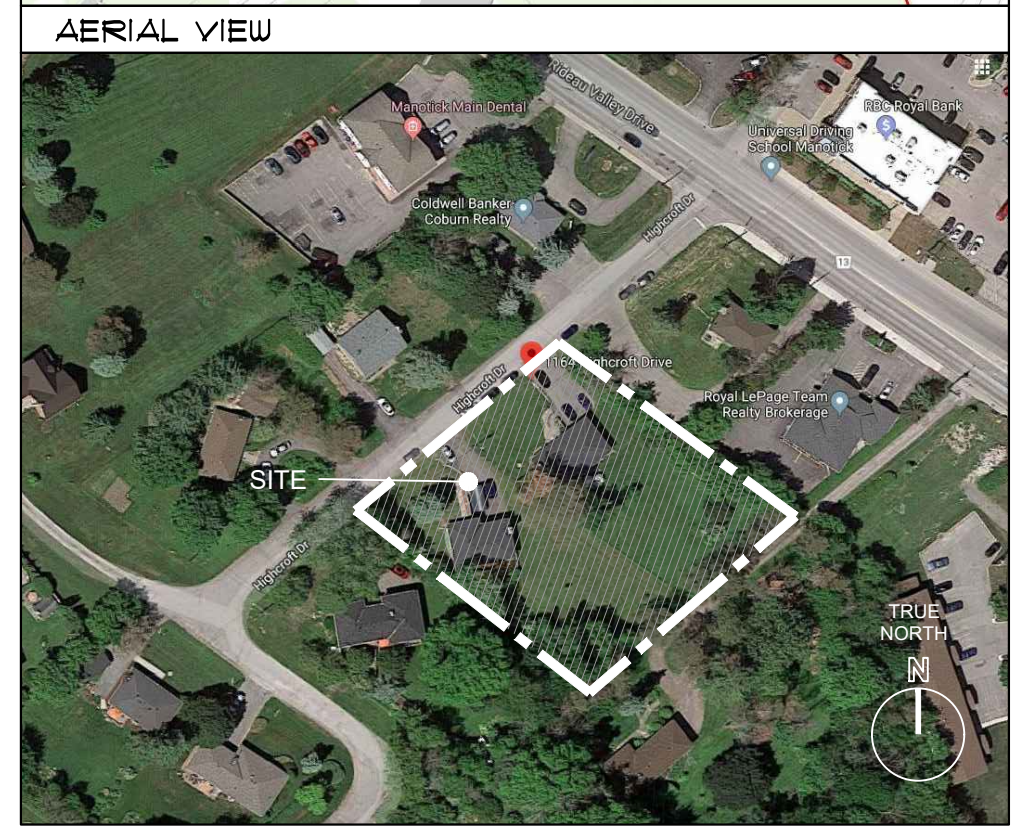
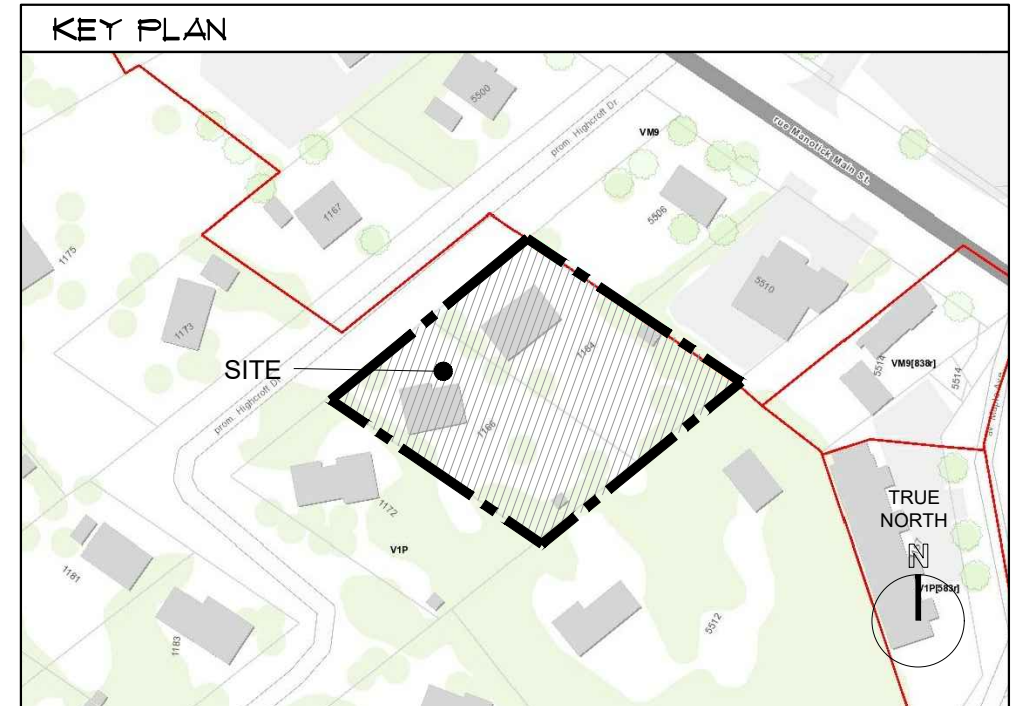
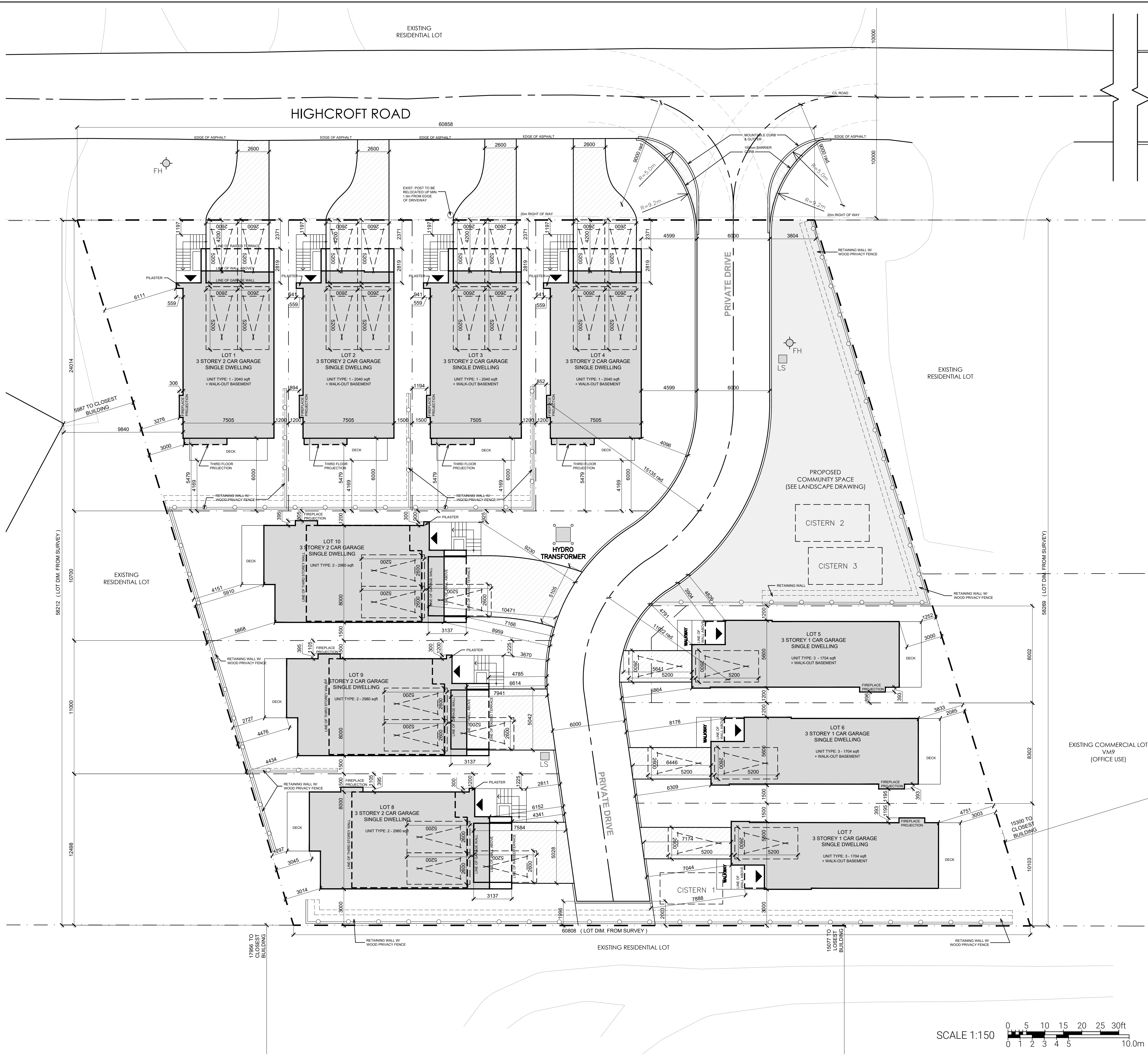




SURVEY INFO FROM: ANNIS, O'SULLIVAN, VOLLEBEKK LTD.				
SITE SUMMARY:				
CIVIL ADDRESS :	1164-1166 HIGHCROFT DRIVE, MANOTICK, ON K4M 1A1			
ZONING :	V1 - VILLAGE RESIDENTIAL FIRST DENSITY ZONE,	SUBZONE P		
PROPOSED USE :	PUD - 10 UNITS OF SINGLE DETACHED DWELLINGS			
BUILDING FOOTPRINT (ABOVE GRADE):	RANGES BETWEEN 942sqft - 1222sqft			
ZONING SUMMARY:				
BY-LAW 2008-200, PART B, SECTION 232, TABLE 232	REQUIRED:	PROPOSED ZONING (PUD):		
MIN. LOT AREA:	1,340m ²	3,542m ²		
MIN. LOT WIDTH:	30.0m	60.585m		
MAX. LOT COVERAGE:	25 %	28 %		
MAX. BUILDING HEIGHT:	11.0m	11.0m		
MIN. FRONT YARD	6.0m	4.2m		
MIN. INTERIOR SIDE YARD	3.0m	3.0m		
MIN. CORNER SIDE YARD	6.0m	N/A		
MIN. REAR YARD	1.5m	3.0m		
MIN. WIDTH OF PRIVATE DRIVEWAY	6.0m	6.0m		
MIN. SETBACK FOR ANY WALL TO A PRIVATE WAY	1.2m	3.904m		
MIN. SETBACK FOR GARAGE	5.2m	5.2m		
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m	2.4m		
VEHICULAR PARKING:				
	REQUIRED	PROVIDED		
RESIDENT PARKING (10 DWELLING UNITS) AS PER BY-LAW 40-202, SECTION FIVE, 1.0 SPACE PER UNIT, 10 DWELLING UNITS	10	17		
VISITOR PARKING (10 DWELLING UNITS) AS PER BY-LAW 40-202, SECTION 5.2, 0.20 SPACE PER UNIT (INCL. WITHIN TOTAL COUNT)	2	14		
TOTAL VEHICULAR PARKING			12	31
UNIT TYPE SUMMARY:				
	GROSS FLOOR AREA (ZONING BY-LAW)	UNIT COUNT		
UNIT TYP. 1	190m ² (2040sf)	4		
UNIT TYP. 2	271m ² (2918sf)	3		
UNIT TYP. 3	158m ² (1704sf)	3		
TOTAL:				10

01	2020/11/2	REVISED FOR SITE PLAN CONTROL APPLICATION
02	2020/05/28	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
07	2020/04/01	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
06	2020/03/30	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
05	2019/08/06	ISSUED FOR SITE PLAN CONTROL APPLICATION - REVIEW
04	2019/06/17	REVISIONS
03	2019/06/11	REVISIONS
02	2019/05/07	GENERAL REVIEW
01	2019/05/02	PRELIMINARY FOR CIVIL ENG. REVIEW
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

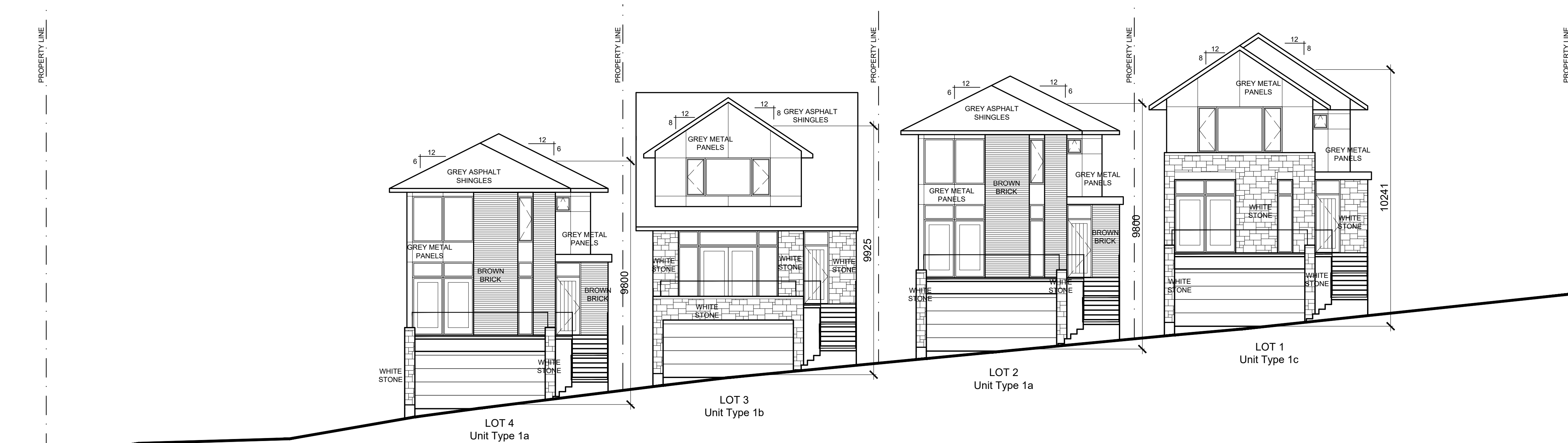
This drawing may not be used for construction until signed.

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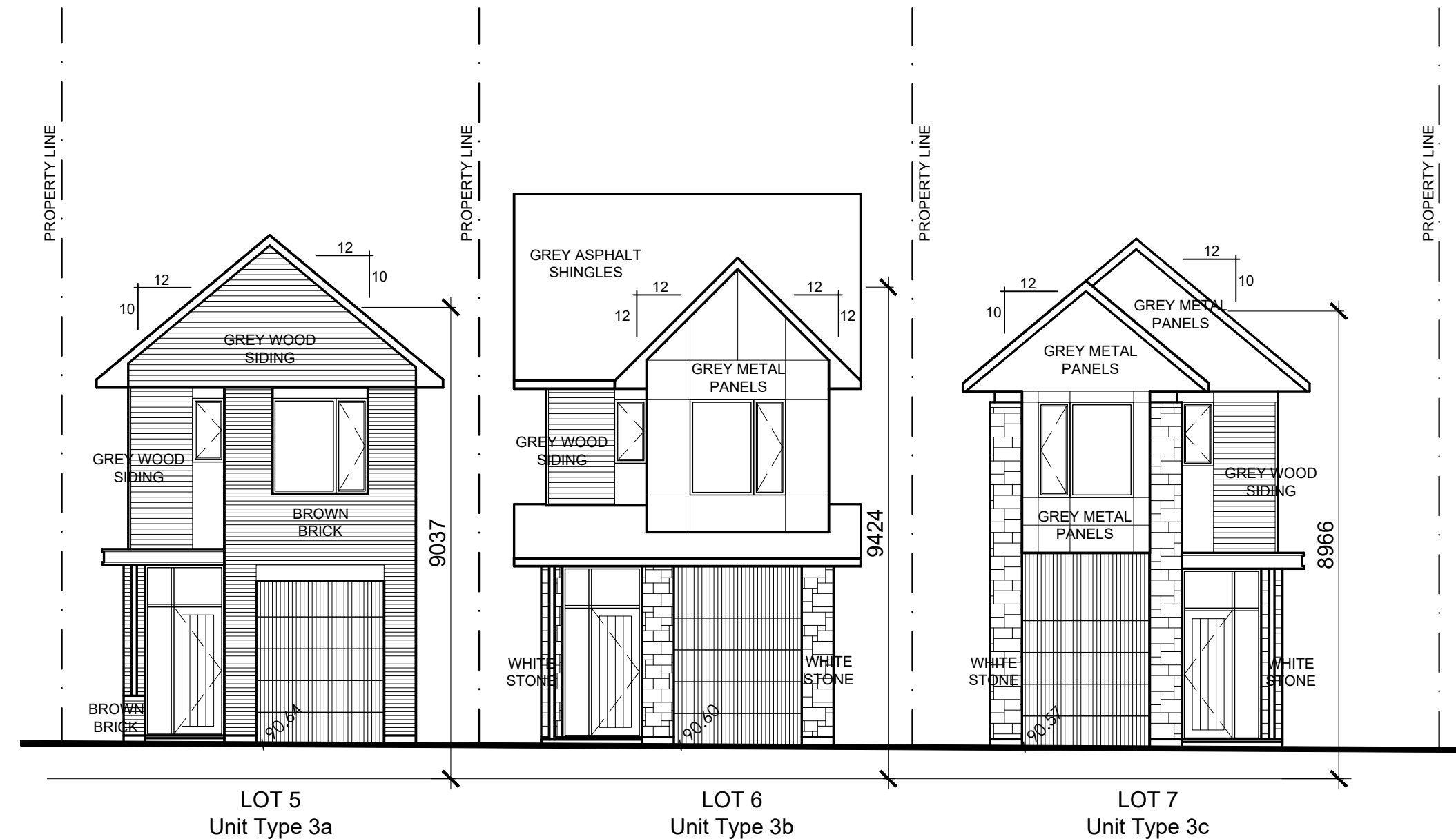
PROJECT/LOCATION: 1164-1166 HIGHCROFT DR. MANITICK OTTAWA, ONTARIO		
DRAWING TITLE: SITE PLAN		
DRAWN BY: KVB, JG	DATE: MAY 17, 2019	SCALE: 1:150
PROJECT: 1918		DRAWING NO.: SP-1
REVISION NO.:		



1 UNIT TYPE 1 - STREETSCAPE ALONG HIGHCROFT
SP-2 1:100



2 UNIT TYPE 2 - ON PRIVATE DRIVE
SP-2 1:100



3 UNIT TYPE 3 - ON PRIVATE DRIVE
SP-2 1:100



VIEW LOOKING NORTH



VIEW LOOKING EAST



VIEW LOOKING SOUTH



VIEW LOOKING WEST

04	2020/11/12	REVISED FOR SITE PLAN CONTROL APPLICATION
08	2020/05/28	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
07	2020/04/01	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
06	2020/03/30	REVISED FOR SITE PLAN CONTROL APPLICATION - REVIEW
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PROJECT/LOCATION:
1164-1166 HIGHCROFT DR.
MANOTICK
OTTAWA, ONTARIO

DRAWING TITLE:
FRONT ELEVATIONS
AND 3D AERIAL VIEWS

DRAWN BY: KVB, JG	DATE: MAY 17, 2019	SCALE: 1:150
PROJECT: 1918		DRAWING NO.: SP-2
		REVISION NO.: