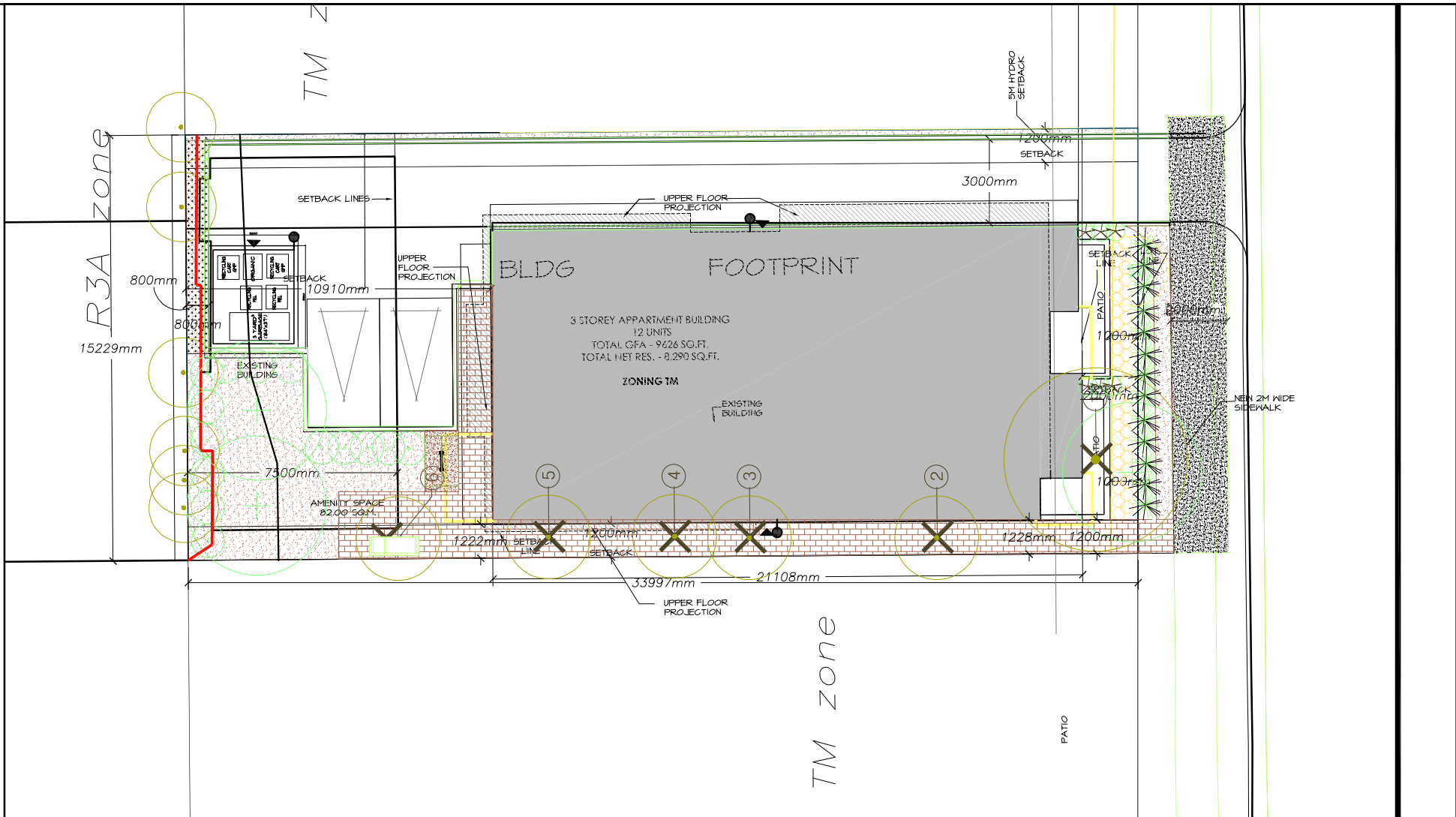




SITE PLAN:
SCALE: 1:200

ZONING NOTES:

CURRENT ZONING: TM			
DEVELOPMENT STATS		REQUIRED	PROPOSED
LOT AREA			502.5 m ²
LOT WIDTH			15 m REGULAR
LOT DEPTH			33.5m REGULAR
TOTAL UNITS			12
FRONT YARD SETBACK		Maximum 2 m	2 m
REAR YARD SETBACK		7.5 m	10.9 m
SIDE YARD SETBACK		1.2 m	1.2 m
MAXIMUM HEIGHT		20 m	10.5 m
NUMBER OF STOREYS			3
BUILDING AREA			214 m ²
GROSS FLOOR AREA (city def.)			894 m ²

PARKING REQUIREMENTS

1. REQUIRED PARKING

LAND USE	REQUIRED	PROVIDED VEHICLE PARKING LOCATED AT GRADE
APARTMENT	0 SPACE PER UNIT FOR FIRST 12 UNITS 12X0=0 PARKING SPACES	2 PARKING SPACES PROVIDED FOR 12 UNITS

2. REQUIRED VISITOR PARKING

LAND USE	REQUIRED	PROVIDED VISITOR PARKING
APARTMENT	0.1 SPACE PER UNIT 12(ZONING PROVISION)=0 UNITS 0 X 0.1 =0 VISITOR PARKING SPACES REQUIRED	0 VISITOR PARKING SPACES PROVIDED FOR 12 UNITS

3. REQUIRED BYCICLE PARKING

0.5 SPACE/UNIT = 6 SPACES REQUIRED SUPPLIED IN SUB-BASEMENT

4. AMENITY SPACE REQUIREMENTS

6m² REQUIRED PER UNIT (15 m² REQUIRED PER UNIT FOR FIRST 8 UNITS)

8 UNITS X 15 SQ.M. = 120 SQ.M.

+
4 UNITS X 6 SQ.M. = 24 SQ.M.

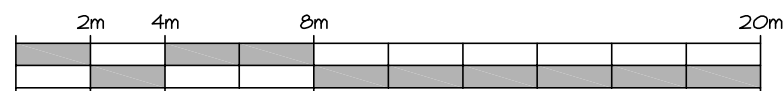
144 SQ.M. REQUIRED AMENITY SPACE
PROVIDED 156 SQ. M.

LEGEND:

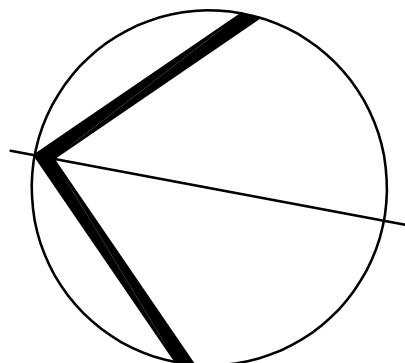
- EXISTING BUILDING
- /// UPPER FLOORS PROJECTION
- LOWER FLOORS OUTLINE
- - - - - PROPERTY LINE
- SETBACK
- Ⓟ PROPOSED DEPRESSED CURB DETAIL TO CITY OF OTTAWA STANDARD SC-7
- EXTERIOR LIGHT FIXTURE

GRAPHIC SCALE

1 : 200



SURVEY AS RECEIVED FROM
STANTEC GEOMATICS LTD.
CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 400
OTTAWA, ONTARIO K2C3G4



NORTH ARROW

3	2021/03/29	RE-ISSUED FOR SITE PLAN
2	2020/10/01	RE-ISSUED FOR SITE PLAN
1	2020/07/02	ISSUED FOR SITE PLAN

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

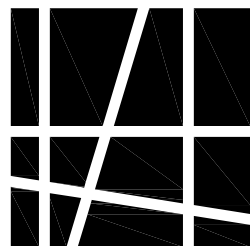
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HOBIN
ARCHITECTURE

PROJECT/LOCATION:

455 McArthur Avenue
Ottawa, ON

DRAWING TITLE:

SITE PLAN

DRAWN BY:

KG

DATE:

2020/06/04

SCALE:

1:200

PROJECT:

1829

DRAWING NO.:

SD-1

