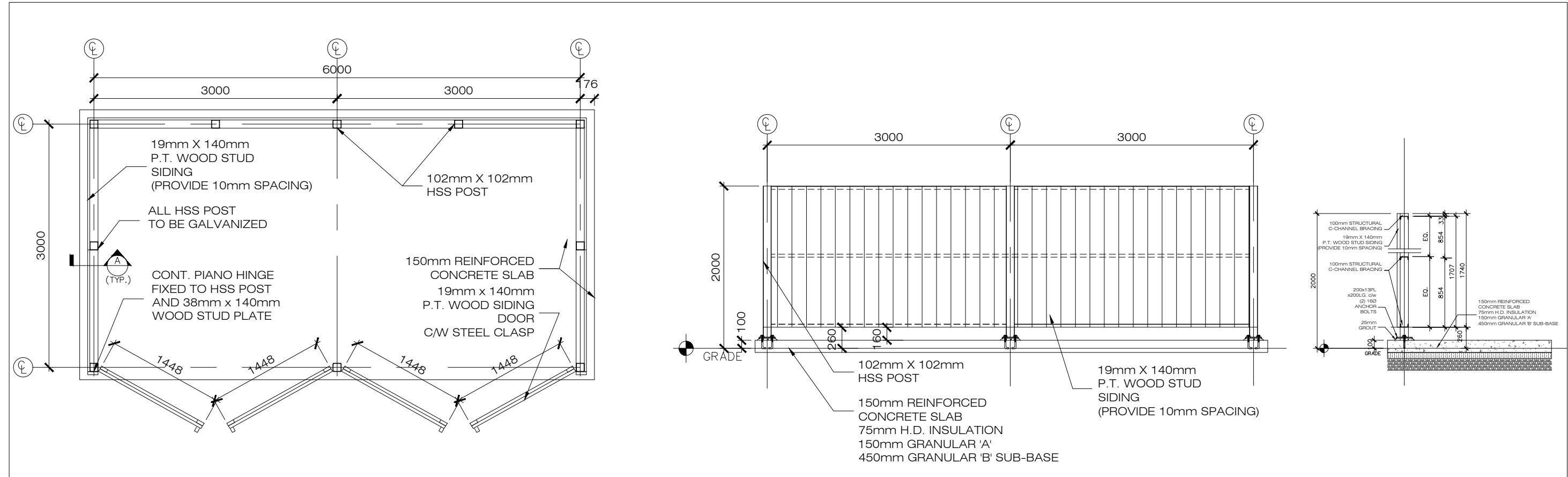
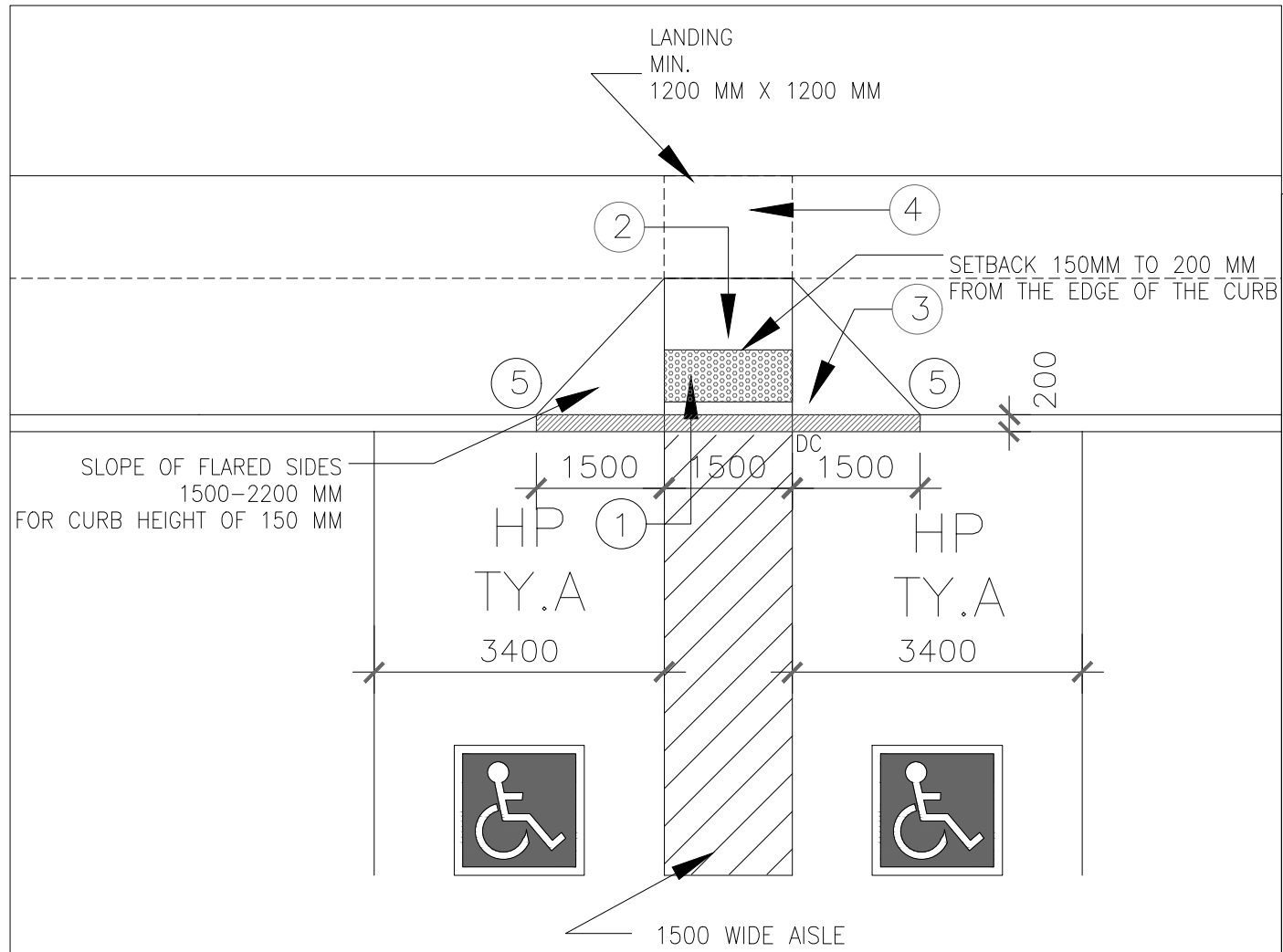




1 SITE PLAN
SP1 SCALE: 1:200



2 GARBAGE ENCLOSURE DETAIL
SP1 SCALE: 1:50



3 ACCESSIBLE PARKING CURB DETAIL
SP1 SCALE: 1:50

PLAN OF SUBDIVISION OF
PART OF LOT 20
CONCESSION 4 (Rideau Front)
Geographic Township of Nepean
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
3. Underground utilities shown on this plan are derived from City of Ottawa Department of Public Works and Services utility drawings.

GENERAL NOTES
1. Refer to Landscape drawings for information on trees to be retained.
2. Refer to Civil drawings for existing services and new service connections, and new grading and drainage information.

ZONING INFORMATION

ZONE DESIGNATION
IP [2265] H(16)
ZONING REQUIREMENTS:
NOTE: ZONING REQUIREMENTS PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW IP[2265] H(16) CONSOLIDATION DATE: SEPTEMBER 26, 2018
MIN. LOT WIDTH REQUIRED: NO MIN.
MIN. LOT AREA REQUIRED (M²): 750M²
LOT AREA PROVIDED: 4047.9M²
MAX. BUILDING HEIGHT: 16.0M
BUILDING HEIGHT, FROM AVERAGE GRADE: ±12.2M
MIN. FRONT YARD SETBACK: 6.0M
FRONT YARD SETBACK: 6.0M
MIN. REAR YARD SETBACK: 6.0M
REAR YARD SETBACK: 6.0M
MAX. INTERIOR SIDE YARD SETBACK: (ON THE SOUTH SIDE OF PROPERTY) 3.0M
INTERIOR SIDE YARD SETBACK: 3.0M
MIN. CORNER YARD SETBACK: (ON THE NORTH SIDE OF PROPERTY) 6.0M
BUILDING CORNER YARD SETBACK: 6.0M

PARKING REQUIREMENTS
NOTE: PARKING SPACE RATES PROVIDED IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW 2008-250 SECTIONS 101 - 102, TABLES 101 - 102 & 108
MIN. PARKING STALLS REQUIRED FOR MEDICAL OFFICES PER 100M² GFA: 4.0
MIN. PARKING STALLS REQUIRED FOR RESTAURANT PER 100M² GFA: 10.0
MINIMUM BICYCLE PARKING PER 250M² GFA: 1.0

DEVELOPMENT INFORMATION

PROPOSED:
LOT AREA: 4047.9M²
BUILDING AREA:
RESTAURANT: 3,014.00FT² 280.00M²
MEDICAL OFFICES: 6032.09FT² 560.40M²
TOTAL BUILDING AREA: 9045.99FT² 840.4M²
GROSS FLOOR AREA:
RESTAURANT (GROUND + MEZZANINE): 2,626.00FT² 244.00M²
MEDICAL OFFICES: 5464.83FT² 507.70M²
TOTAL G.F.A. (PROPOSED): 8,090.83FT² 751.70M²
LOT COVERAGE PROVIDED:
MEDICAL CLINIC+ RESTAURANT: 840.4M² 20.75%
LANDSCAPED AREA PROVIDED:
PROPOSED LANDSCAPED AREA: 891.0M² 22.0%
PROPOSED PARKING:
PARKING SPACE DIMENSIONS: 2.6 M X 5.2 M
ACCESSIBLE PARKING SPACE: TYPE A: 3.4 M X 5.2 M, TYPE B: 2.4 M X 5.2 M
LOADING BAY DIMENSIONS (PER 11.38)
WIDTH: 3.5 M
LENGTH: 7 M
REQUIRED PARKING RESTAURANT: (10 STALLS PER 100M² G.F.A.) 25 STALLS
24M²
REQUIRED PARKING MEDICAL OFFICES: (4 STALLS PER 100M² G.F.A.) 21 STALLS
507.7M²
TOTAL OF REQUIRED PARKING: 46 STALLS
TOTAL ACCESSIBLE PARKING REQUIRED:
FOUR PERCENT (4%) OF THE TOTAL NUMBER OF PARKING SPACES TO BE ACCESSIBLE 2 STALLS
TOTAL ACCESSIBLE PARKING PROVIDED:
TYPE A (3400 MM WIDE): 1 STALL
TYPE B (2400 MM WIDE): 1 STALL
TOTAL ON GRADE PARKING PROVIDED: 53 STALLS
BICYCLE PARKING REQUIRED:
RESTAURANT: (1 SPACE PER 250M² G.F.A.) 1 SPACE
24M²
MEDICAL OFFICES: (1 SPACE PER 250M² G.F.A.) 3 SPACES
507.7M²
TOTAL OF REQUIRED BICYCLE PARKING: 4 SPACES
TOTAL BICYCLE PARKING PROVIDED: 5 SPACES

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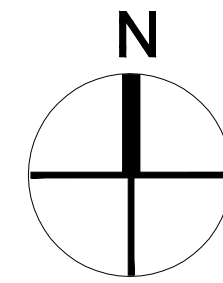
APPROVED ☐ REFUSED ☐
DATE: _____

3	ISSUED IN RESPONSE TO PLANNER REVIEW	21/01/04 VPC
2	ISSUED FOR REVIEW	20/11/12 VPC
1	ISSUED FOR REVIEW	19/12/18 VPC
		YY/MM/DD
No.	DESCRIPTION	DATE CHD

REVISIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

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DATE

DRAWN RM

DATE 2019-12-12

CHECKED

DATE PRINTED 2021-01-04

VINCENT P. COLIZZA ARCHITECT INCORPORATED

MEDICAL OFFICE & RESTAURANT
115 LUSK ST., OTTAWA, ONT.

DWG. TITLE SITE PLAN

SCALE 1:200

PROJ. NO. 2319

DWG. NO.

SP1