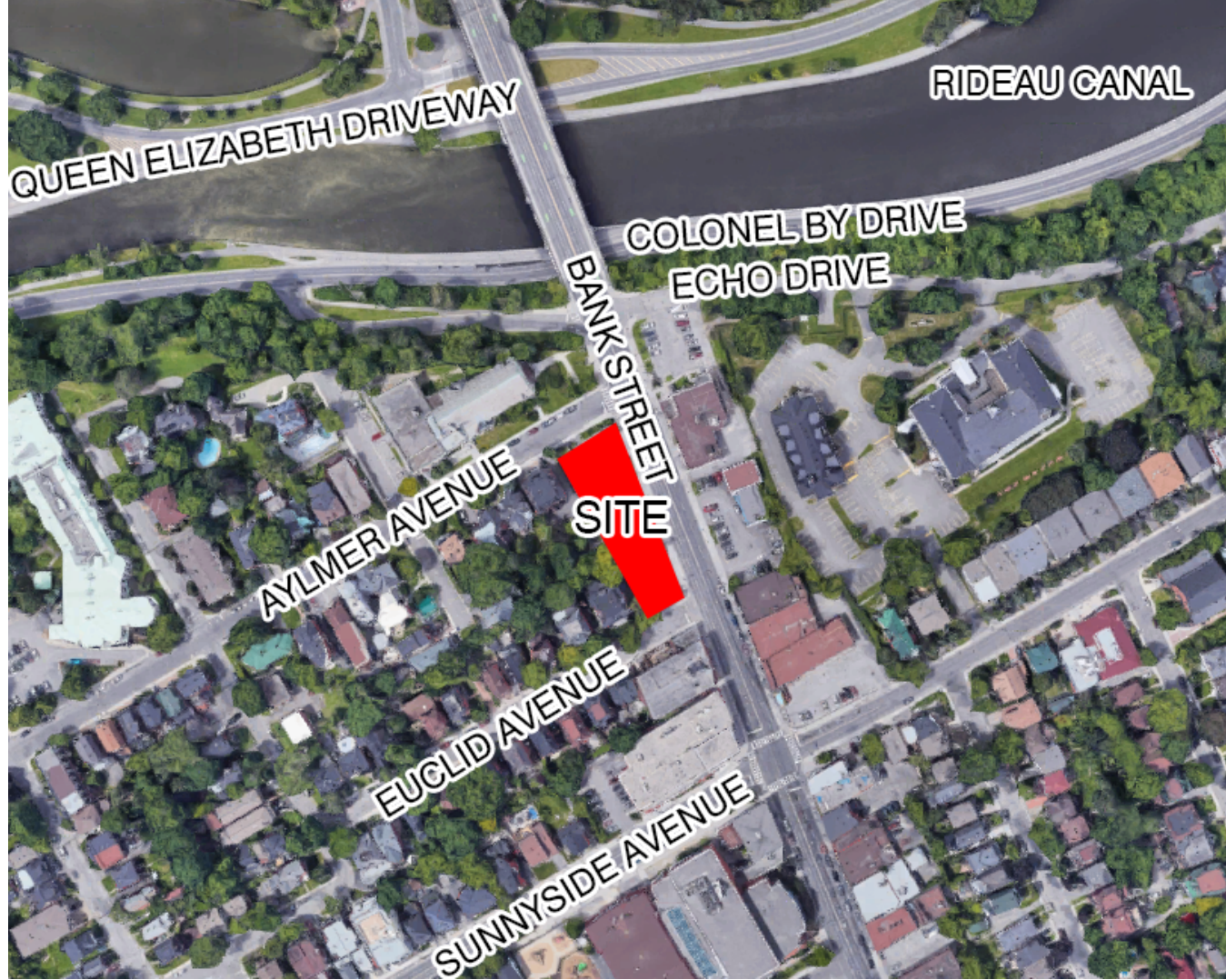


SAIDE SAYAH
MANAGER, CENTRAL BRANCH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Saide Sayah at 7:35 am, Jan 28, 2021



1 LOCATION PLAN
SCALE: N.T.S.

PLAN OF SURVEY OF
PART OF LOTS 2, 3, 4, 5, 6 AND 7
REGISTERED PLAN 101126
AND PART OF LOT A
REGISTERED PLAN 116274
CITY OF OTTAWA

PREPARED BY:
FAIRLEY, SMITH & DENIS SURVEYING LTD.
SEPTEMBER 11, 2018

ICON	DESCRIPTION
	Existing Concrete
	Proposed Concrete
	Existing Landscape Area
	Proposed Landscape Area
	Existing Paver Walkway
	New Paver Walkway - See Landscape
	Easement
	Reserved
	Proposed Buildings
	Existing Concrete Curb
	Proposed Concrete Curb
	Depressed Curb
	Overhead Wires
	Property Lines
	Easement Lines, R.O.W., Neighbouring Lot Lines
	Fence
	Signage
	BF Parking Space
	Principal Entrance Door
	Exterior Door ("O/H" indicates Overhead Door)

Note #	Note Text
(D)FH	Existing Fire Hydrant to be demolished
(D)PB	Existing Concrete Planter Box to be demolished
(D)RW	Existing Retaining Wall to be demolished
(D)WF	Existing Wood Fence to be demolished
(E)BR	Existing Bike Rack
(E)CB	Existing Catch Basin
(E)FH	Existing Fire Hydrant
(E)HH	Existing Hand Hole
(E)LS	Existing Light Standard
(E)MH	Existing Manhole
(E)RW	Existing Retaining Wall
(E)TCB	Existing Traffic Control Box
(E)UP	Existing Utility Pole
(E)WF	Existing Wood Fence to remain
AW	Area Wall for Ventilation from Basement
B	Bollard
CB	Catch Basin - See Civil
CC	Concrete Curb
FDC	Fire Department Connection
FM	Fire Hydrant
GM	Gas Meter
MH	Manhole - See Civil
PB	Concrete Planter Box with Masonry Facing - See Landscape
RW	Retaining Wall
RW(B)	Retaining Wall Below
WV	Water Valve - See Civil

Summary of Dwelling Units					
Proposed:	Bachelor	1 Bedroom	2 Bedroom	3 Bedroom	Total
Basement	-	-	-	-	-
Ground Floor	-	-	-	-	-
2nd Floor	3	9	1	1	14
3rd Floor	3	9	1	1	14
4th Floor	3	9	1	1	14
5th & 6th Floor (2-Storey Units)	0	0	6	2	8
	9	27	9	5	50

GENERAL SITE PLAN NOTES:

- Exterior site lighting shall be directed onto the site away from adjacent properties. See Electrical Drawings.
- Read this drawing in conjunction with the Landscape Drawings, Civil Engineering Drawings and Electrical Drawings.

ISSUED

Due to phased issuance of construction documents, each architectural construction drawing includes numerous changes from the previous drawing revision. Only changes to drawings that impact scope of work subject to active tender(s) or awarded contract(s) have been specifically identified and clouded on the drawings, where these changes are numerous or extensive the entire detail may be identified and clouded. The contractor is advised to review all pertinent drawings with regard scope changes.

1	Issued for Site Plan Approval	Dec10- 2020
no.	revision	date

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KWC ARCHITECTS INC.

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detail no.	1	no. de détail
sheet no.	A101	no. de la feuille

project
projet

PROPOSED MIXED-USE RETAIL & RENTAL APARTMENT BUILDING

1050 & 1060 BANK STREET
OTTAWA, ON.

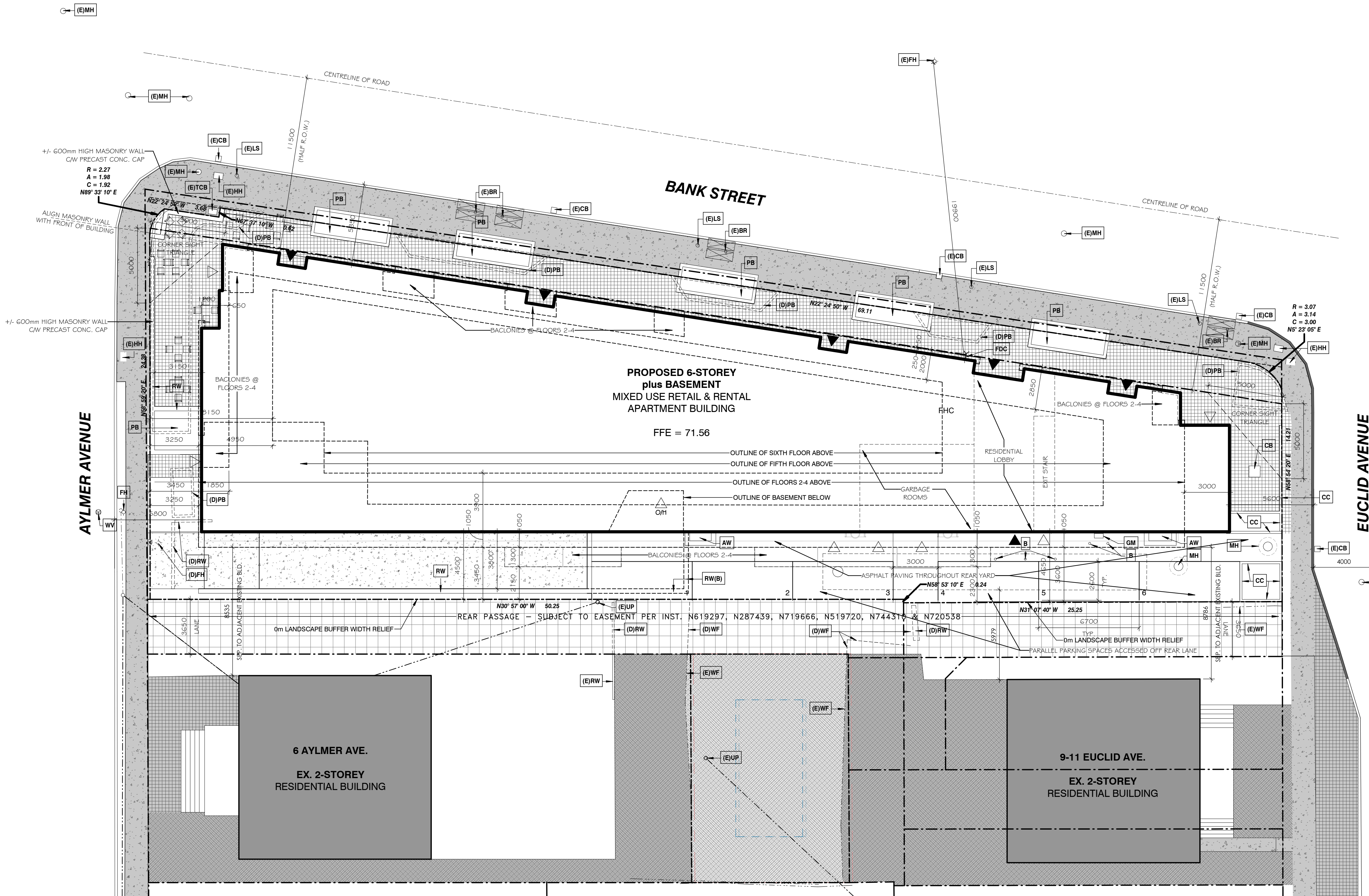
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drawn by dessiné par	AK / CM	project no. no. du projet	1844
date	24 SEPT 2020	scale	as noted
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SITE PLAN

revision
révision

sheet no.
no. de la feuille

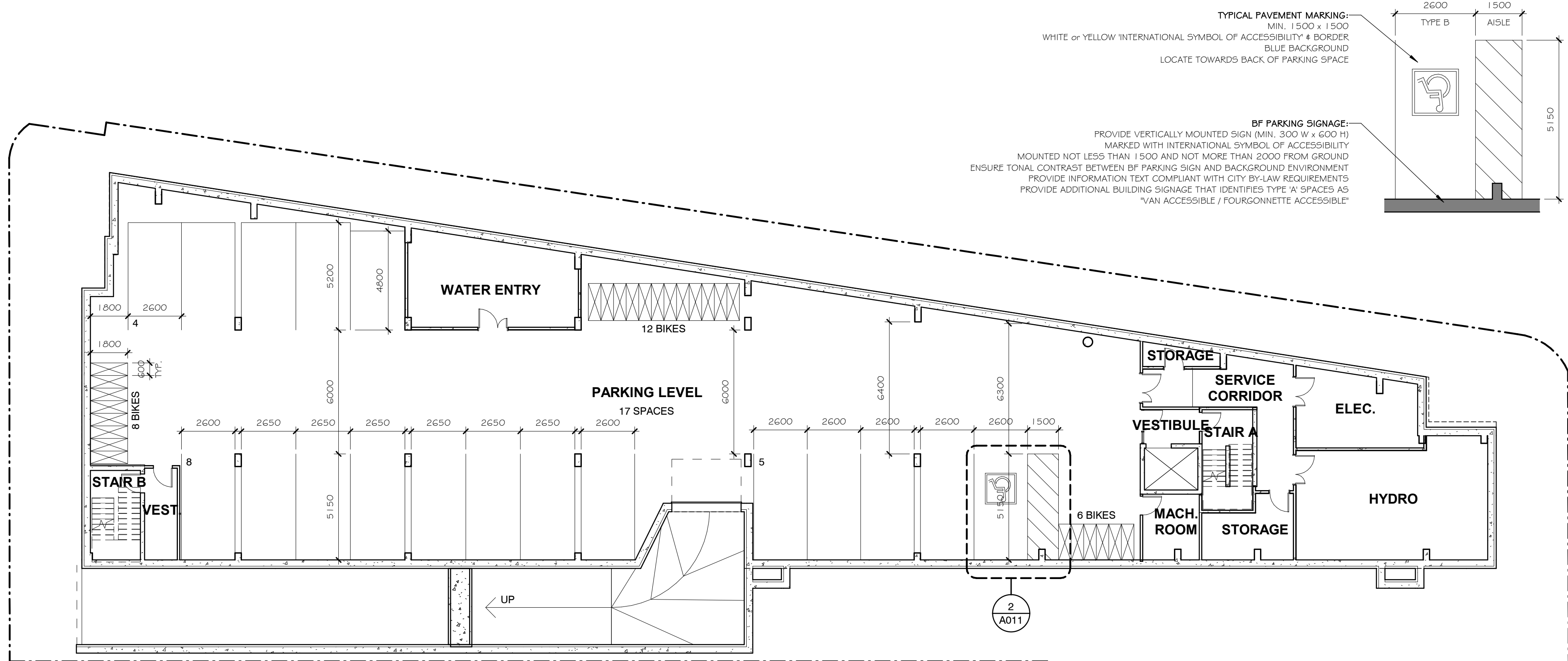
A010



2 SITE PLAN
SCALE: 1 : 150

0 1.5 3 4.5 6 7.5 9 10.5 12 13.5 15 METRES

plot scale 1:1



1 A011 PARKING PLAN
SCALE: 1 : 150

Project Zoning Review/Statistics

Municipality: City of Ottawa
Municipal Address: 1050-1060 Bank Street
Registered Owner: 2641723 Ontario Inc.
Lot Area: 1,757 sq.m. (18,917 sq.ft.) (0.43 acres)

Zoning Analysis
Ottawa
Zoning By-law: 2008-250
Zone: TM2 H(15)
Proposed Use: Mixed Use: Retail & Rental Apartments

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Basement		
Parking & Building Services	931	10,026
	931	10,026
Ground Floor		
Retail / Restaurant	826	8,886
Residential Lobby	50	533
Building Services	48	517
	923	9,936
Second Floor		
Apartment Units	965	10,387
	965	10,387
Third Floor		
Apartment Units	965	10,387
	965	10,387
Fourth Floor		
Apartment Units	965	10,387
	965	10,387
Fifth Floor		
Apartment Units	574	6,174
Building Services	36	384
	609	6,558
Sixth Floor		
Apartment Units	421	4,533
	421	4,533
Grand Totals	5,780	62,214

Development Standards		
	Required	Provided
Minimum Lot Area	No min.	1,757 sq.m.
Minimum Lot Width	No min.	76.35m
Minimum Required Yard		
Front Yard (max.)	2.00m	0.05m (Up to 15m above grade)
Front Yard (min.)	2.00m	2.00m (Higher than 15m above grade)
Corner Side Yard (min.)	3.00m	3.25m (Up to 15m above grade)
Corner Side Yard (min.)	5.00m	5.25m (Higher than 15m above grade)
Rear Yard (min.)	4.50m	3.45m (abutting public laneway; subject to minor variance)
Maximum Building Height	15.00m	19.3m (Subject to minor variance)
Maximum Floor Space Index	No max.	3.29

Parking, Loading, Queuing		
Parking Spaces (2.6m x 5.2m)		Area Y Schedule 1A
Retail / Restaurant	Required: 0	(As per 101(4)(d))
Residential: 0.5 / dwelling @ 38 units	Required: 19	(None required for first 12 as per 101(4)(b))
Visitor Parking: 0.1 / dwelling @ 38 units	Required: 4	(none required for first 12 as per 102(2))
	Total: 23	
	Provided: 23	
Accessible Parking	Required: 1	1 Type B, 2.6m wide
	Provided: 1	
Bicycle Parking (0.6m x 1.8m)		
Retail / Restaurant: 1/250 sq.m.	Required: 3	
Residential: 0.5 / dwelling @ 50 units	Required: 25	
	Total: 28	
	Provided: 34	
Loading Spaces (3.5m x 7.0m)	Required: 0	(As per 113(4))
	Provided: 0	

Amenity Area		
Required:		
6 sq.m. per dwelling unit	= 300 sq.m.	
Minimum 50% required to be communal	= 150 sq.m.	aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be minimum 54 sq.m.
Provided:		Total
Ground Floor	Private: 0 Communal: 7 sq.m.	7 sq.m.
Second Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Third Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Fourth Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Fifth Floor	Private: 74 sq.m. Communal: 224 sq.m.	298 sq.m.
	Communal Total: 231 sq.m.	
	Overall Total: 467 sq.m.	

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

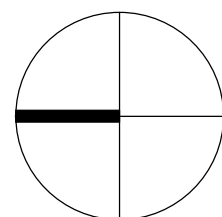
Saïde Sayah

SAIDE SAYAH
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DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED

By Saïde Sayah at 7:36 am, Jan 28, 2021

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north nord



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detail no.	1	détail no.
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PARKING PLAN

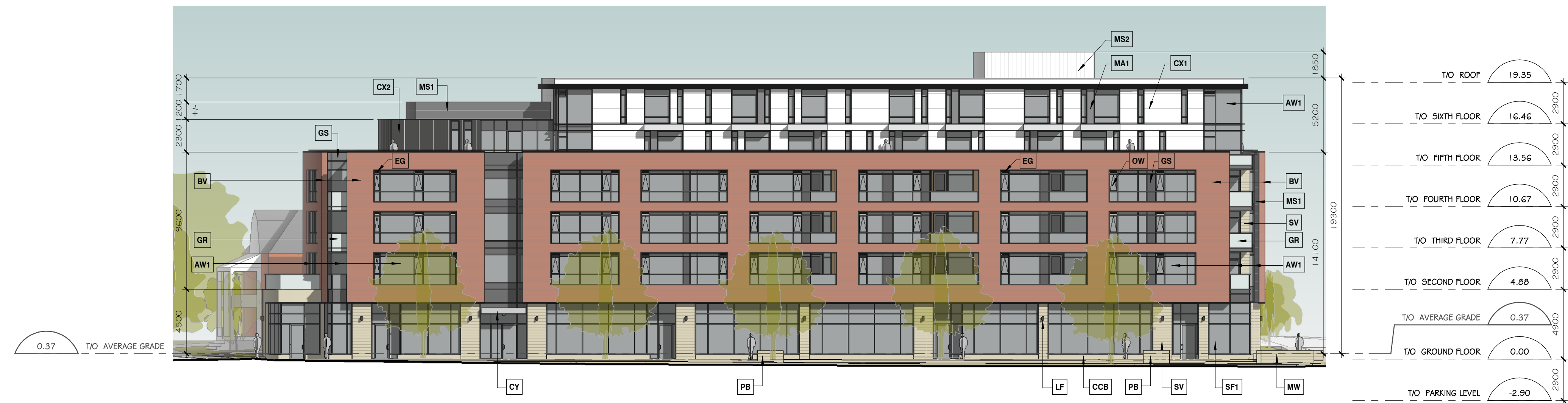
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A011

18110

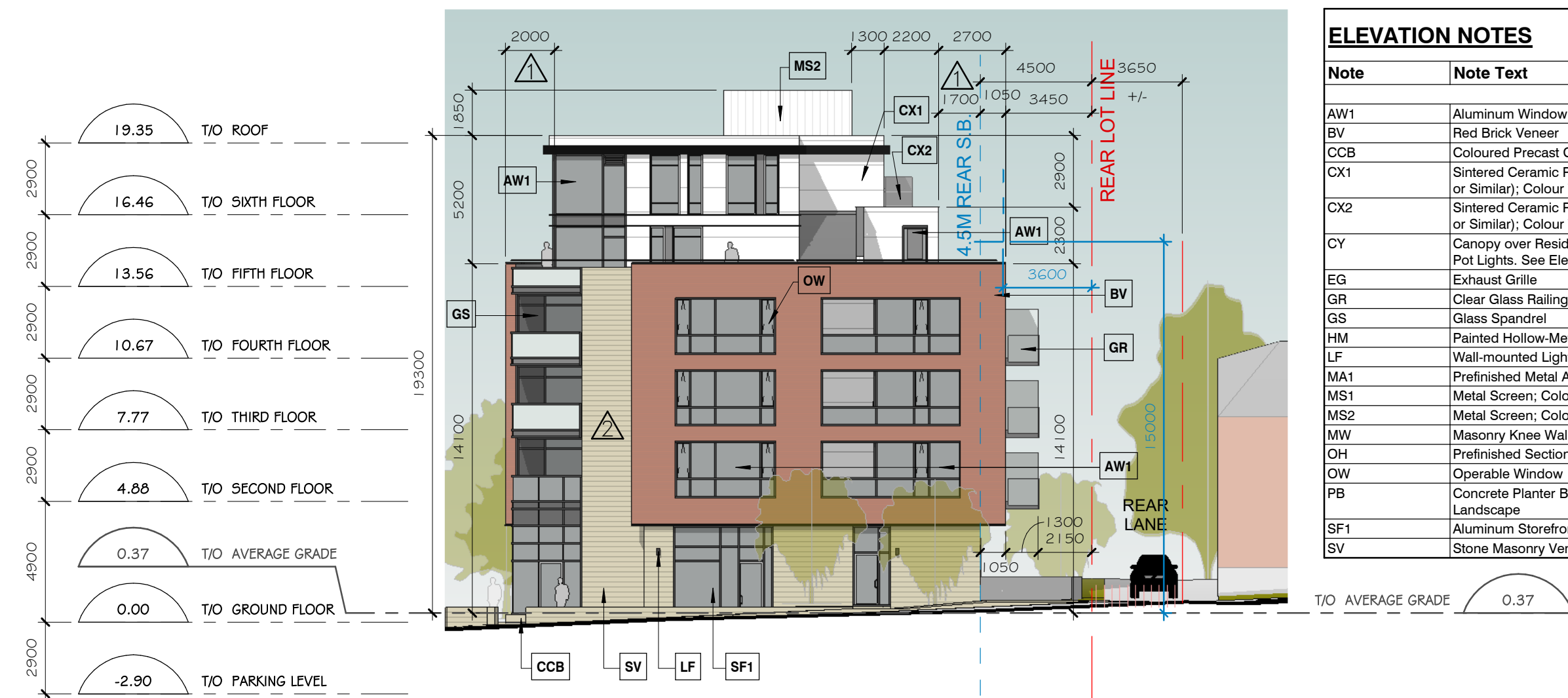
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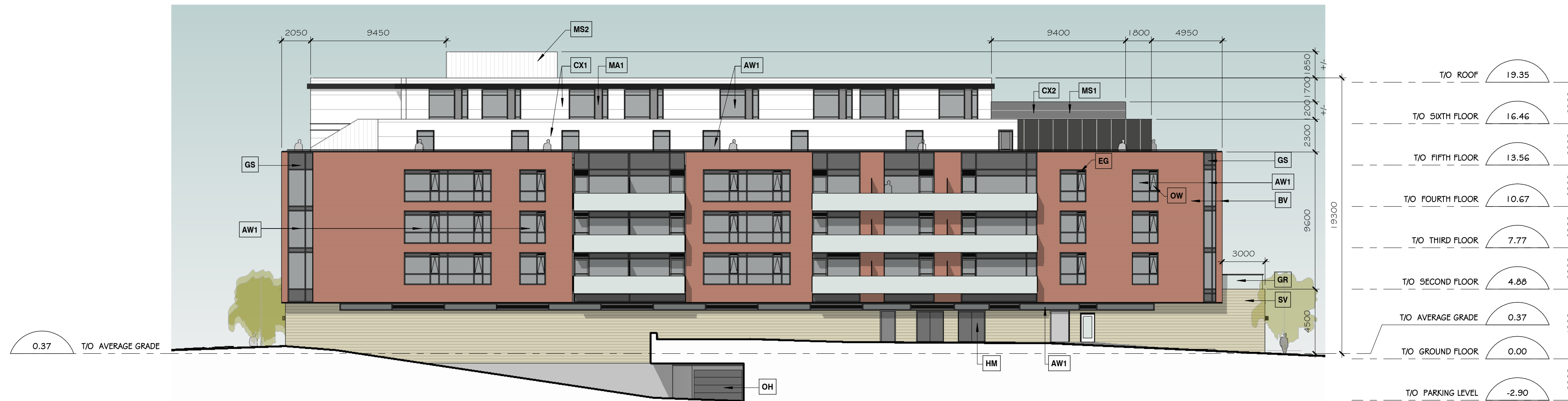
1 EAST ELEVATION
SCALE: 1 : 200



3 SOUTH ELEVATION
SCALE: 1 : 200



2 NORTH ELEVATION
SCALE: 1 : 200



4 WEST ELEVATION
SCALE: 1 : 200

ELEVATION NOTES	
Note	Note Text
AW1	Aluminum Window c/w Clear Glass
BV	Red Brick Veneer
CCB	Coloured Precast Concrete Base under Storefront
CX1	Sintered Ceramic Panel Facade System (Ceramitex or Similar), Colour TBD
CX2	Sintered Ceramic Panel Facade System (Ceramitex or Similar), Colour TBD
CY	Canopy over Residential Entrance, c/w recessed Pot Lights. See Electrical
EG	Exhaust Grille
GS	Glass Spandrel
GR	Clear Glass Railing
HM	Painted Hollow-Metal Door & Steel Frame
LF	Wall-mounted Light Fixture; See Electrical
MA1	Prefinished Metal Accent Panel, Colour TBD
MS1	Metal Screen; Colour and Style TBD
MS2	Masonry Ties Wall
MW	Masonry Ties Wall
OH	Prefinished Sectional Overhead Garage Door
OW	Operable Window
PB	Concrete Planter Box with Masonry Facing - See Landscape
SF1	Aluminum Storefront c/w Clear Glass
SV	Stone Masonry Veneer

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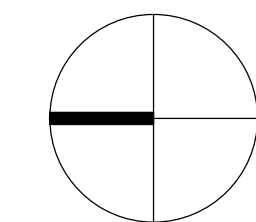
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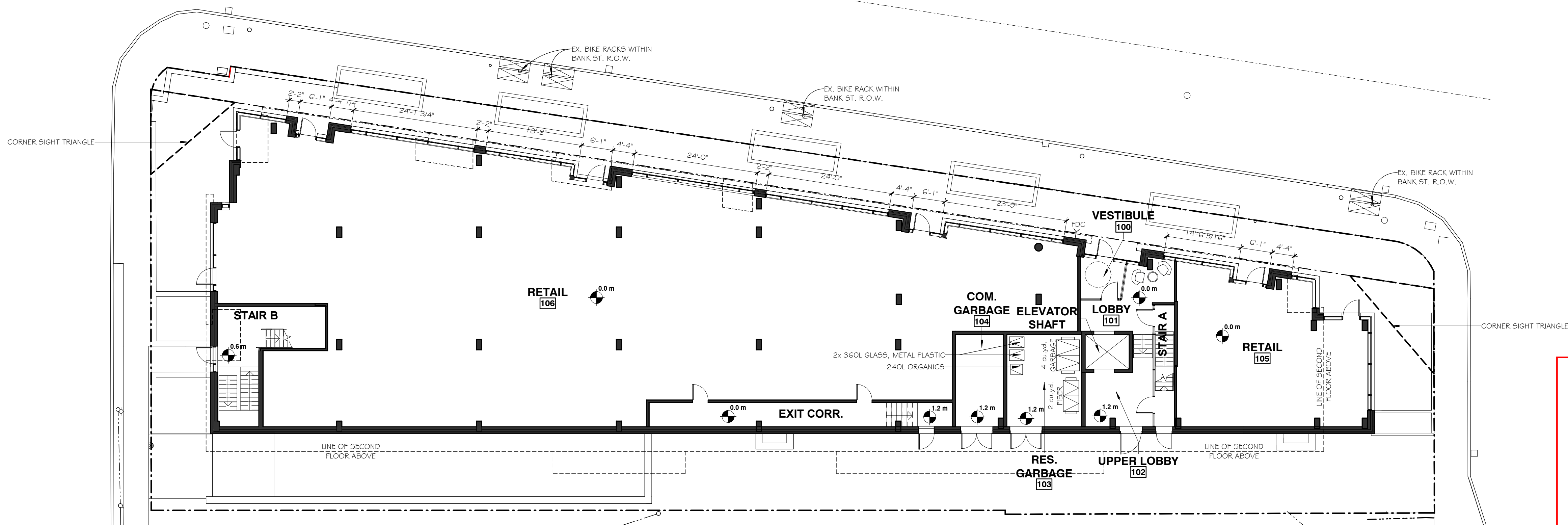
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1 sheet no.
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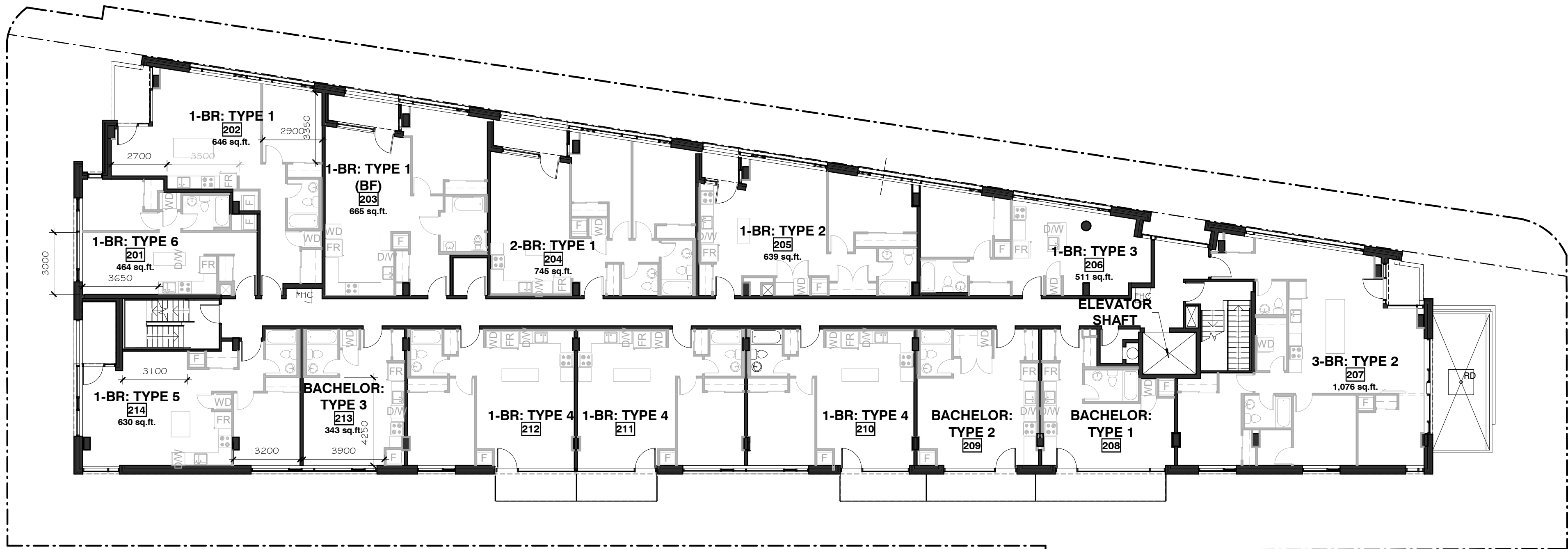
A012

18110

plot scale 1:1



1 GROUND FLOOR PLAN
SCALE: 1 : 150



2 SECOND FLOOR PLAN
SCALE: 1 : 150

NOTES:

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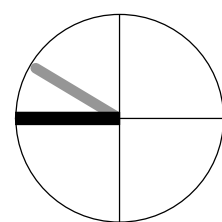
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GROUND FLOOR PLAN SECOND FLOOR PLAN

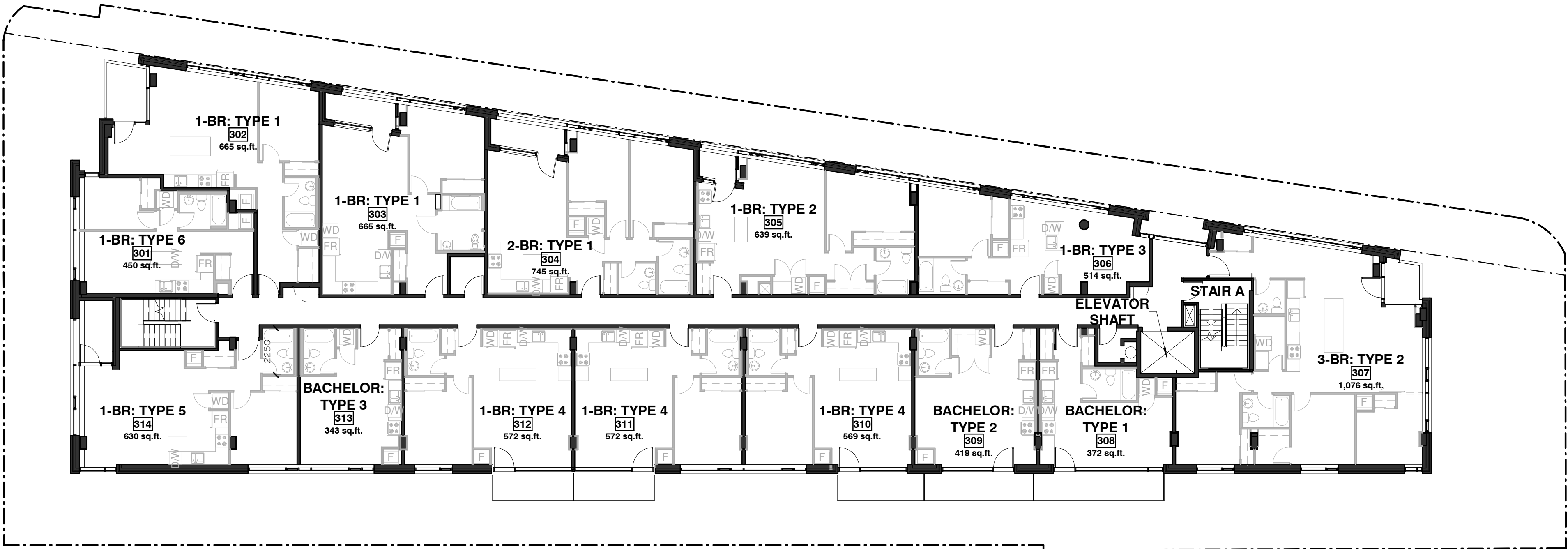
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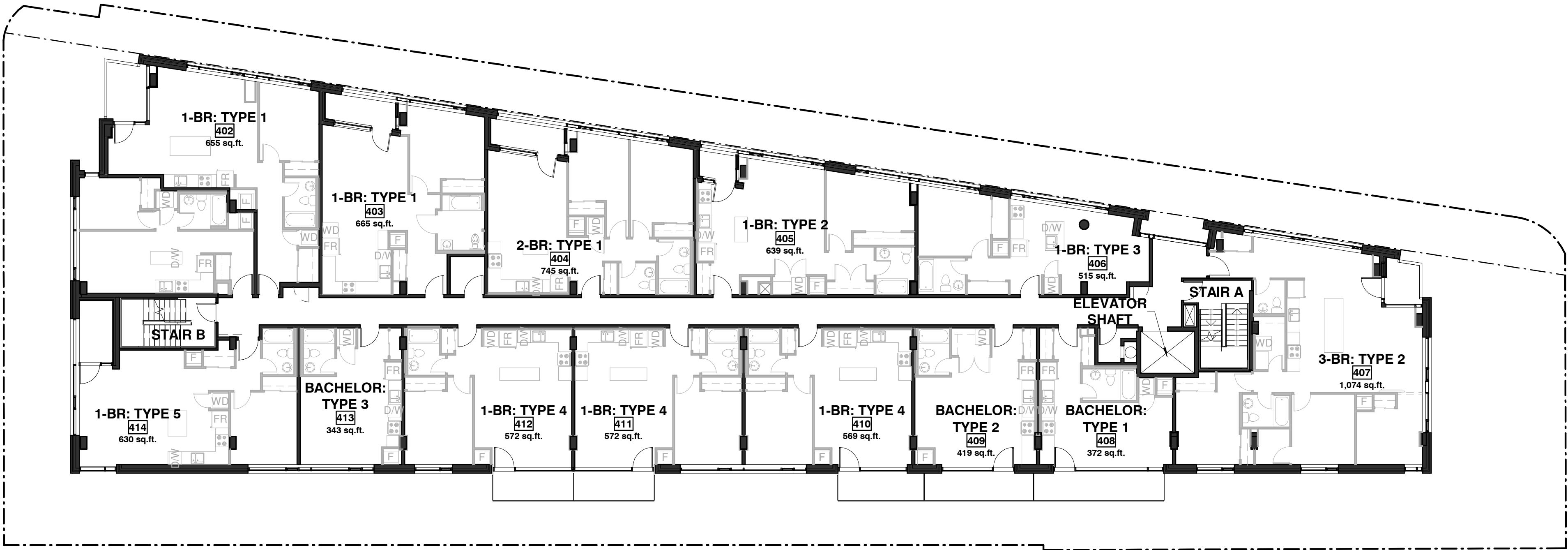
A101

18110

plot scale 1:1



1 THIRD FLOOR PLAN
SCALE: 1 : 150



2 FOURTH FLOOR PLAN
SCALE: 1 : 150

NOTES:

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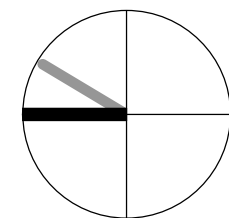
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THRID FLOOR PLAN,
FOURTH FLOOR PLAN

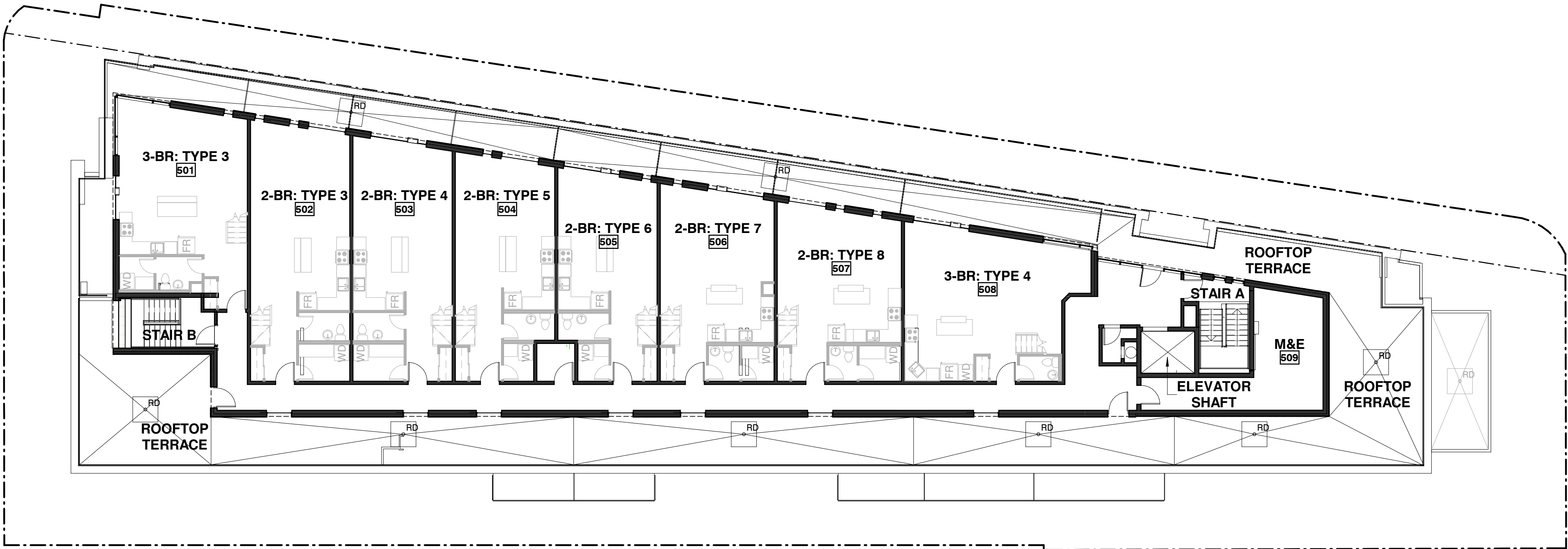
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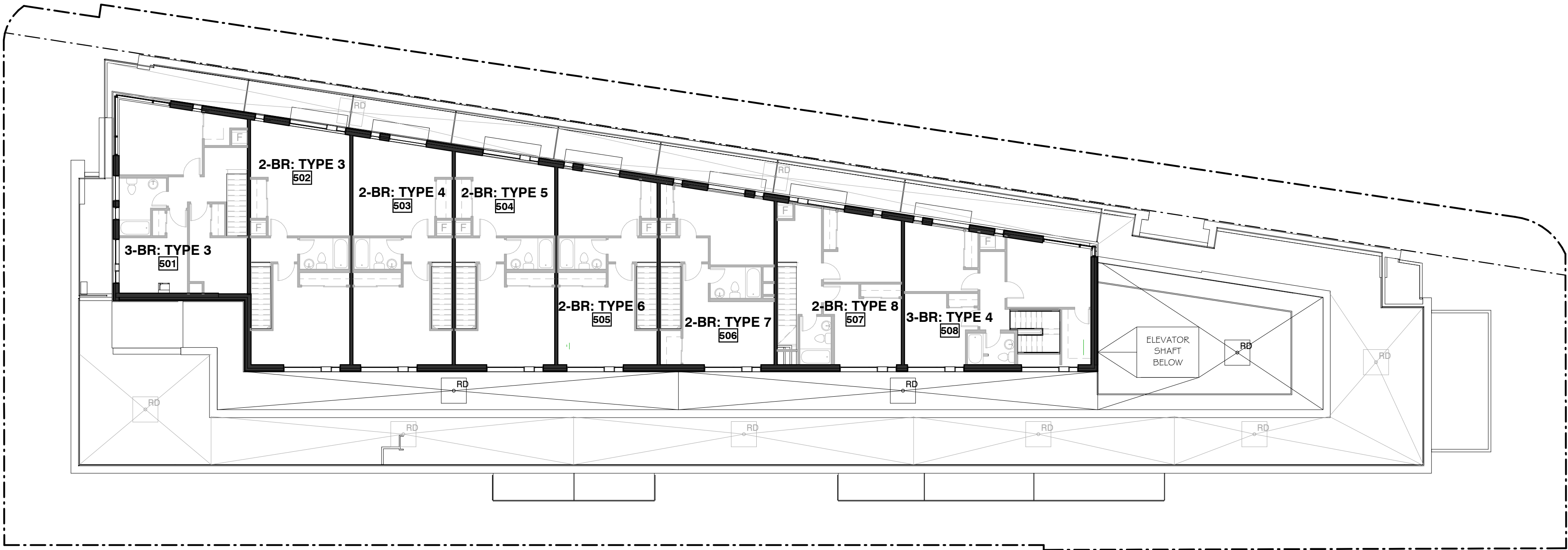
A102

18110

plot scale 1:1



1 FIFTH FLOOR PLAN
SCALE: 1 : 150



2 SIXTH FLOOR PLAN
SCALE: 1 : 150

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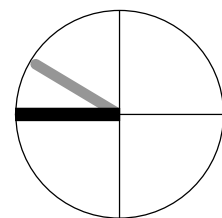
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FIFTH FLOOR PLAN, SIXTH FLOOR PLAN

revision
révision

sheet no.
no. de la feuille

A103

18110