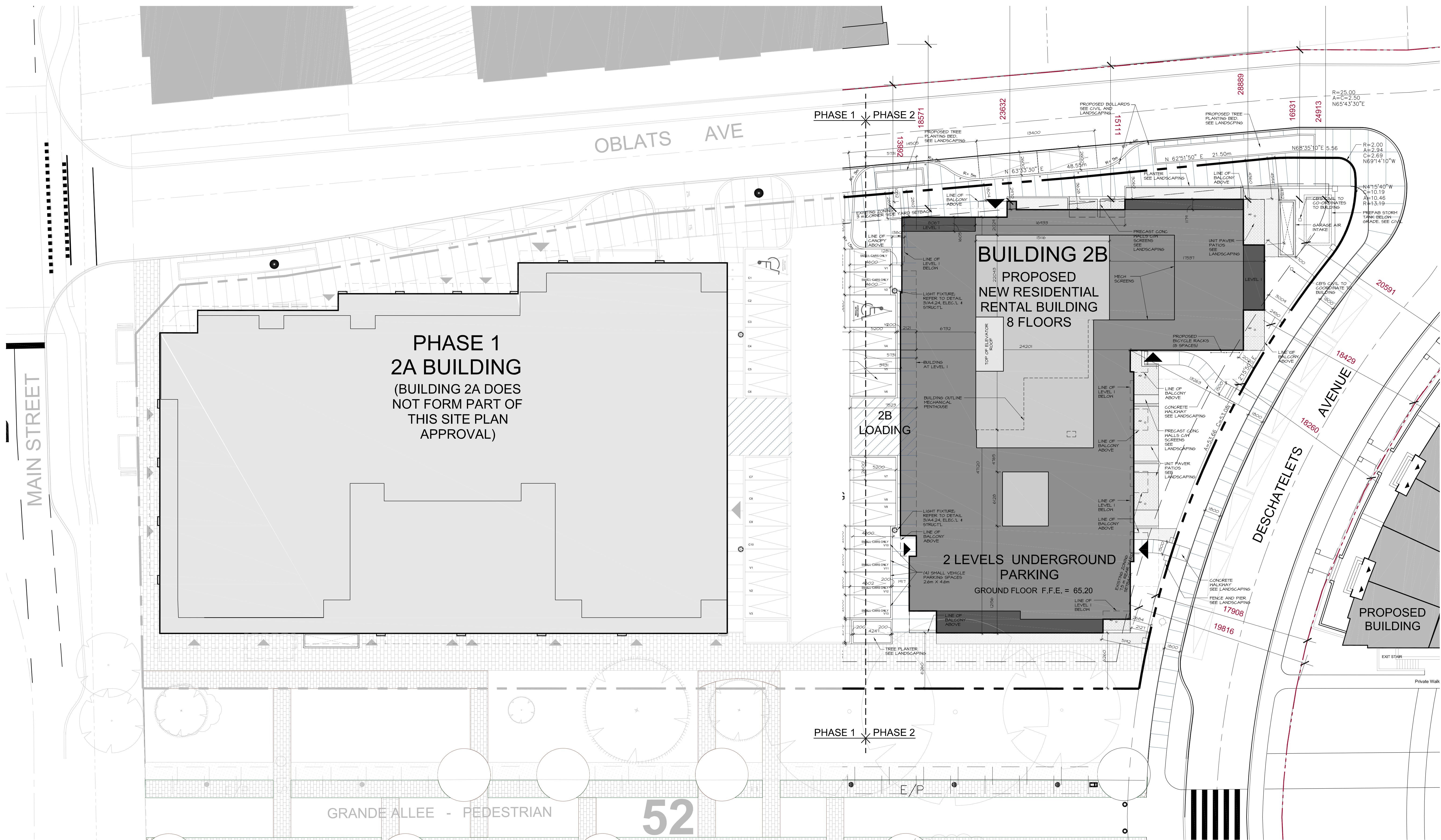




BUILDING 2 B

ZONING SUMMARY:	REQUIRED	PROVIDED
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VEHICULAR PARKING:		
RESIDENTIAL PARKING (10 units - (first 12 units) x 0.5 = 44 spaces)	44 spaces	120 spaces
VISITOR PARKING (10 units - (first 12 units) x 0.1 = 10 spaces)	10 spaces	13 spaces (outside)
	65 spaces	131 spaces

BICYCLE PARKING

RESIDENTIAL (10 units x 0.5 = 55 spaces)	55 spaces	41 spaces (inside) 8 spaces (outside)
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AMENITY

(10 units x 6 sqm/unit = 660 sqm) (Common 50% of Req'd = 330 sqm.)	660 sqm 330 sqm	1463 sqm 207 sqm 254 sqm Outdoor Roof Terrace
--	--------------------	--

BUILDING SUMMARY:

RENTAL UNITS	110	
	GROSS FLOOR AREA	NET FLOOR AREA
MECH. PENT/ ROOF	2,171 sq.ft.	-
LEVEL 8	14,310 sq.ft.	12,144 sq.ft.
LEVEL 7	14,310 sq.ft.	12,144 sq.ft.
LEVELS 3-6	61,268 sq.ft.	54,852 sq.ft.
LEVEL 2	14,593 sq.ft.	12,458 sq.ft.
GROUND	14,908 sq.ft.	8,267 sq.ft. (Residential)
	122,246 sq.ft.	101,545 sq.ft.

UNIT TYPE / FLOOR

	BACH.	1 BED	1 BED +DEN	2 BED	2 BED +DEN	TOTAL/ FLOOR
LEVEL 8	-	3	3	3	4	13
LEVEL 7	-	3	3	3	4	13
LEVEL 6	-	4	5	1	5	15
LEVEL 5	-	4	5	1	5	15
LEVEL 4	-	4	5	1	5	15
LEVEL 3	-	4	5	1	5	15
LEVEL 2	1	4	5	1	4	15
GROUND	-	2	3	1	3	4
TOTAL	1	28	34	12	35	110

REGIONAL

11 APR 14, 2020

REMOVED FOR SITE PLAN CONTROL

16 APR 9, 2020

RE-ISSUED FOR BUILDING PERMIT

15 FEB 20, 2020

REMOVED FOR SITE PLAN CONTROL

14 JAN 31, 2020

REMOVED FOR SITE PLAN CONTROL

13 MAY 15, 2018

REMOVED FOR SITE PLAN CONTROL

12 MAR 18, 2018

REMOVED FOR HIND ZONING AMENDMENT

11 MAR 8, 2018

ISSUED FOR PROGRESS

10 FEB 4, 2018

ISSUED FOR SCHEMATIC DESIGN

8 DEC 10, 2018

ISSUED FOR PROGRESS

8 DEC 1, 2018

REMOVED FOR HIND ZONING AMENDMENT

7 DEC 1, 2018

REMOVED FOR SITE PLAN CONTROL

6 SEPT 20, 2018

UPDATED BUILDING DATA

5 SEPT 18, 2018

4 VISITOR PARKING SPACES REVISED

4 AUG 8, 2018

GROUND FLOOR OF BUILDING 2B

3 AUG 8, 2018

ISSUED FOR PROGRESS - 30%

2 MAR 1, 2018

ISSUED FOR PROGRESS - 30%

1 Mar 1, 2018

ISSUED FOR HIND ZONING AMENDMENT

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

This drawing may not be used for construction until signed.

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ONTARIO ASSOCIATION OF ARCHITECTS

Hobin Architecture Incorporated

63 Pamela Street
Ottawa, Ontario
K1S 3K7
T: 613-235-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

HOBIN ARCHITECTURE

BUILDING A & B

PROJECT/LOCATION:
MIXED USE DEVELOPMENT
10 OBLATS AVENUE

DRAWING TITLE:
SITE PLAN

DRAWN BY:
MT

DATE:
17/12/21

SCALE:
1:200

PROJECT:
1418.16

DRAWING NO.:
A1.01

REVISION NO.:

PROJECT CONSULTANTS:

Developer / Owner

eQ Homes Inc.
The Regional Group of Companies Inc.
1737 Woodward Drive - 2nd Floor
Ottawa, ON K2C 0P9
voice: (613) 230-2100 fax: (613) 230-2962

Architect

Hobin Architecture Inc.
63 Pamela Street
Ottawa, ON K1S 3K7
Contact:
Marc Theriault
voice: (613) 238-7200 x 105 fax: (613) 235-2005
web: www.hobinarc.com

Planning

240 Michael Cowpland Drive, Suite 200
Ottawa, ON K2M 1P6
Contact:
Murray Chow
voice: (613) 254-9643 fax: (613) 254-5867

Landscape

CSW
319 McRae Ave, Suite 502
Ottawa, ON K1Z 0B9
Contact:
Jerry Corush
voice: (613) 729-4536

CIVIL

Novatech
240 Michael Cowpland Drive, Suite 200
Ottawa, ON K2M 1P6
Contact:
Jasmine Gauthier
voice: (613) 254-9643 fax: (613) 254-5867

Surveyor

Annis, O'Sullivan, Vollebakk Ltd.
14 Concourse Gate, Suite 500
Ottawa, ON K2E 7S6
Contact:
Andrew Shelp
voice: (613) 727-4352 x 226 fax: (613) 727-1079

Geotechnical

Patterson Group Inc.
154 Colonnade Road South
Ottawa, ON K2E 7J5
Contact:
Carlos Da Silva
voice: (613) 226-7381 fax: (613) 226-6344

SURVEY INFORMATION TAKEN FROM:		
PLAN OF SUBDIVISION BLOCK 62 REGISTERED PLAN 4M-1546 CITY OF OTTAWA		
SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.		
EXISTING ZONING	TM (2301) H (20)	
PROPOSED ZONING	TM (XXX) SXXX	
ZONING PROVISIONS: REQUIRED PROVIDED		
MIN LOT AREA :	NO MINIMUM	6,584.46 sqm
BUILDING HEIGHT :	26 m	BLDG: 8, 25.3 m
MIN LOT WIDTH :	NO MINIMUM	40.24m
FRONT YARD :	2 m (min) 3 m (max)	2,097 m 2,146 m
REAR YARD :	- (Residential Use) - (Other Cases no. min.)	7.5 m 2,035 m
CORNER SIDE YARD :	3 m (min)	2,854 m
INTERIOR SIDE YARD :	N/A	6,178 m (min) 6,262 m (max)
LANDSCAPED OPEN SPACE (30% OF LOT AREA) 6,584.46 sqm x 30% = 1,975.34 sqm		1,825.15 sqm (21.8%)