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Consultant

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## Notes

1. TOPOGRAPHIC SURVEY AND BENCHMARK COMPLETED BY AOV LTD. DATED JUNE, 2019.
2. SITE PLAN PREPARED BY QUADRANGLE DATED DECEMBER, 2020.
3. REFER TO L300 FOR NOTES AND DETAILS RELATED TO TREE PRESERVATION PLAN.

### Legend

- |   |  |
|---|--|
|    | TREE IDENTIFICATION NUMBER   |
|    | EXISTING DECIDUOUS TREE  |
|    | EXISTING CONIFEROUS TREE   |
|    | EXISTING GROUPING OF VEGETATION  |
|    | EXISTING GROUPING OF VEGETATION<br>TO BE REMOVED                       |
|    | EXISTING TREE TO BE REMOVED  |
|    | CRITICAL ROOT ZONE / TREE PROTECTION<br>FENCE. REFER TO DETAIL 1/L300. |
|   | PROPOSED UNIT PAVERS   |
|  | PROPOSED CONCRETE WALKWAY  |
|  | PROPERTY LINE  |

4	REVISED SITE PLAN	CTL	ILL	2020.12.18
3	REVISED AS PER COMMENTS	CTL	ILL	2020.05.29
2	REVISIONS BASED ON NEW SITE PLAN	CTL	ILL	2019.10.02
1	ISSUED FOR CITY COMMENTS	CTL	ILL	2019.09.12
Revision		By	Appd.	YYYY.MM.DD
File Name: 160410249_LB		CTL	ILL	2019.09.12
		Dwn.	Chkd.	YYYY.MM.DD
		Dsgn.		

Permit/Seal



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Client/Project

AZURE URBAN DEVELOPMENTS INC.

MIXED USED BUILDINGS  
2070 SCOTT STREET  
OTTAWA, ONTARIO

Title

## TREE PRESERVATION PLAN

Project No.

160410249

Revision

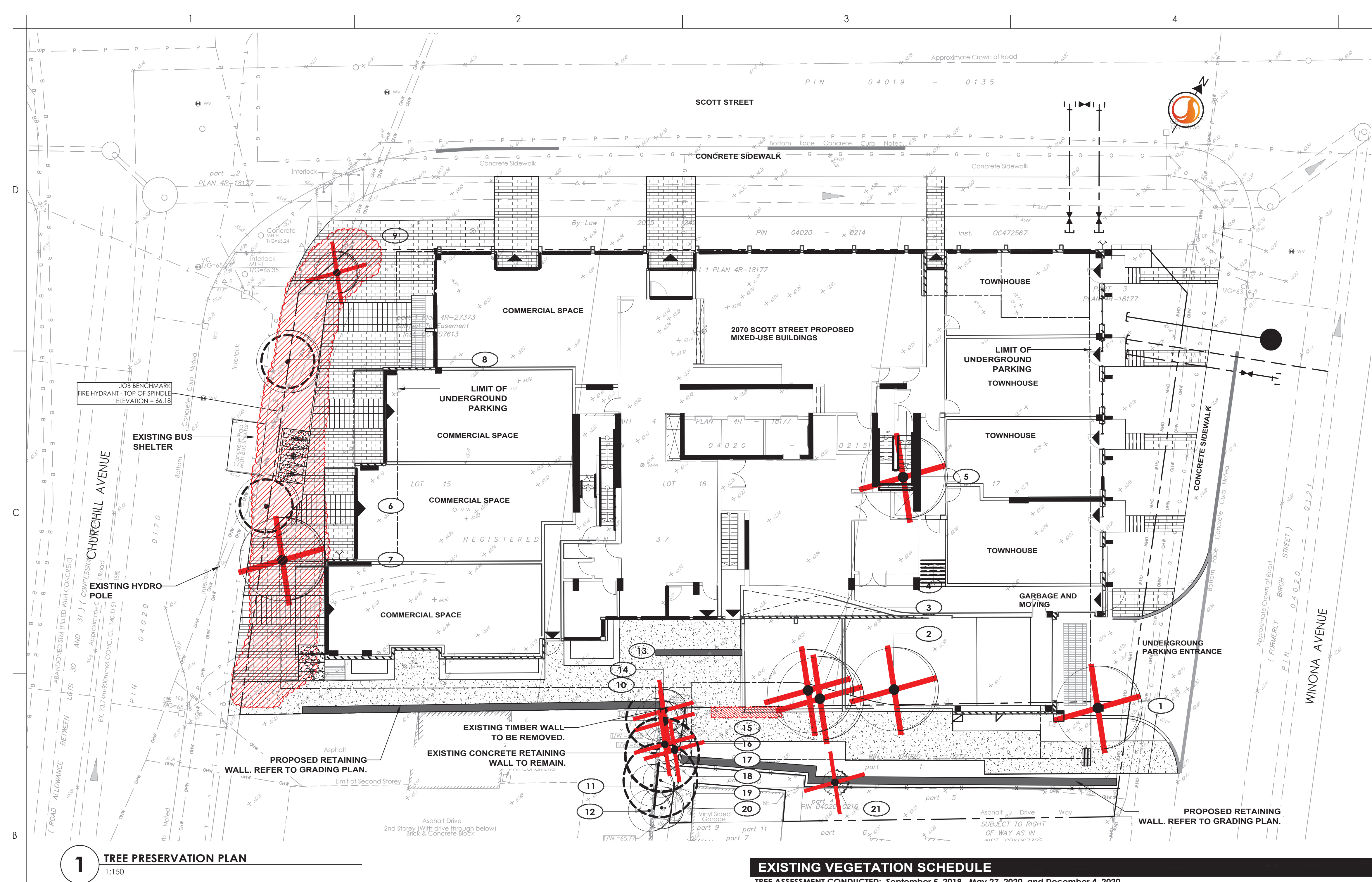
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Scale

Drawing No.

L100

DWG 18058



## EXISTING VEGETATION SCHEDULE

**TREE ASSESSMENT CONDUCTED:** September 5, 2019, May 27, 2020, and December 4, 2020.

PLANT ID	BOTANICAL NAME	COMMON NAME	DBH (cm)	HEALTH/ CONDITION	REMARKS
1	<i>Acer sacharinum</i>	Silver Maple	140	Good	Tree on adjacent property. Growing into the wooden fence; TO BE REMOVED.
2	<i>Ulmus pumila</i>	Siberian Elm	28	Good	TO BE REMOVED.
3	<i>Acer negundo</i>	Manitoba Maple	17	Good / Fair	Suckers at the base. TO BE REMOVED.
4	<i>Acer negundo</i>	Manitoba Maple	1@16, 1@20	Good	2 trunks. TO BE REMOVED.
5	<i>Populus tremuloides</i>	Trembling Aspen	24	Good	TO BE REMOVED.
6	<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Honey Locust	18	Good	TO BE PROTECTED.
7	<i>Quercus rubrum</i>	Red Oak	12	Good	TO BE REMOVED.
8	<i>Acer Platanoides</i> "Crimson King"	Crimson King Norway Maple	18	Good	TO BE PROTECTED.
9	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Lilac	6	Good	Specimen Tree; TO BE REMOVED.
10	<i>Acer platanoides</i>	Norway Maple	20; 25	Good	Tree growing on 329 Churchill Avenue North. Multistem (2 stems); growing on the upper side of an existing concrete wall; Surrounded by a new parking area surfaced in asphalt; CRZ of tree does not extend past existing retaining wall; Retaining wall is approximately 1.5m high; TREE TO REMAIN.
11	Unidentified		N/A	Dead	Tree growing on 329 Churchill Avenue North. Tree growing on the upper edge of the existing concrete wall.
12	Unidentified		N/A	Dead	Tree growing on 329 Churchill Avenue North. Tree growing on the upper edge of the existing concrete wall.
13	<i>Thuja occidentalis</i>	White Cedar	6-9	Good	6m ht. Cedar Hedge. TO BE REMOVED.
14	<i>Tilia americana</i>	Basswood	1@19, 1@20	Good	Tree growing on 329 Churchill Avenue North. Multi-trunk (2 trunks). Tree located at the bottom of an existing timber wall. TO BE REMOVED.
15	<i>Acer platanoides</i>	Norway Maple	6-19cm	Good	Tree growing on 329 Churchill Avenue North. Multi-trunk (4 trunks). Tree is growing at the bottom of an existing concrete wall. TO BE REMOVED
16	<i>Quercus macrocarpa</i>	Bur Oak	14	Fair	Tree growing on 329 Churchill Avenue North. Lots of dead branches. Tree is growing at the bottom of an existing concrete wall. TO BE REMOVED.
17	<i>Quercus macrocarpa</i>	Bur Oak	23	Poor	Tree growing on 329 Churchill Avenue North. Lots of dead branches. Tree is growing at the bottom of an existing concrete wall. TO BE REMOVED.
18	<i>Acer platanoides</i>	Norway Maple	1@12, 1@25	Good	Tree growing on 329 Churchill Avenue North. Multi-trunk (2 trunks). Tree is growing at the bottom of an existing concrete wall. TO BE PROTECTED.
19	<i>Acer platanoides</i>	Norway Maple	1@12, 1@25	Good	Tree growing on 329 Churchill Avenue North. Multi-trunk (2 trunks). Tree is growing at the bottom of an existing concrete wall. TO BE PROTECTED.
20	Unidentified		N/A	Dead	Tree growing on 329 Churchill Avenue North. Multi-trunk (2 trunks). Tree is growing at the bottom of an existing concrete wall. TO BE REMOVED.
21	<i>Thuja occidentalis</i>	White Cedar	6-19	Good	Grouping of vegetation. 5 trunks. TO BE REMOVED.

**NOTES:**

1. LOCATION OF TREES ON 329 CHURCHILL AVENUE NORTH:
- TREES 11, 12, 16, 17, 18, 19, AND 20; TREE LOCATION WAS NOT SURVEYED; LOCATION TO BE CONFIRMED ON SITE. :



Notes

1. TOPOGRAPHIC SURVEY AND BENCHMARK COMPLETED BY AOY LTD. DATED JUNE, 2019.
2. SITE PLAN PREPARED BY QUADRANGLE DATED DECEMBER, 2020.
3. REFER TO L300 FOR NOTES AND DETAILS RELATED TO TREE PRESERVATION PLAN.

Legend

- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- PROPOSED DECIDUOUS TREE
- EXISTING GROUPING OF VEGETATION TO REMAIN
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED PERENNIALS AND GRASSES
- PROPOSED PLANTING BED EDGE
- T/SOD SOD WITH 150mm TOPSOIL
- PROPOSED UNIT PAVERS, TYPE 1. REFER TO DETAIL 6/L300.
- PROPOSED UNIT PAVERS, TYPE 2. REFER TO DETAIL 6/L300.
- PROPOSED UNIT PAVERS, TYPE 3. REFER TO DETAIL 6/L300.
- BUILDING ENTRANCE
- PROPOSED CONCRETE WALKWAY. REFER TO DETAIL 3/L301.
- PROPOSED RIVER WASHED STONES, REFER TO DETAIL 5/L300.
- PROPOSED FENCE
- PROPERTY LINE

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Client/Project

AZURE URBAN DEVELOPMENTS INC.

MIXED USE BUILDINGS

2070 SCOTT STREET

OTTAWA, ONTARIO

Title

LANDSCAPE PLAN

Project No.

160410249

Revision

Sheet

4

2 of 4

Scale

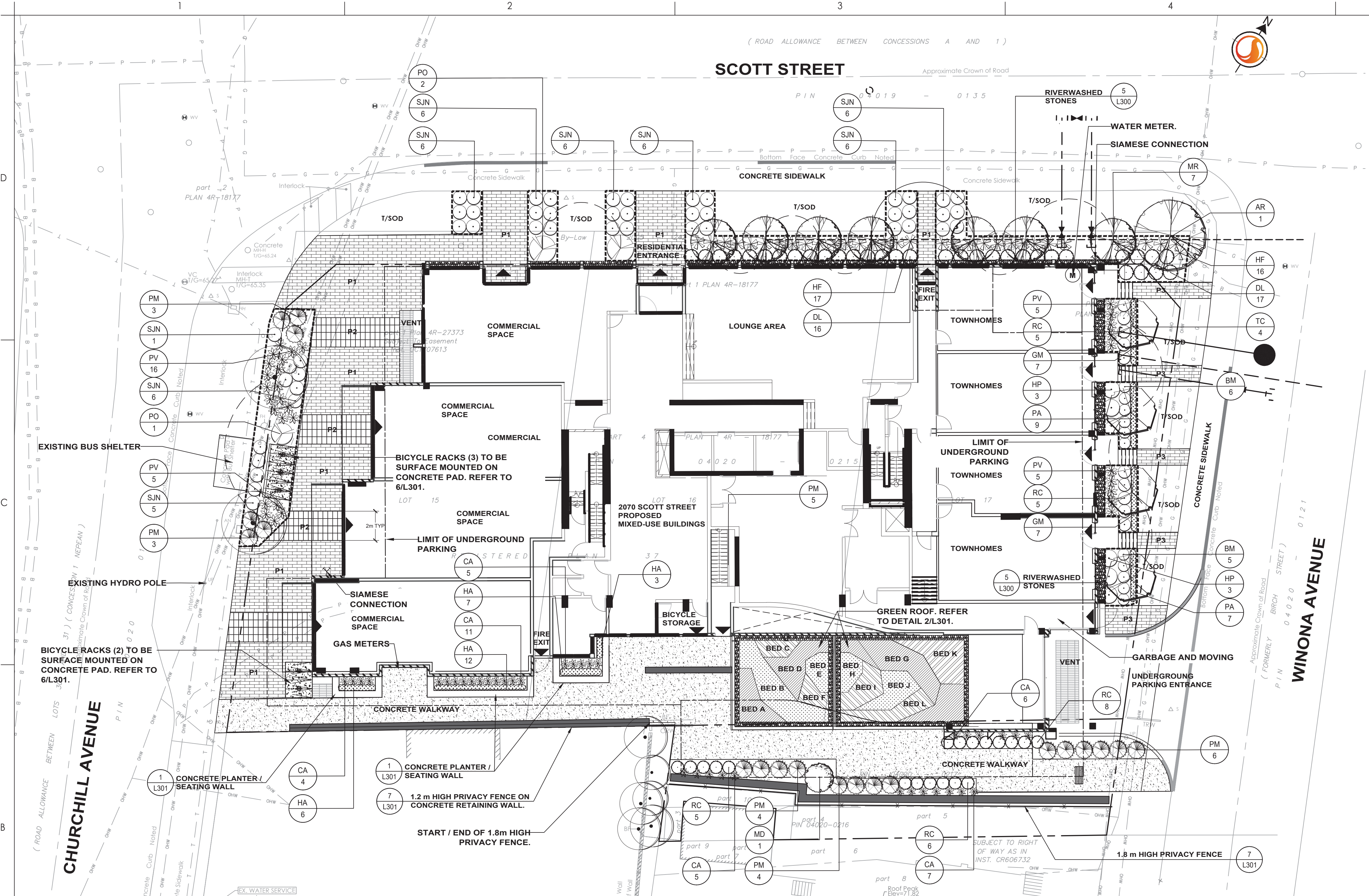
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Drawing No.

L200

DWG 18058

SCOTT STREET



LANDSCAPE PLAN

1:150

GENERAL PLANT LIST

QTY	KEY BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES - REFER TO DETAIL 2/L300				
1	AR Acer rubrum 'Bowhall'	Bowhall Red Maple	60 mm (cal.)	W.B.;
1	MD Malus 'Dreamweaver'	Dreamweaver Columnar Crabapple	1750mm ht, 10 GAL	W.B.;
7	MR Malus 'Rink'	Rink Columnar Crabapple	60 mm (cal.)	W.B.; Plant at 4000 mm o/c
4	TC Tilia cordata Summer Sprite	Summer Sprite Linden	60 mm (cal.)	W.B.; Plant at 6,000 mm o/c
DECIDUOUS SHRUBS - REFER TO DETAIL 3/L300				
33	DL Diervilla lonicera	Northern Bush Honeysuckle	400 mm ht	C.G.; Plant at 1000 mm o/c
6	HP Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	400 mm ht	C.G.; Plant at 1200 mm o/c
3	PO Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	800 mm ht	C.G.; Plant at 1500 mm o/c
29	RC Rosa 'Champlain'	Champlain Shrub Rose	400 mm ht	C.G.; Plant at 900 mm o/c
48	SJN Spirea japonica 'Neon Flash'	Neon Flash Spirea	400 mm ht	C.G.; Plant at 800 mm o/c
CONIFEROUS SHRUBS - REFER TO DETAIL 3/L300				
20	PM Pinus mugo 'Slowmound'	Slowmound Mugo Pine	400 mm (sp.)	C.G.; Plant at 1000 mm o/c
BROADLEAF EVERGREEN SHRUBS - REFER TO DETAIL 3/L300				
11	BM Buxus macrophylla 'Winter Beauty'	Winter Beauty Boxwood	3 Gallon	C.G.; Plant at 800 mm o/c
PERENNIALS / ORNAMENTAL GRASSES - REFER TO DETAIL 4/L300				
38	CA Calamagrostis acutiflora 'Eldorado'	Eldorado Feather Reed Grass	1 Gallon	Potted; Plant at 600 mm o/c
14	GM Geranium x 'Rozanne'	Rozanne Cranesbill	1 Gallon	Potted; Plant at 500 mm o/c
28	HA Hemerocallis 'Apricot Sparkles'	Apricot Sparkles Daylily	1 Gallon	Potted; Plant at 450 mm o/c
33	HF Hosta Fragrant Bouquet	Fragrant Bouquet Hosta	1 Gallon	Potted; Plant at 600 mm o/c
31	PV Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gallon	Potted; Plant at 800 mm o/c
16	PA Perovskia atriplicifolia 'Lacey Blue'	Lacey Blue Sage	1 Gallon	Potted; Plant at 500 mm o/c

GREEN ROOF PLANT MATERIAL

BOTANICAL NAME	COMMON NAME	BED A	BED B	BED C	BED D	BED E	BED F	BED G	BED H	BED I	BED J	BED K	BED L	REMARKS
TRAY MIX 1- REFER TO DETAIL 2/L301														
Sedum reflexum 'Angelina'	Angelina Golden Stonecrop		12 m²			3 m²			3 m²			8 m²		Mix equally with other species of this mix in each individual tray.
Sedum hybridum 'Immergrunchen'	immergrunchen Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum acre var. 'Aurea Goldmoss'	Goldmoss Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum floriferum 'Weichenstephaner Gold'	Weichenstephaner Gold Stonecrop													Mix equally with other species of this mix in each individual tray.
TRAY MIX 2- REFER TO DETAIL 2/L301														
Sedum cauticola 'Lidakense'	Lidakense Stonecrop		6 m²		7 m²			17.5 m²			6 m²			Mix equally with other species of this mix in each individual tray.
Sedum reflexum	Blue Spruce Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum hispanicum 'Blue Carpet'	Spanish Stonecrop													Mix equally with other species of this mix in each individual tray.
TRAY MIX 3- REFER TO DETAIL 2/L301														
Sedum spurium 'Summer Glory'	Summer Glory Two-row Stonecrop			2.7 m²			2.7 m²			5.3 m²			6 m²	Mix equally with other species of this mix in each individual tray.
Sedum spurium 'Red Carpet'	Red Carpet Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum x 'Bertram Anderson'	Bertram Anderson Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum spurium 'Voodoo'	Voodoo Two-row Stonecrop													Mix equally with other species of this mix in each individual tray.
Sedum 'Cherry Tart'	Cherry Tart Stonecrop													Mix equally with other species of this mix in each individual tray.



2. LOCATION OF EXISTING TREES IS FOR REFERENCE ONLY AND SHALL BE CONFIRMED BY AN ARBORIST AND SURVEYOR.
3. NO VEGETATION REMOVAL SHALL OCCUR BETWEEN APRIL 15 AND AUGUST 15 OF ANY YEAR TO PROTECT BREEDING MIGRATORY BIRDS, AS WELL AS AT RISK BAIT SPECIES. SHALL TREE REMOVAL DURING THIS PERIOD BY UNAVOIDABLE, THE CONTRACTOR IS REQUIRED TO CONDUCT A NESTING SURVEY BY A REGISTERED PROFESSIONAL AVIAN BIOLOGIST TO IDENTIFY AND ENSURE NO NESTING ACTIVITIES ARE PRESENT. TREE REMOVAL WILL BE ALLOWED WITHIN FIVE (5) DAYS OF CONDUCTING THE SURVEY.
4. CONTRACTOR SHALL ENSURE THE PROTECTION OF MATURE TREES IDENTIFIED TO BE RETAINED. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE CRITICAL ROOT ZONE (CRZ) OF TREES WHERE THE CRZ IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM. TREE PROTECTION FENCING SHALL BE INSTALLED AS SPECIFIED.
5. DURING EXCAVATION EQUIPMENT MUST BE MAINTAINED WITHIN THE CONFINES OF THE WORK AREA SO AS NOT TO DISRUPT ANY TURF OR TREE ROOTS UNNECESSARILY. DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREE TO BE RETAINED.
6. DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
7. ALL EXCAVATED MATERIAL, INCLUDING IMPORTED MATERIAL, MUST BE REMOVED IMMEDIATELY AND NOT PLACED ON GRASS OR NEAR TREES IN ORDER TO PREVENT ROOT DAMAGE, ACCIDENTAL HITTING OF ADJACENT TREES, AND TURF DAMAGE OUTSIDE OF WORK AREA.
8. CONTRACTOR SHALL MINIMIZE SOIL COMPACTION BY KEEPING OPERATION OF MACHINERY AND EQUIPMENT CONFINED TO DESIGNATED WORK AREA.
9. DO NOT ATTACH ANY SIGNS, NOTICES, OR POSTERS TO ANY TREES
10. CONTRACTOR SHALL KEEP A SPILL KIT ON SITE.
11. CONTRACTOR SHALL DEVELOP AN EMERGENCY RESPONSE PLAN.
12. CONTRACTOR SHALL AVOID SOIL CONTAMINATION AND FUTURE LIABILITY BY CONFINING THE OILING AND REFUELING OF MACHINERY AND EQUIPMENT TO DESIGNATED STAGING AREA.
13. NO FUEL IS TO BE STORED WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREE AND EXHAUST FUMES FROM ALL EQUIPMENT MUST NOT BE DIRECTED TOWARDS ANY TREE'S CANOPY.
14. CONTRACTOR SHALL PREVENT ANY DAMAGE TO THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREES TO BE RETAINED ON SITE AND ON ADJACENT PROPERTIES.
15. STORAGE OF EQUIPMENT AND VEHICLES WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES IS STRICTLY PROHIBITED.
16. WHERE LIMBS OR PORTIONS OF TREES ARE REMOVED TO ACCOMMODATE CONSTRUCTION WORK, THEY WILL BE REMOVED CAREFULLY IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES.
17. WHERE NECESSARY, THE TREES WILL BE GIVEN AN OVERALL PRUNING TO RESTORE THEIR APPEARANCE. NOT MORE THAN ONE THIRD OF THE TOTAL BRANCHING SHALL BE REMOVED DURING A SINGLE OPERATION. THE SERVICES OF A CERTIFIED ARBORIST SHALL BE RETAINED FOR THIS TASK.

## 1. EXCAVATION WORK:

- TO ENSURE THE ROOTS ARE NOT DISTURBED MORE THAN NECESSARY AND WHERE EXCAVATION WORKS ARE UNAVOIDABLE WITHIN THE CRZ OF TREES, THE FOLLOWING MITIGATION MEASURES SHALL BE USED:
  - ALL EXCAVATION WITHIN THE CRZ OF TREES SHALL BE BY HAND OR HYDRO EXCAVATION USING THE SMALLEST TOOLS. ROOT CUTTING SHALL BE MADE USING A SHARP SPADE OR KNIFE AT THE LIMIT OF DISTURBANCE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR SHALL ONLY TUNNEL OR BORE WITHIN THE CRZ, INSTEAD OF CREATING A TRENCH.
  - ANY ROOTS THAT ARE EXPOSED BY CONSTRUCTION ACTIVITIES MUST BE COVERED WITH NATIVE TOPSOIL IMMEDIATELY, TO ENSURE THAT THE ROOTS DO NOT DRY OUT OR HAVE ANY FURTHER DAMAGE OCCUR TO THEM.
- IN ALL THOSE INSTANCES WHERE ROOT PRUNING IS REQUIRED, THE SERVICE OF A CERTIFIED ARBORIST OR QUALIFIED TREE WORKER UNDER THE SUPERVISION OF A CERTIFIED ARBORIST SHALL BE RETAINED. IN ADDITION, ALL REMEDIAL WORKS MUST BE CONDUCTED BY A CERTIFIED CARE PROFESSIONAL TO ENSURE PROPER CARE IS ADMINISTERED IN ORDER TO ENABLE THE CONTINUED HEALTH OF THE TREES.

## 2. GRADING WORK

- WHERE RE-GRADING IS REQUIRED WITHIN THE CRZ, IT SHOULD BE PERFORMED BY HAND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

1. REFER TO ENGINEERING DRAWINGS FOR PROPOSED GRADING.
2. REFER TO ENGINEERING DRAWINGS FOR PROPOSED SITE SERVICING.
3. EXISTING VEGETATED AREAS ON ADJACENT PROPERTIES SHALL REMAIN AND BE PROTECTED BEFORE, DURING, AND AFTER CONSTRUCTION.
4. SOD SHALL BE KENTUCKY BLUEGRASS SOD INSTALLED OVER 135mm OF TOPSOIL. SOD SHALL BE INSTALLED THROUGHOUT WITHIN LIMIT OF WORK AND IN ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK EXCEPT WHERE INDICATED. SOD SHALL BE INSTALLED AS PER OPSS 803.
5. CONTRACTOR TO LOCATE AND STAKE ALL UTILITIES PRIOR TO ANY WORK ON THE SITE. DO NOT PLANT DIRECTLY ABOVE UNDERGROUND UTILITIES. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
6. NO TREES SHALL BE PLANTED UNDER OVERHEAD WIRES.
7. THE LANDSCAPE ARCHITECT MAY ADJUST THE LOCATION OF PLANTING PRIOR TO PLANTING TO MINIMIZE CONFLICTS WITH UTILITIES, DRIVEWAYS AND INTERSECTION VISIBILITY.
8. CONTRACTOR SHALL SUPPLY ALL MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE WORK SHOWN ON THESE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR DIRECTION.
9. DO NOT MAKE SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
10. THE CONTRACTOR TO MAKE GOOD TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT ANY AREAS DAMAGED BY THE WORK.
11. UPON THE COMPLETION OF WORK EACH DAY, REMOVE ALL DEBRIS, GARBAGE AND SURPLUS MATERIALS FROM THE SITE. KEEP THE SITE CLEAN AND USEABLE AT ALL TIMES.
12. ALL WORKMANSHIP AND MATERIALS (INCLUDING PLANTS) TO BE GUARANTEED FOR ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE PROJECT BY THE LANDSCAPE ARCHITECT.
13. THE CONTRACTOR SHALL REMOVE ALL T-BAR AND WOODEN TREE STAKES PRIOR TO ASSUMPTION BY THE OWNER.
14. AT THE TIME OF INSPECTION FOR ACCEPTANCE ALL TREE PITS SHALL BE CULTIVATED, FREE OR WEEDS, LEAVES, BROKEN BRANCHES AND DEBRIS.

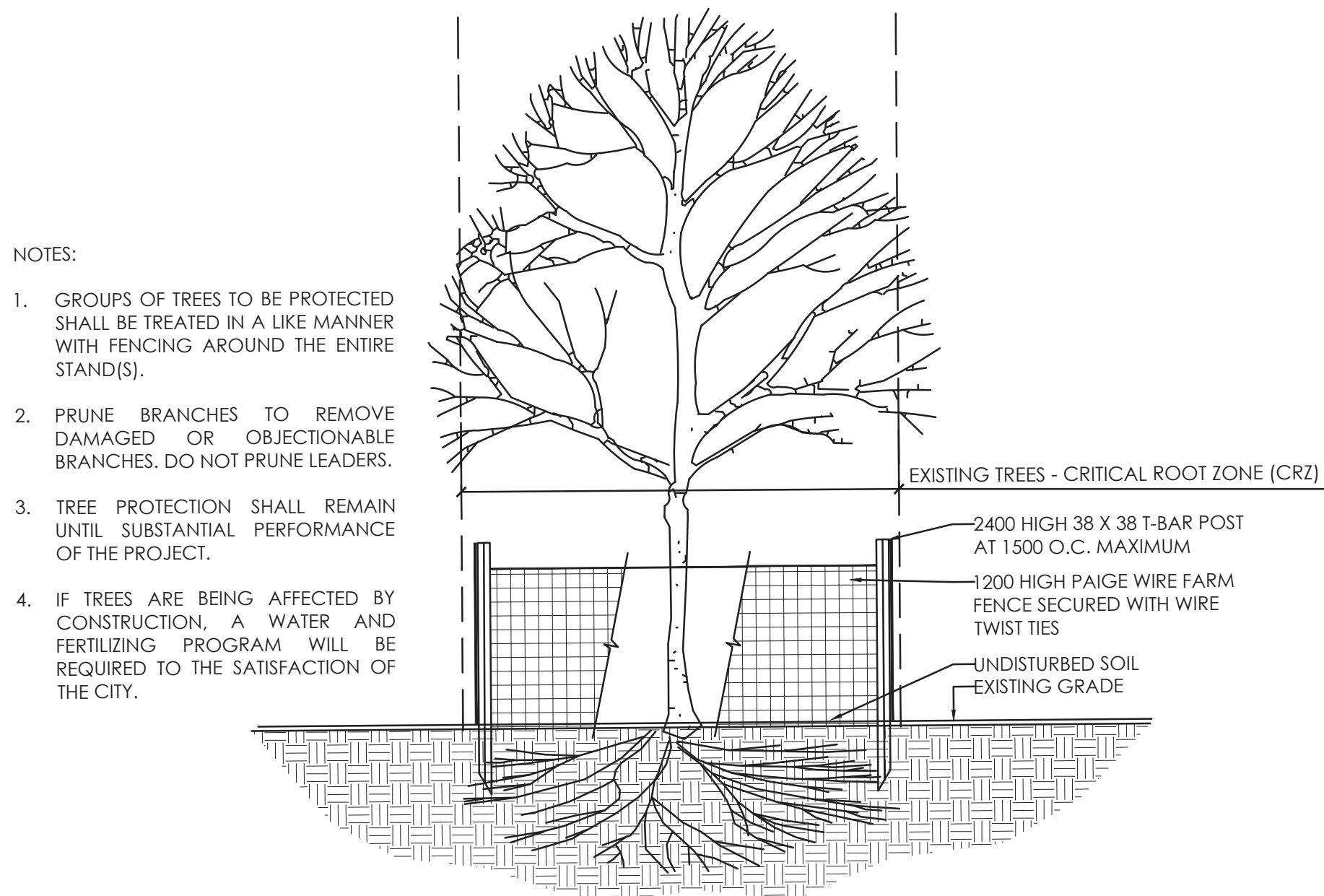


Diagram illustrating the planting pit structure and associated instructions:

- SPACING REFER TO PLANT LIST
- SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE
- REMOVE ALL NURSERY TAGS
- 150 mm SPACE BETWEEN BASE OF TRUNK AND EDGE OF MULCH
- POT TO BE CUT & REMOVED FROM ROOT BALL WHERE APPLICABLE
- MIN. 100 mm SHREDDED BARK MULCH UNLESS OTHERWISE NOTED
- 100 mm HIGH PLANTING BED
- AERATE AND LOOSEN SOIL AROUND EDGES OF PLANTING PIT. GLAZED SIDES WILL NOT BE ACCEPTED. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
- SOIL MIXTURE AS PER PLANTING NOTES
- WATER SOIL WHEN PLANTING PIT IS HALF FULL
- TOPSOIL TAMPED TO PREVENT SETTLEMENT
- UNDISTURBED SOIL
- DEPTH VARIES ACCORDING TO FULL DEPTH OF ROOT BALL (MIN. 500)

GRASS OR PLANTING BED. REFER TO PLAN VIEW.

ALUMINUM EDGE / CONCRETE EDGE

50mm TO 150 mm DIA. ROUND WASHED LIMESTONE RIVER STONES. ENSURE LIMESTONE SCREENING BEDDING COURSE IS NOT VISIBLE.

LIMESTONE SCREENING BEDDING COURSE LOOSELY SPREAD TO A MINIMUM UNIFORM DEPTH OF 75mm.

BUILDING FACE/ OR EDGE OF HARD SURFACE

TERRATRACK WOVEN GEOTEXTILE #24-15 OR APPROVED EQUAL

MINIMUM 150mm WELL COMPACTED GRANULAR "A" BASE COURSE

WELL COMPACTED SUBGRADE

75mm

150mm

NOTES:

1. ROUND WASHED STONES SHALL BE FREE FROM CRACKS AND FISSURES, AND SHALL BE FREE FROM SAND CLAY AND OTHER DELETERIOUS MATERIAL.
2. ROUND WASHED STONES SHALL BE PLACED OVER THE LIMESTONE SCREENING BEDDING COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS. BEACHSTONES SHALL THEN BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSE.

PLANTING BED, GRASS, OR HARD SURFACE. SEE PLANS FOR LAYOUT.

PVC OR STEEL EDGER TO BE INSTALLED AS PER MANUFACTURERS DIRECTIONS AGAINST ANY NON-PERMANENT HARD SURFACE

5mm JOINT SAND GROUT WITH POLYMER

PREFABRICATED UNIT PAVERS, TYPE, COLOUR, AND PATTERN TO BE SPECIFIED DURING CONSTRUCTION.

25-40mm BEDDING SAND

150mm COMPACTED 98% S.P.D. GRANULAR 'A' BASE COURSE

SUBGRADE COMPACTED TO 95% S.P.D.

**PAVING TYPES**

**PAVER TYPE 1**

1. ACCEPTABLE MATERIALS
  - TECHO-BLOC OR APPR
  - 1.1. SIZES: 80mm x 165
  - 1.2. COLOURS: GREY
  - 1.3. PATTERN: PAVERS PATTERN 01 AS PER

**PAVER TYPE 2**

1. ACCEPTABLE MATERIALS
  - TECHO-BLOC OR APPR
  - 1.1. SIZES: 80mm x 165
  - 1.2. COLOURS: ONLY X
  - 1.3. PATTERN: PAVERS PATTERN AS PER

**PAVER TYPE 3**

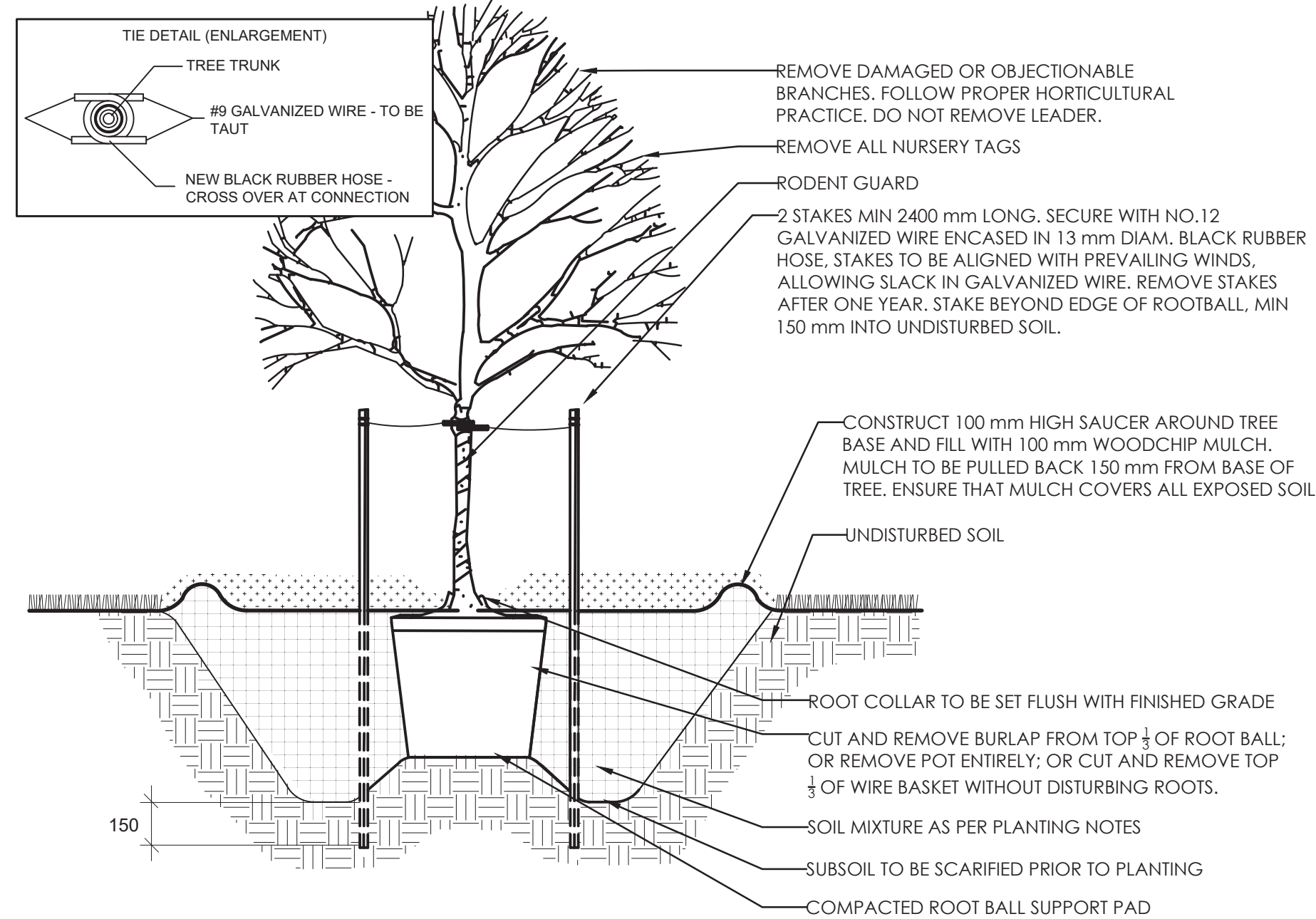


Diagram illustrating the planting bed setup, showing two plants in pots. The diagram includes labels for various components:

- PLANTS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE
- REMOVE ALL NURSERY TAGS
- POT TO BE CUT & REMOVED FROM ROOT BALL WHERE APPLICABLE
- MIN. 50 mm SHREDDED BARK MULCH UNLESS OTHERWISE NOTED
- 100 mm HIGH PLANTING BED
- SOIL MIXTURE AS PER PLANTING NOTES
- UNDISTURBED SOIL
- SPACING (REFER TO PLANT LIST)
- 100 (Height dimension)

	<ul style="list-style-type: none"> <li>• PLANT MATERIAL COLLECTED FROM SITES THAT ARE NOT ON THE LISTED SOURCES WILL NOT BE ACCEPTED</li> <li>• LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ACCEPTANCE OF PLANT MATERIAL DISPLAYING POOR GROWTH, INJURY OR DISEASE;</li> <li>• ANY PLANTS THAT DO NOT CONFORM WITH THE ABOVE STANDARDS WILL BE PROBABLY REMOVED FROM THE SITE BY THE CONTRACTOR AND REPLACED WITH PLANT MATERIAL OF ACCEPTABLE QUALITY AT AN ADDITIONAL COST TO THE PROJECT.</li> </ul>
	<p>8. TOPSOIL:</p> <ul style="list-style-type: none"> <li>• SOIL TEXTURE BASED ON THE CANADIAN SYSTEM OF SOIL CLASSIFICATION SHALL CONSIST OF:             <ul style="list-style-type: none"> <li>- CLAY: 14-20%</li> <li>- SILT: 0-35%</li> <li>- SAND: 45-70%</li> <li>- ORGANIC MATERIAL: 4-10%</li> <li>- pH: 6-8</li> </ul> </li> <li>• SPREAD TOPSOIL TO FOLLOWING DEPTHS AFTER SETTLEMENTS UNDER OTHERWISE NOTED ON DETAILS:             <ul style="list-style-type: none"> <li>- 300mm FOR PERENNIALS</li> <li>- 500mm FOR SHRUB BEDS</li> <li>- 1000mm FOR TREE PLANTINGS</li> </ul> </li> </ul>
	<p>9. MULCH:</p> <ul style="list-style-type: none"> <li>• MULCH SHALL BE SHREDDED WOOD VARYING IN SIZE FROM 25-125mm LENGTH FROM CONIFEROUS TREES</li> </ul>

**PAVER TYPE 1**

1. ACCEPTABLE MATERIAL: BLU 80 SMOOTH BY TECO-BLOC OR APPROVED EQUIVALENT.
- 1.1. SIZES: 80mm x 165mm x 330mm; 80mm x 330mm x 330mm; 80mm x 330mm x 495mm.
- 1.2. COLOURS: GREYED NICKEL.
- 1.3. PATTERN: PAVERS TO BE LAID IN MODULAR PATTERN 01 AS PER MANUFACTURER LAYOUT.

- 1.1. SIZES: 80mm x 165mm x 330mm; 80mm x 330mm x 330mm; 80mm x 330mm x 495mm.
- 1.2. COLOURS: ONYX BLACK.
- 1.3. PATTERN: PAVERS TO BE LAID IN LINEAR PATTERN AS PER MANUFACTURER LAYOUT.

1. ACCEPTABLE MATERIAL: BLU 80 SMOOTH BY  
TECHO-BLOC OR APPROVED EQUIVALENT.
  - 1.1. SIZES: 80mm x 165mm x 330mm; 80mm x 330mm x 330mm; 80mm x 330mm x 495mm.
  - 1.2. COLOURS: CHESTNUT BROWN.
  - 1.3. PATTERN: PAVERS TO BE LAID IN MODULAR  
PATTERN 01 AS PER MANUFACTURER LAYOUT.

1. BEDDING SAND SHALL BE MANUFACTURED SAND FOR BEDDING. IT SHALL BE HARD, DURABLE, CRUSHED STONE PARTICLES, CONFORMING TO GRADATION OF CONCRETE SAND AS SPECIFIED IN CSA 423.1. DO NOT USE LIMESTONE SCREENING, STONE DUST OR JOINT SAND FOR BEDDING SAND.
2. JOINT SAND SHALL BE HARD, DURABLE ANGULAR PARTICLES, FREE FROM CLAY, LUMPS, CEMENTATION, ORGANIC MATERIAL, FROZEN MATERIAL AND ALL DELETERIOUS MATERIALS. JOINT SAND SHALL FILL SPACES BETWEEN PAVERS.
3. PASS MECHANICAL PLATE VIBRATOR OVER UNIT PAVING TO ACHIEVE COMPACTION OF SAND IN JOINTS. JOINTS ARE FULL AT COMPLETION OF COMPACTION.
4. SURFACE OF FINISHED PAVEMENT SHALL BE FREE FROM DEPRESSIONS EXCEEDING 3mm AS MEASURED WITH 3m STRAIGHT EDGE.
5. ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS STATED OTHERWISE.



**Stantec**

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Consultant

## Notes

Legend

- THE DETAILS ON THIS SHEET DO NOT REPRESENT ANY PARTICULAR SPECIES.
2. TREES AND SHRUBS AS INDICATED IN THE DETAILS REPRESENT BOTH CONIFEROUS AND DECIDUOUS SPECIES.
3. MATERIAL PLANTED IN GROUP SHALL BE SET IN CONTINUOUS PLANTING BEDS.
4. CENTRE LINE OF SHRUBS SHALL NOT BE CLOSER THAN 2.4m FROM BUILDING FACE TO PROTECT BUILDING FOOTINGS AND INSULATION.
5. PRUNING - TO SUIT SPECIES - PRUNE BRANCHES BY 1/3 TO REMOVE DAMAGED OR OBJECTIONABLE BRANCHES FOLLOWING PROPER HORTICULTURAL PRACTICE. DO NOT PRUNE LEADERS.
6. FIRMLY COMPACT BACKFILLED PLANTING MIXTURE TO ELIMINATE AIR POCKETS OR PREVENT SETTLEMENT.
7. PLANTING MATERIAL QUALITY STANDARDS:
  - ALL PLANT MATERIALS TO CONFORM TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION FOR VARIETY, SIZE AND CONDITION;
  - PLANT MATERIAL COLLECTED FROM WILD SOURCES WILL NOT BE ACCEPTED;
  - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ACCEPTANCE OF ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE;
  - ANY PLANTS THAT DO NOT CONFORM TO THE ABOVE STANDARDS WILL BE PROMPTLY REMOVED FROM THE SITE BY THE CONTRACTOR AND REPLACED WITH MATERIAL OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE PROJECT.
8. TOPSOIL:
  - SOIL TEXTURE BASED ON THE CANADIAN SYSTEM OF SOIL CLASSIFICATION TO CONSIST OF:
    - CLAY: 14-20%
    - SILT: 0-35%
    - SAND: 45-70%
    - ORGANIC MATERIAL: 4-10%
    - pH: 6-8
  - SPREAD TOPSOIL TO FOLLOWING MINIMUM DEPTHS AFTER SETTLEMENTS UNLESS OTHERWISE NOTED ON DETAILS:
    - 300mm FOR PERENNIALS
    - 500mm FOR SHRUB BEDS
    - 1000mm FOR TREE PLANTING
9. MULCH:
  - MULCH SHALL BE SHREDDED WOOD VARYING IN SIZE FROM 25-125mm IN LENGTH FROM CONIFEROUS TREES,

4	REVISED SITE PLAN	CTL	ILL	2020.12.18
3	REVISED AS PER COMMENTS	CTL	ILL	2020.05.29
2	REVISIONS BASED ON NEW SITEPLAN	CTL	ILL	2019.10.02
1	ISSUED FOR CITY COMMENTS	CTL	ILL	2019.09.12

Revision	By	Appd.	YY.MM.DD
File Name: 160410249 LDETAILS	CTL	ILL	2019.09.12
	Dwn.	Dsgn.	YYYY.MM.DD

Permit/Sea



Client/Project

AZURE URBAN DEVELOPMENTS INC.

MIXED USE BUILDINGS  
2070 SCOTT STREET  
OTTAWA, ONTARIO

Title

## LANDSCAPE PLAN

Project No.

160410249

## Revision

4 3 of 4

Scale

VARIES

Drawing No

1300

DWG 18058

007-12-19-0167



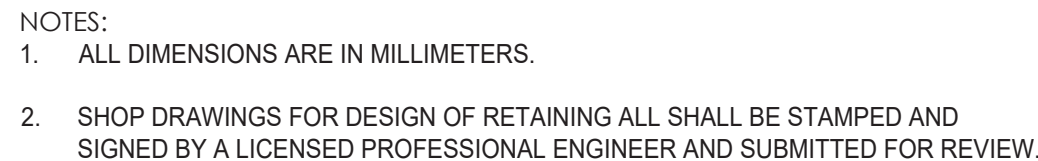


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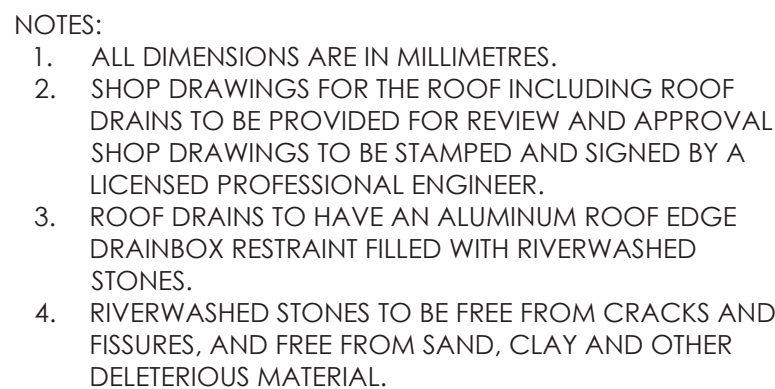
## Notes

Legend

## 1:25



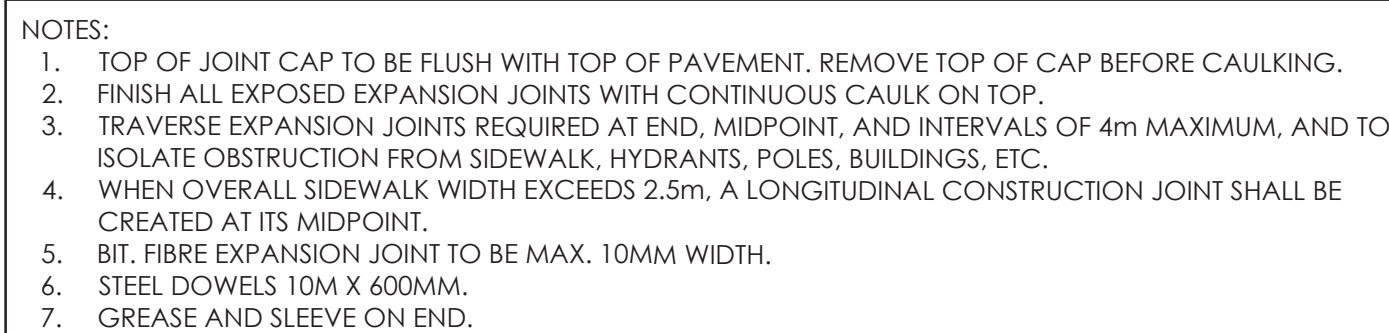
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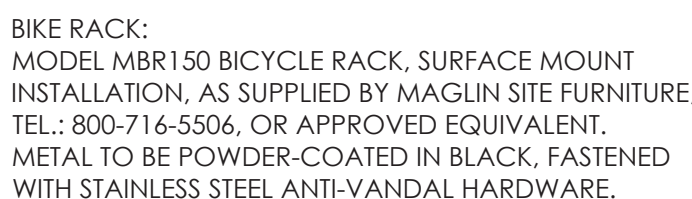
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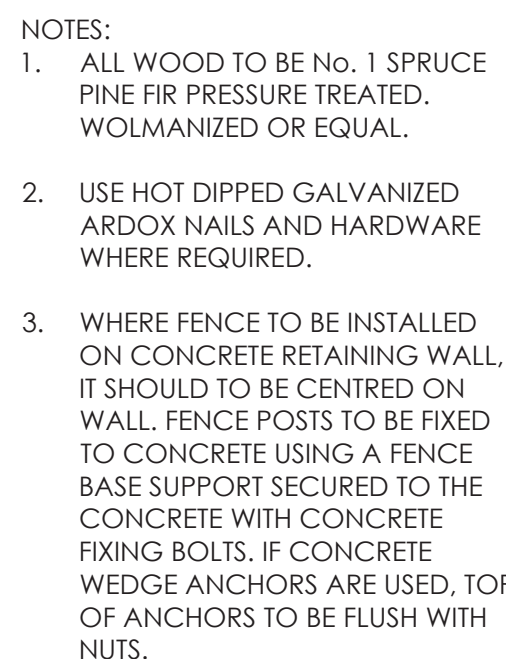
## 1:20



## 1:10



N.T.S.



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Title

**LANDSCAPE PLAN**

Project No.		Scale
<b>160410249</b>		<b>VARIES</b>
Revision	Sheet	Drawing No.
<b>2</b>	<b>4 of 4</b>	<b>L301</b>

DWG 18058