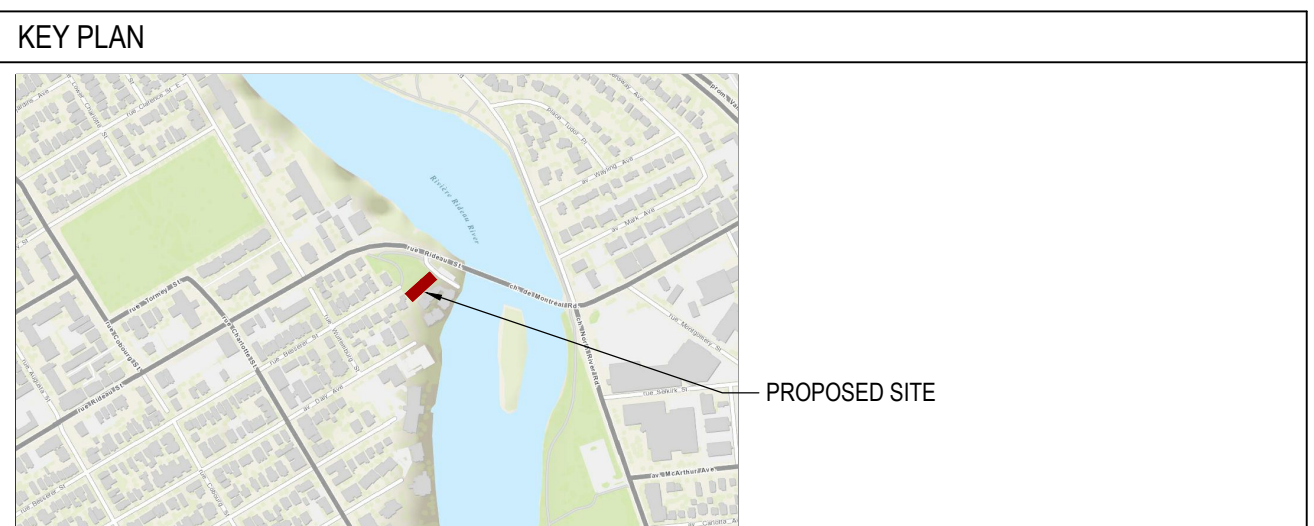


ZONING TABLE	2008 - 250 - R5B H(19)	
CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
MINIMUM LOT AREA	540m <sup>2</sup>	715.9m <sup>2</sup>
MINIMUM LOT WIDTH	18m	13.9m
MINIMUM FRONT YARD SETBACK	1.85m (per Section 123)	1.85m 290mm AT GARAGE (NE CORNER)
MINIMUM INTERIOR SIDE YARD SETBACK	11m Building Height: 1.5m within 21m of front lot line, 6m thereafter	North side - 0.9m South side - 1.5m
MINIMUM REAR YARD SETBACK	7.5m	14m
MAXIMUM BUILDING HEIGHT	14.5m (LOW-RISE APARTMENT)	11m
MAXIMUM FLOOR SPACE INDEX	N/A	
LANDSCAPED AREA	30% = 214.8m <sup>2</sup>	39.8% = 285m <sup>2</sup>
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 4 spaces	4 SPACES TOTAL (3 TENANT & 1 RIDE-SHARING SPACE)
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 1 SPACES REQUIRED	1 SPACES
AMENITY AREA REQUIREMENTS	15m <sup>2</sup> per unit for the first 8 units = 120m <sup>2</sup> (Communal Amenity) 6m <sup>2</sup> per dwelling unit in excess of 8 = 72m <sup>2</sup> Total = 192m <sup>2</sup>	65m <sup>2</sup> REAR YARD AMENITY (Communal) (25% soft landscaping) 64m <sup>2</sup> BALCONIES Total = 129m <sup>2</sup>
BICYCLE PARKING SPACES	0.5 per dwelling unit = 10	10 (8 Interior stacked + 2 exterior)



PROPERTY DESCRIPTION	
TCU - THREE STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	042070051
MUNICIPAL ADDRESS	244 FOUNTAIN PLACE

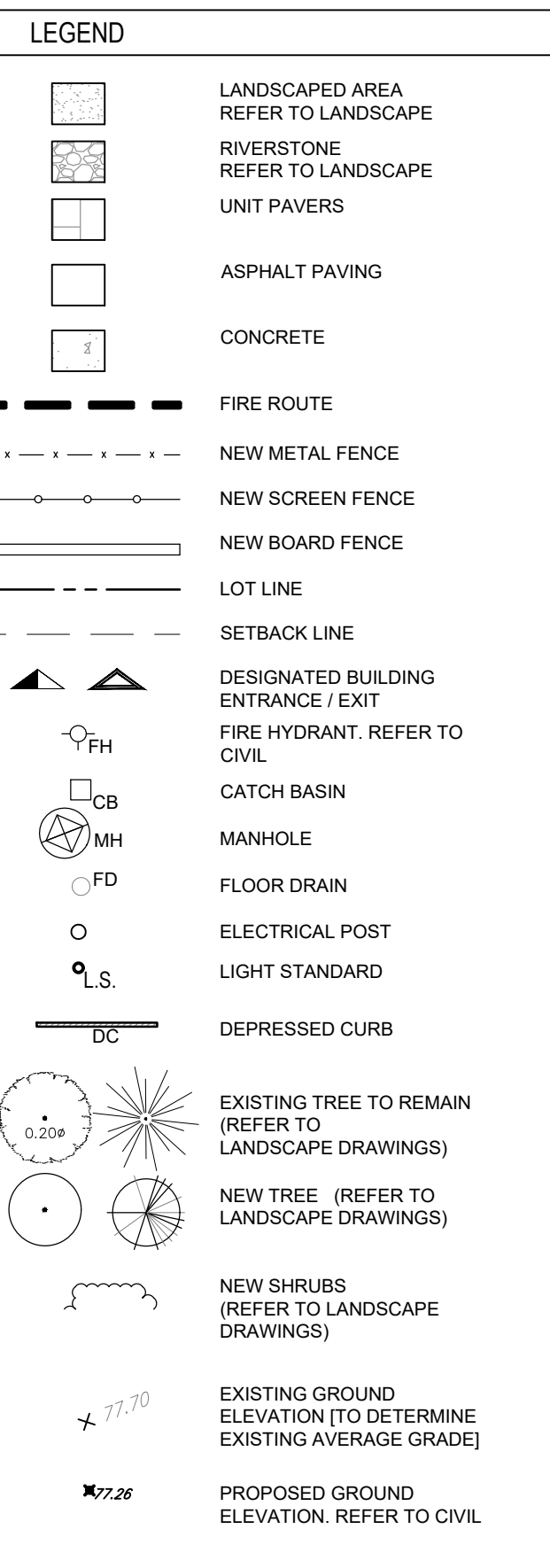
SITE INFORMATION	
LOT AREA:	716m <sup>2</sup>
LOT FRONTAGE:	15.68m
LOT DEPTH:	52.2m

BUILDING INFORMATION	
BUILDING AREA:	347m <sup>2</sup>
BUILDING FLOOR AREA:	1,359m <sup>2</sup>
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE

UNIT BREAKDOWN:	
BASEMENT:	4 UNITS 2- 1 BD, 2- 2 BD
FIRST FLOOR:	5 UNITS 1- 1 BD, 4- 2 BD
SECOND FLOOR:	6 UNITS 2- STUDIO, 2- 1 BD, 2- 2 BD
THIRD FLOOR:	5 UNITS 1- 1 BD, 4- 2 BD
TOTAL:	20 UNITS 2- STUDIO, 6- 1 BD, 12- 2 BD



No.	Date	Événement / Objectif
1	2018-02-16	COORDINATION
2	2018-05-24	COORDINATION
3	2018-08-17	COORDINATION
4	2018-08-28	COORDINATION
5	2018-10-26	SITE PLAN CONTROL
6	2019-03-11	COORDINATION
7	2019-06-14	CITY REVIEW
8	2019-07-24	COORDINATION
9	2019-09-16	COORDINATION
10	2019-10-22	SITE PLAN CONTROL RESPONSE
11	2020-05-21	SITE PLAN CONTROL RESPONSE
12	2020-12-07	SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer  
(Structure / Structure)

Architecte / Architect  
(Paysagiste / Landscape)

Ingenieur / Engineer  
(Civil / Civil)

Client / Client

Architecte / Architect  
Collectif d'architectes / Architects Collective

fig. 1  
3505, Saint-Antoine O.  
Montréal QC H3C 1A9  
T. 514 881-9122

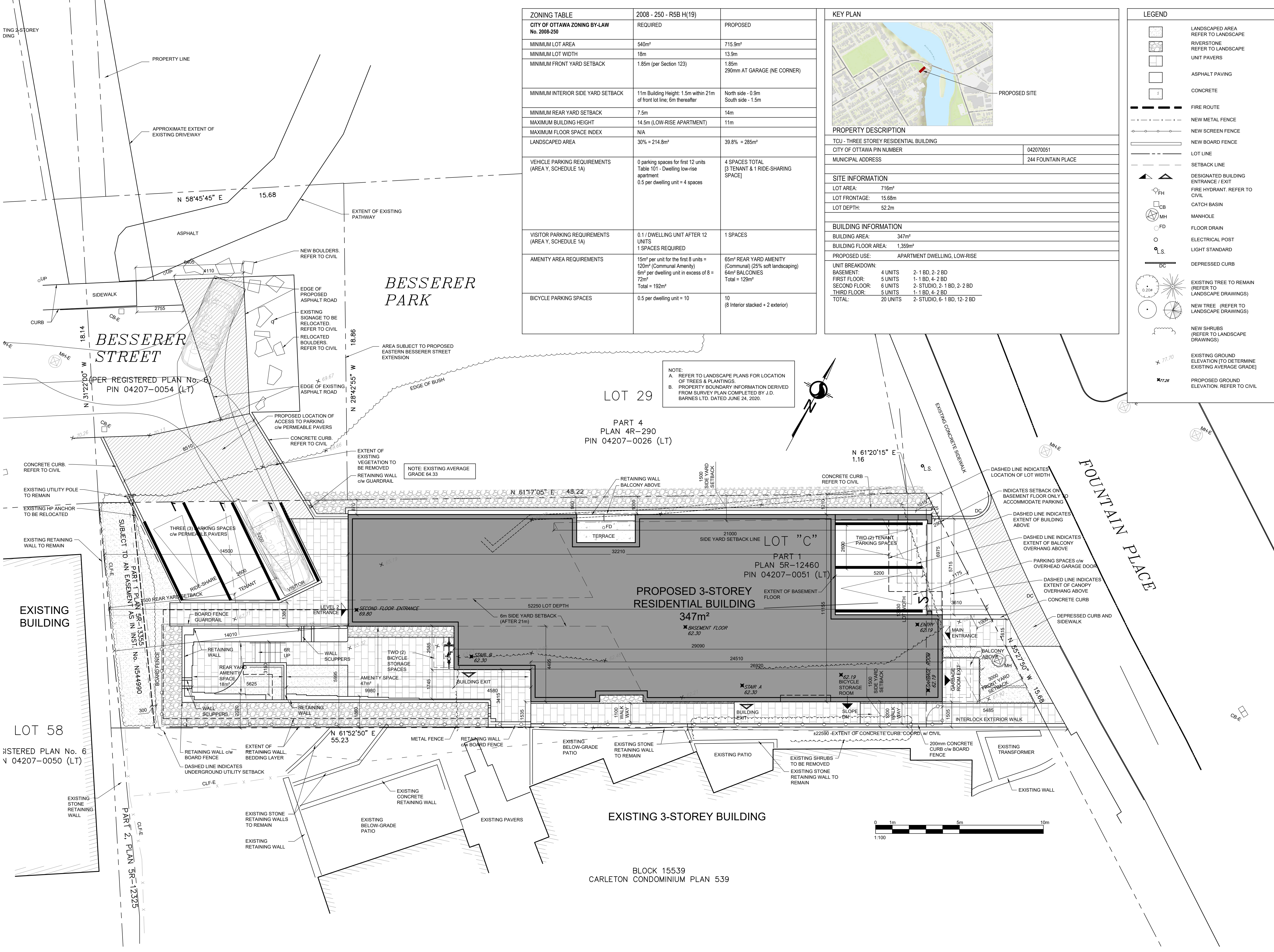
fig. 2  
190 Somerset St W #206  
Ottawa ON K2P 0A4  
T. 613 956-6122

Droit d'auteur / Copyright  
Ce dessin est sujet au droit d'auteur. Il ne peut être reproduit pour quelque intention ou usage que ce soit, ni ne peut être utilisé autrement sans l'approbation de la signature et de l'estampe originale.  
This drawing is subject to copyright. It is not to be reproduced for any purpose or by any means, and may only be used if it bears an original stamp and signature.

Scale / Échelle  
1:100

Project / Projet  
**THREE STOREY APARTMENT BUILDING**  
244 Fountain Place,  
Ottawa ON

Site Plan  
Dessiné par / Drawn by  
No. projet / Project number  
MD 1749  
Vérifié par / Verified by  
No. dessin / Drawing number  
RC  
Échelle / Scale  
as indicated  
Date de création du dessin / Drawing creation date  
2018-02-16



A105