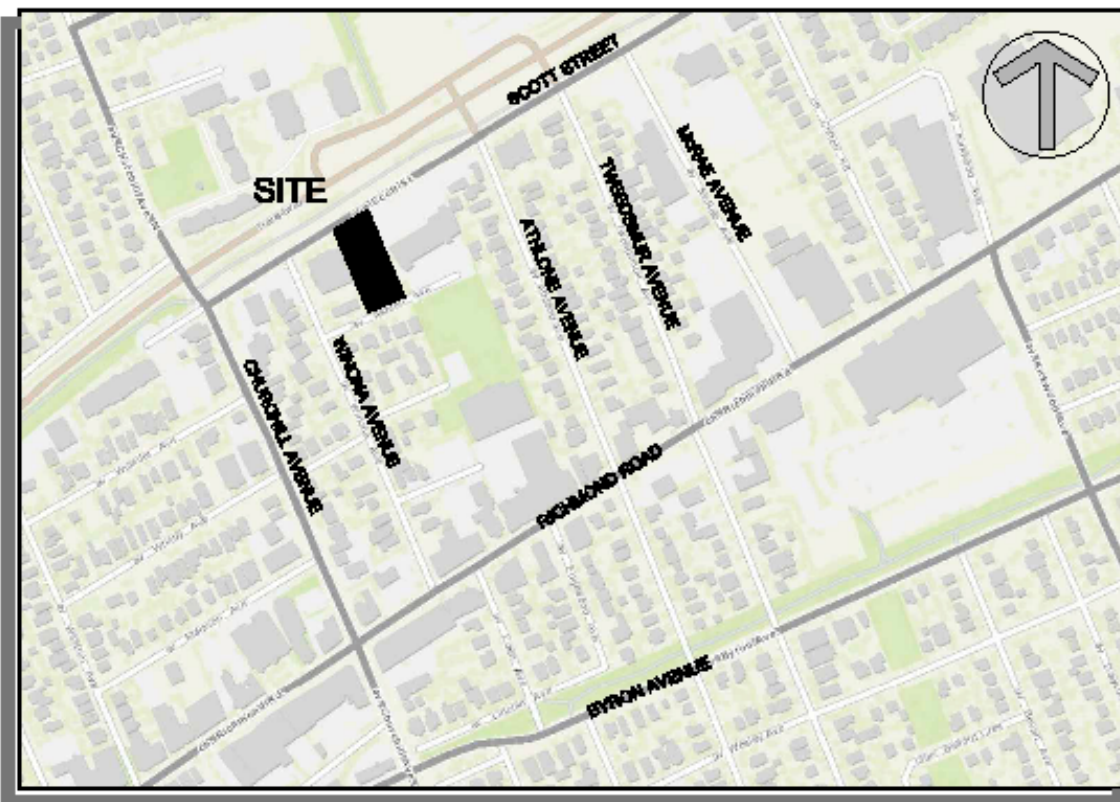
Without limiting the foregoing, no liability is assumed by Dendron for:

- a) any legal description provided with respect to the Property;
- b) issues of title and or ownership respect to the Property;
- c) the accuracy of the Property line locations or boundaries with respect to the Property; and
- d) the accuracy of any other information provided to Dendron by the Client or third parties;
- e) any consequential loss, injury or damages suffered by the Client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and
- f) the unauthorized distribution of the Report.

Further, under no circumstance may any claims be initiated or commenced by the Client against Dendron or any of its directors, officers, employees, contractors, agents or Assessors, in contract or in tort, more than 12 months after the date of this Report.

General

Any plans and/or illustrations in this Report are included only to help the Client visualize the issues in this Report and shall not be relied upon for any other purpose. This report is best viewed in colour. Any copies printed in black and white may make some details difficult to properly understand. Dendron accepts no liability for misunderstandings due to a black and white copy of the report.



DRAWING NOTES

PROJECT INFORMATION

ZONING BY-LAW 2008-250	TM (100) / R40
SITE AREA	1,384.54 sq. ft. 14,585 sq. ft.
TM (100) ZONING REQUIREMENT	TM (100) - 19 m / 140' - 11 m
BUILDING HEIGHT	2.134 m sq. ft.
AMENITY AREA - 1st FLOOR (254 units)	2.134 m sq. ft.
FRONT YARD SETBACK - TM (100) 4th story or 15 m H. + 2.0 m	0.0 m
INTERIOR YARD SETBACK - TM (100)	0.0 m
FRONT YARD SETBACK - R40	0.0 m
INTERIOR YARD SETBACK - R40	1.5 m / 2.3 m / 0.0 m
LANDSCAPE AREA - ADJUTING RES.	2.0 m

GRADE (CROCKET ELEVATION)	85.40 m. sea
BUILDING HEIGHT	82.0 m
REAR YARD SETBACK - ANGULAR PLANE @ 45°	74.5 m. H.
REAR YARD SETBACK	7.5 m.
TOWER FLOOR PLATE AREA	728.2 sq. ft.
STANDARD PARKING SPACE	2.5 m x 5.5 m
SMALL CAR PARKING SPACE	2.4m X 4.6m

GROSS BUILDING FLOOR AREA	100 sq. ft.
GROUND FLOOR	91.5 sq. ft.
2nd & 3rd FLOOR	5,878.8 sq. ft.
4th FLOOR	1,080.1 sq. ft.
5th & 6th FLOOR	1,107.4 sq. ft.
7th FLOOR - AMENITY	22,594 sq. ft.
8th FLOOR	0.0 sq. ft.
9th & 10th FLOOR	5,878.8 sq. ft.
11th & 12th FLOOR	6,780.2 sq. ft.
MECHANICAL PENTHOUSE	100.0 sq. ft.
TOTAL AREA ABOVE GRADE	22,220 sq. ft.

UNIT STATISTICS	
STUDIO UNIT	30
1 BEDROOM UNIT	214
2 BEDROOM UNIT	100
TOTAL	588
COMMERCIAL RETAIL UNIT	258.2 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	- 0.8 PER DWELLING UNIT
VISITOR	- 0.1 PER DWELLING UNIT
TOTAL	148
PROVIDED	
RESIDENCE	- 0.46 PER UNIT (258 UNITS)
VISITOR	- 0.1 PER UNIT (258 UNITS)
TOTAL	304

BICYCLE PARKING	
REQUIRED	
RESIDENCE	- 0.8 PER UNIT (258 UNITS)
COMMERCIAL RETAIL	- 1.0 PER 200 SQ. FT. A.
TOTAL	177
PROVIDED	
BELOW GRADE LEVEL	252
GROUND FLOOR	0
TOTAL	252

AMENITY SPACE	
AT GRADE EXTERIOR SIDE YARDS	700.0 sq. ft.
PRIVATE BALCONIES	1,100.0 sq. ft.
4th FLOOR - PRIVATE EXTERIOR	147.0 sq. ft.
7th FLOOR - EXTERIOR	850.0 sq. ft.
7th FLOOR - EXTERIOR	500.0 sq. ft.
TOTAL	3,107.0 sq. ft.
REQUIRED - 0.5 PER UNIT (258 UNITS)	2,118 sq. ft.
REQUIRED COMMUNAL @ 50%	1,580 sq. ft.

LOT COVERAGE	
PAVED SURFACE	22.0 sq. ft. 0.2%
BUILDING FOOTPRINT	1,351.1 sq. ft. 96.0%
LANDSCAPE OPEN SPACE	852.0 sq. ft. 34.9%
TOTAL	2,012.1 sq. ft. 100.0%

PROPERTY OWNER
Surface Development
88 Spadina Avenue
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Tel: 613.228-7381
Email: kevin@pgrs.ca

LEGAL DESCRIPTION
TOPOGRAPHIC PLAN OF SURVEY OF
LOTS 28 AND 29
REGISTERED PLAN 184
CITY OF OTTAWA

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:
(1) INDICATES DRAWING NUMBER, LISTED ON EACH SHEET.
(2) INDICATES ASSEMBLY TYPE, REFER TO TYPICAL ASSEMBLY SCHEDULE.
(3) INDICATES WINDOW TYPE, REFER TO WINDOW ELEVATIONS AND DETAILS ON ADD SERIES.
(4) INDICATES DOOR TYPE, REFER TO DOOR SCHEDULE AND DETAILS ON ADD SERIES.
(5) DETAIL NUMBER
(6) DETAIL REFERENCE PAGE
(7) DETAIL CROSS REFERENCE PAGE

REVIEWED PROJECT DESIGN	Mar. 30, 20
ISSUED FOR PUBLIC MEETING	Apr. 27, 20
ISSUED FOR ZONING AMENDMENT	Apr. 21, 20
NO. DESCRIPTION	DATE
REVISIONS:	
ARCHITECT SEAL	
ARCHITECT	
REAL DATE: STAMP DATE	
CLIENT:	

SURFACE

ARCHITECT
RODERICK LAHEY
ARCHITECT INC.
55 Beech Street, Ottawa, Ontario K1S 9J6
Tel: (613) 224-9932 Fax: (613) 224-1209 www.rodclahay.ca

PROJECT TITLE
2046 SCOTT STREET

OTTAWA ONTARIO

SHEET TITLE
SITE PLAN

DRAWN:	CHECKED:
R.V.	K.R.
SCALE:	SHEET NO.
1:125	
PROJECT NO.	
1928	

SP-1

Plan No.: #

PAPER SIZE: ISO Full Bleed B1 (707.00 X 1000.00 MM) OT DATE: Thursday, April 08, 2020

PLOT SCALE: 1:1

PEN STYLE: D-RLA-MASTER-100%.ctb

F:\2018\1928 - 2050 Scott Street - Surface Development\01_Design Development\1928 Site Plan 2020 04 10.dwg

Note that the tree layer has been added to the original site plan supplied by the client in pdf format. This layer refers to the trees only, and the original site plan has not been altered in the process.



Tree Conservation Report – 2046-2050 Scott
Tree layer prepared by Dendron Forestry Services
Version 2.0, January 15, 2021
For more information, please contact info@dendronforestry.ca