

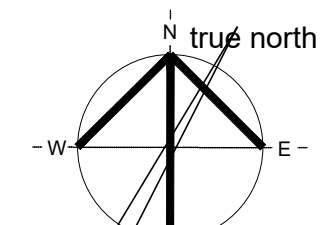
4	ISSUED FOR SITE PLAN CONTROL	18 Sept. 2020
3	FOR CLIENT REVIEW	30 July 2020
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no.	revision	date

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
**Purolator
DISTRIBUTION KANATA**

1400 UPPER CANADA STREET,
KANATA, ONTARIO

construction north



seal



drawing title
SITE PLAN

scale
AS SHOWN

drawn by
J. J.

date
Jan. 2020

checked by
N.R.

project
number

drawing number

19-519

A-001

CONTRACTOR TO VERIFY ALL DIMENSIONS
AND NOTIFY THE ARCHITECT OF ANY
DISCREPANCIES BEFORE WORK COMMENCES.
DO NOT SCALE DRAWINGS.

revision

PLAN NO.: #XXXXX

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN
OF PART OF LOT 4 CONCESSION 1, CITY OF OTTAWA, PREPARED BY
STANTEC GEOMATICS LTD.
DATED DECEMBER 13, 2019

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE
DESIGNATION
IP13 - BUSINESS PARK INDUSTRIAL ZONE
AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE
ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP F DIVISION 2 - UP TO 4 STOREYS (3.2.2.70)
GROUP D - UP TO 3 STOREYS, SPRINKLERED (3.2.2.54)

BUILDING STATISTICS:
(CITY OF OTTAWA'S DEFINITIONS)
BUILDING FOOTPRINT = 6097.8m² / 65,636 ft²

GROSS FLOOR AREA = 6097.8m² / 62,075 ft²

NUMBER OF STOREYS = 1
THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
NUMBER OF ACCESS ROUTES PROVIDED = 1

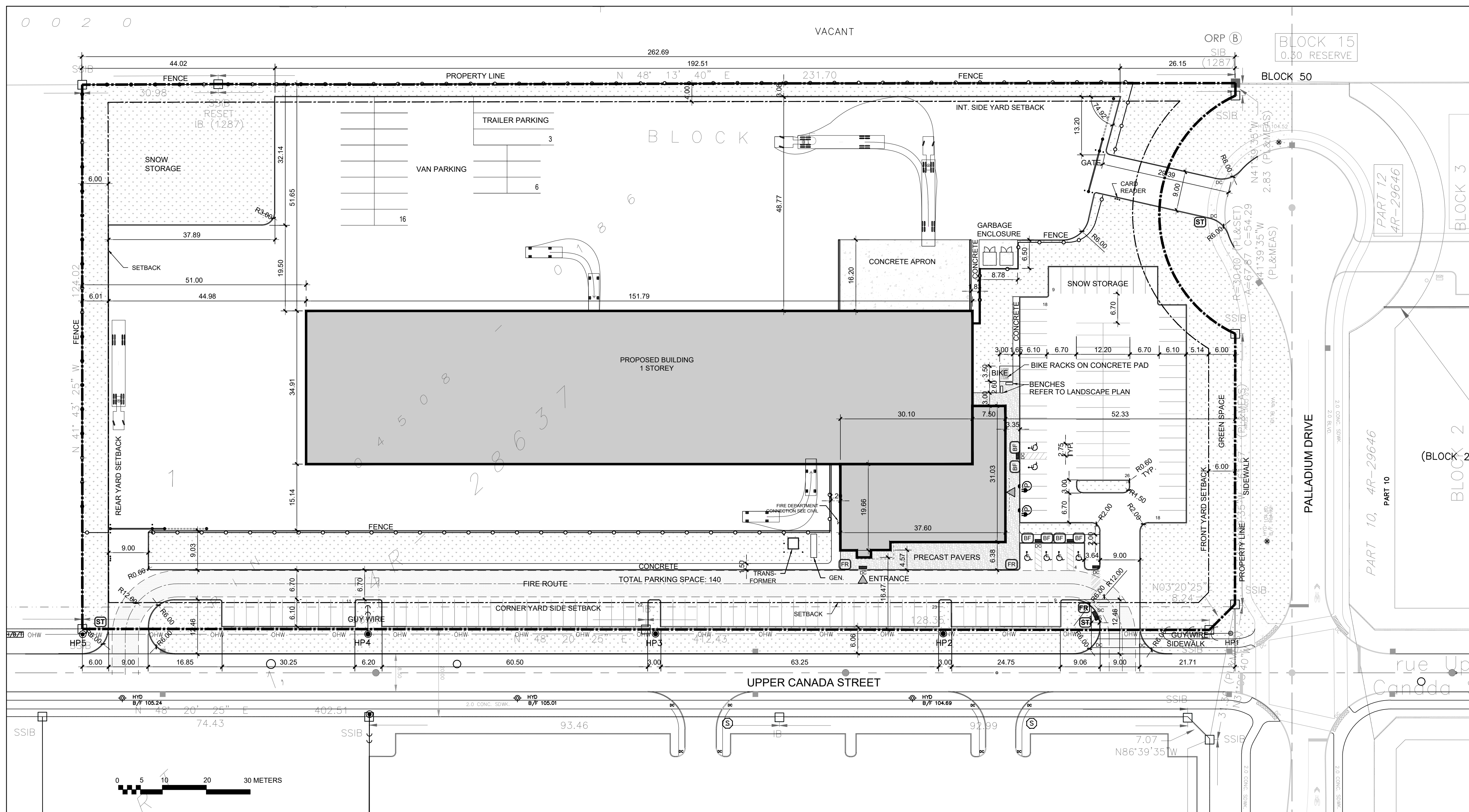
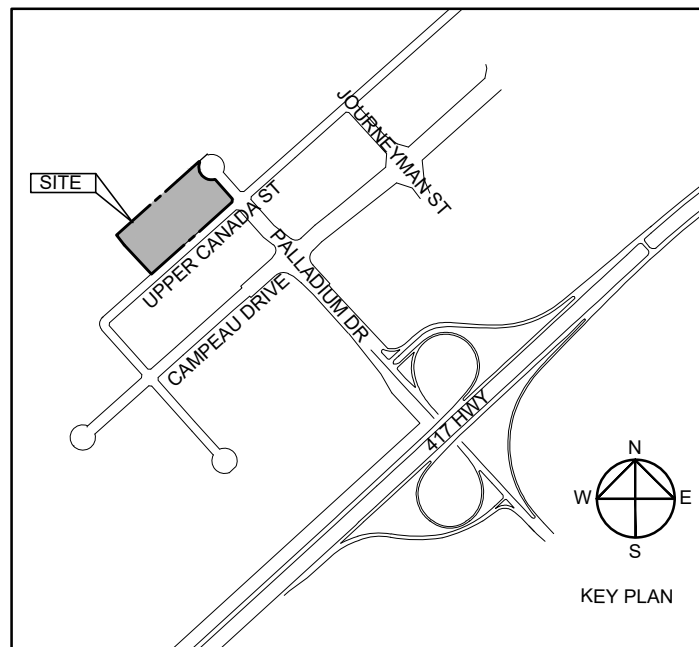
CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

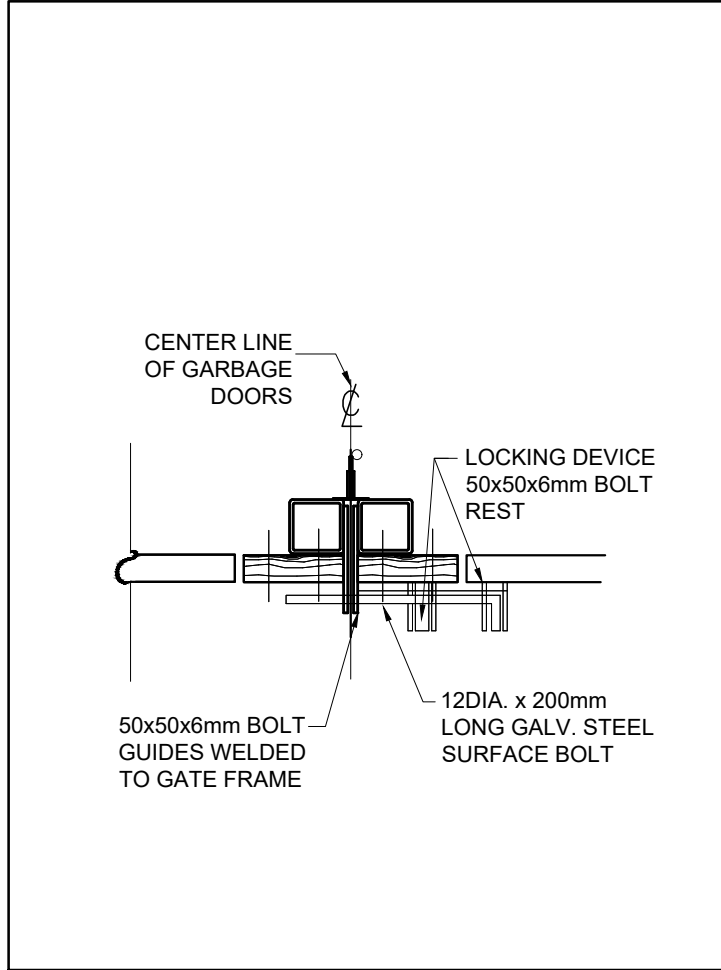
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	1400 UPPER CANADA STREET	
DEFINITION	IP 13 BUSINESS PARK INDUSTRIAL ZONE	WAREHOUSE
MIN. LOT WIDTH	NO MINIMUM	
MIN. LOT AREA	750 m ²	31969.7 m ²
MIN. FRONT YARD SETBACK	6 m	52.33 m
MIN. CORNER SIDE SETBACK	6 m	16.47 m
MIN. INT. SIDE YARD SETBACK	4 m	51.65 m
MIN. REAR YARD SETBACK	6 m	51.0 m
MAX. LOT COVERAGE	55 %	19.1 %
MAX. FLOOR SPACE INDEX	2	0.18
MAX. BUILDING HEIGHT	22 m	7.5 m
MIN. WIDTH OF LANDSCAPING	3 m ABUTTING A STREET	3 m
STANDARD PARKING SPACE	2.6m x 5.2m	2.75m x 6.1m
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 6.1m (TYPE A), 2.4 x 6.1m (TYPE B)
PARKING REQUIREMENTS AREA C: SUBURBAN	56 OFFICE: 2.4 / 100 m ² G.F.A. INDUSTRIAL USE: 0.8 / 100 m ² G.F.A.	140
BARRIER-FREE PARKING	6	3 (TYPE A) + 3 (TYPE B)
LOADING SPACES	2	2
BICYCLE PARKING RATE	3 (1 / 2000 m ² of G.F.A.)	4
GROSS FLOOR AREA		±5767 m ² (62,075 s.f.)
BUILDING AREA (FOOTPRINT)		6097.8 m ² (65,636 s.f.)

LEGEND		
--- PROPERTY LINE	--- GARBAGE ENCLOSURE	LANDSCAPED AREA REFER TO LANDSCAPE PLAN
--- YARD SETBACK	--- NEW DEPRESSED CURB - SEE LANDSCAPE	CONCRETE PAD AND SIDEWALK
--- CHAINLINK FENCE, 2150mm HIGH, 3 STRANDS OF WIRE	--- NEW CURB	ASPHALT
--- HYDRO EASEMENT LINE SETBACK	4 ELECTRIC CAR CHARGING STATIONS	6m WIDE FIRE ROUTE, REFER TO CIVIL
--- FIRE HYDRANT	HP3 --- HYDRO POLE	PAVERS REFER TO LANDSCAPE PLAN
--- CATCH BASIN - SEE CIVIL	--- LIGHT STANDARD	
--- MANHOLE - SEE CIVIL	--- T.W.S.I.	
--- MAIN ENTRANCE		

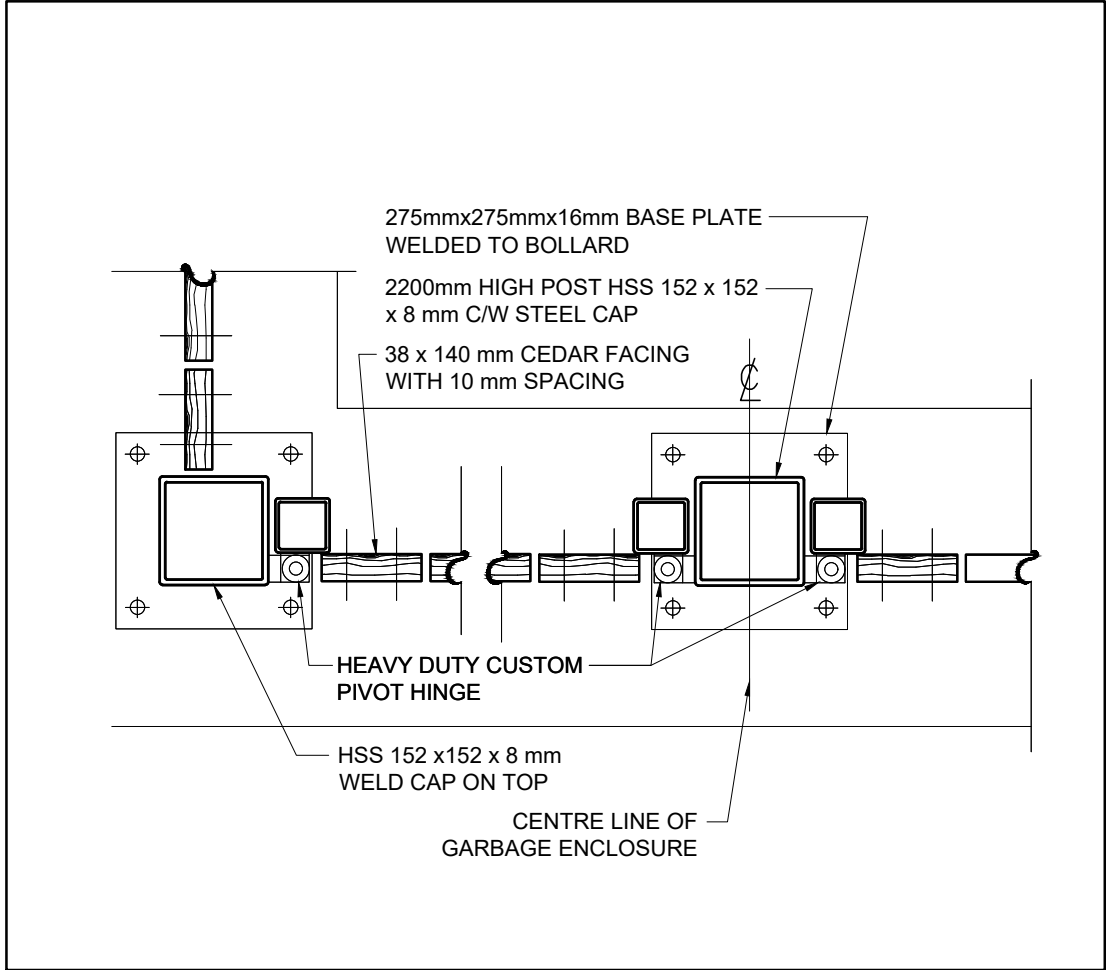


1 SITE PLAN
A-001 SCALE 1:500

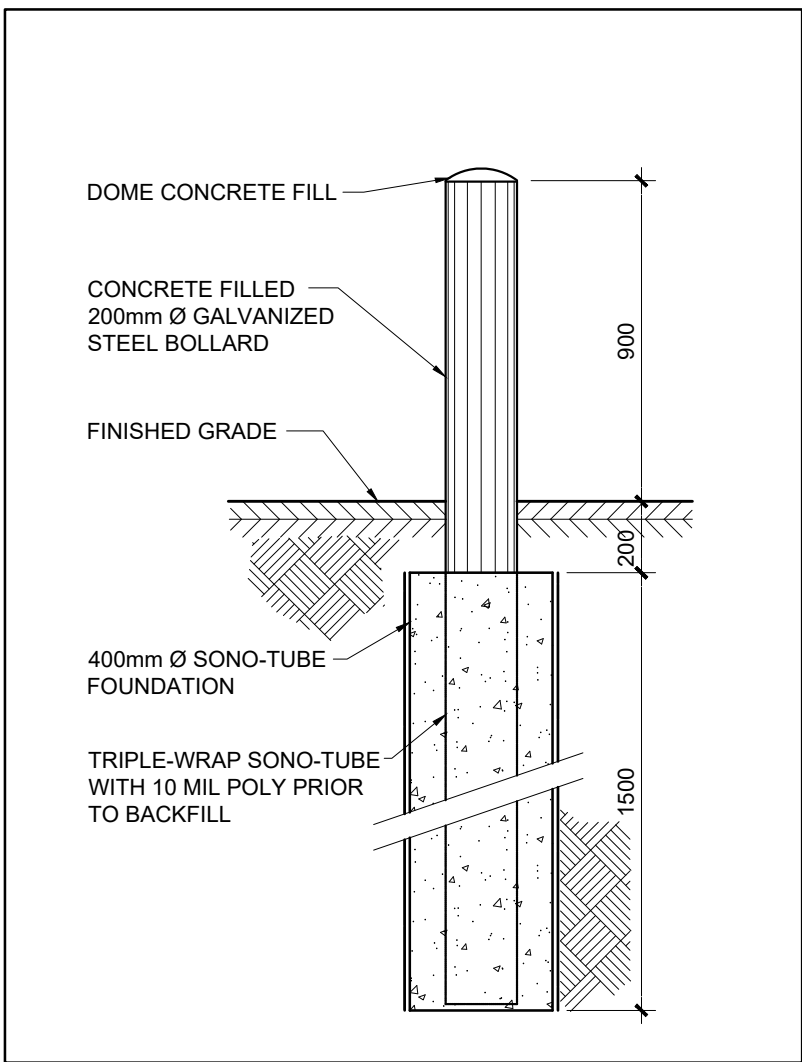
CITY'S FILE NO.: D07 - 12 - 18 - xxxx



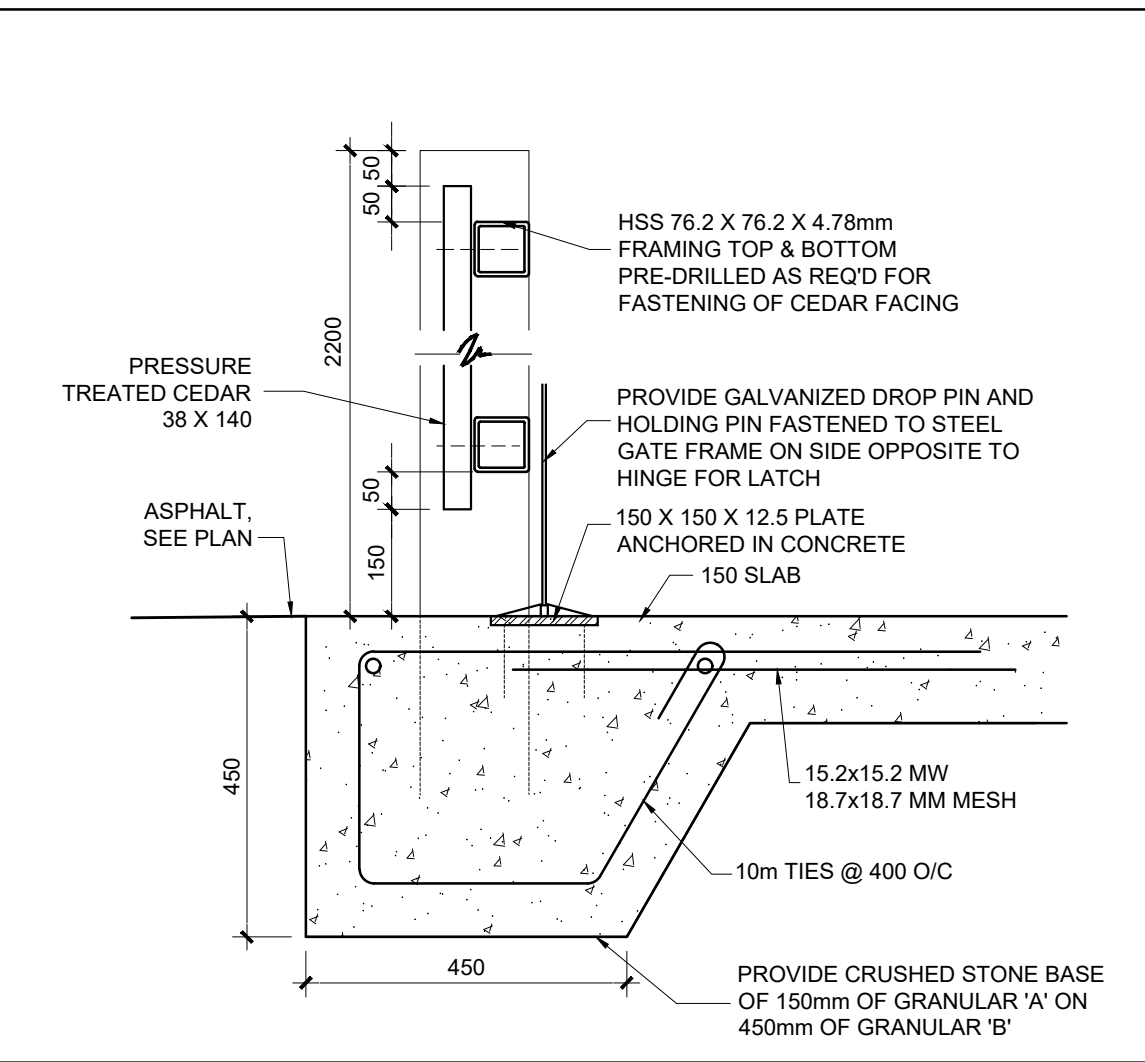
8 PLAN DETAIL
A-002 SCALE 1:10



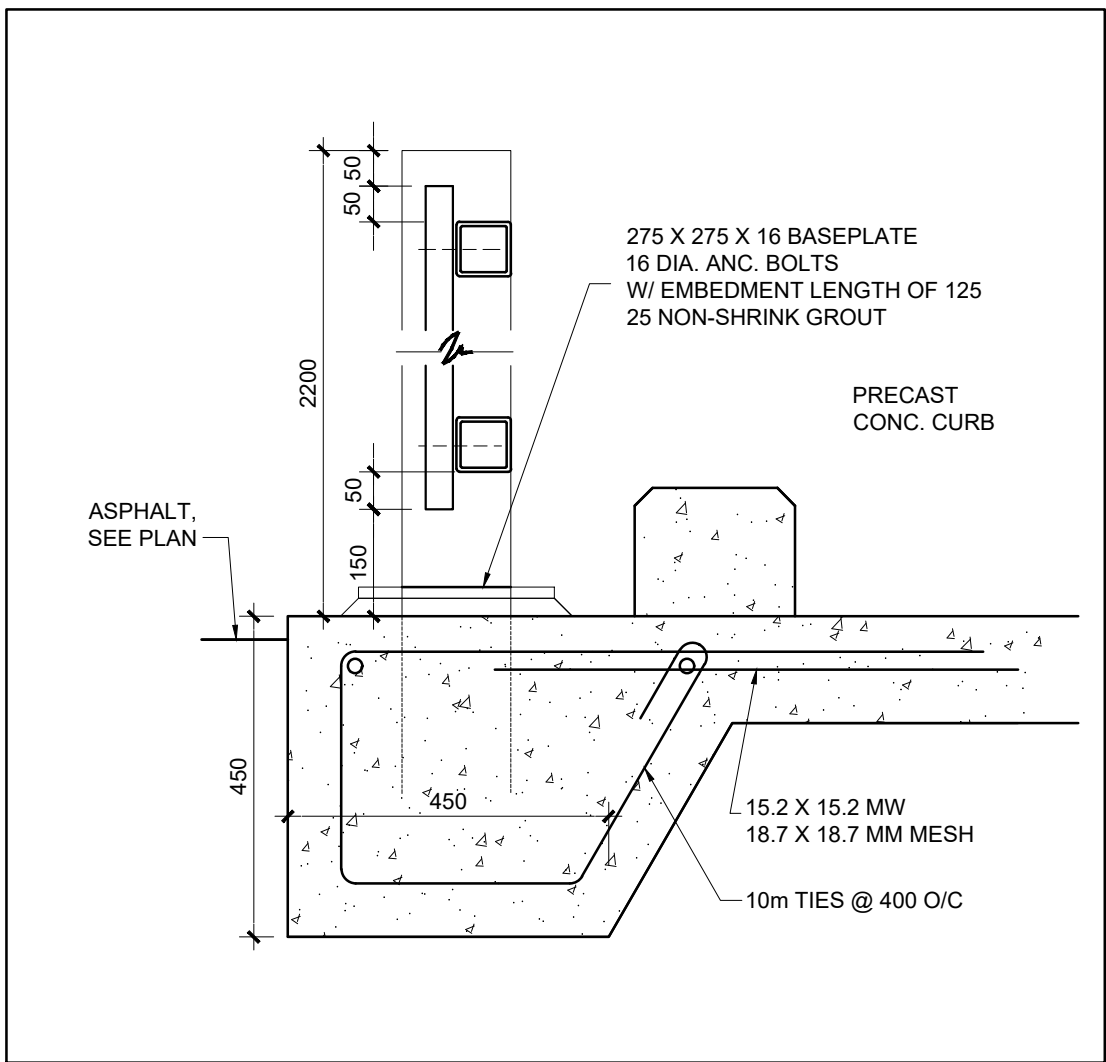
7 PLAN DETAIL
A-002 SCALE 1:10



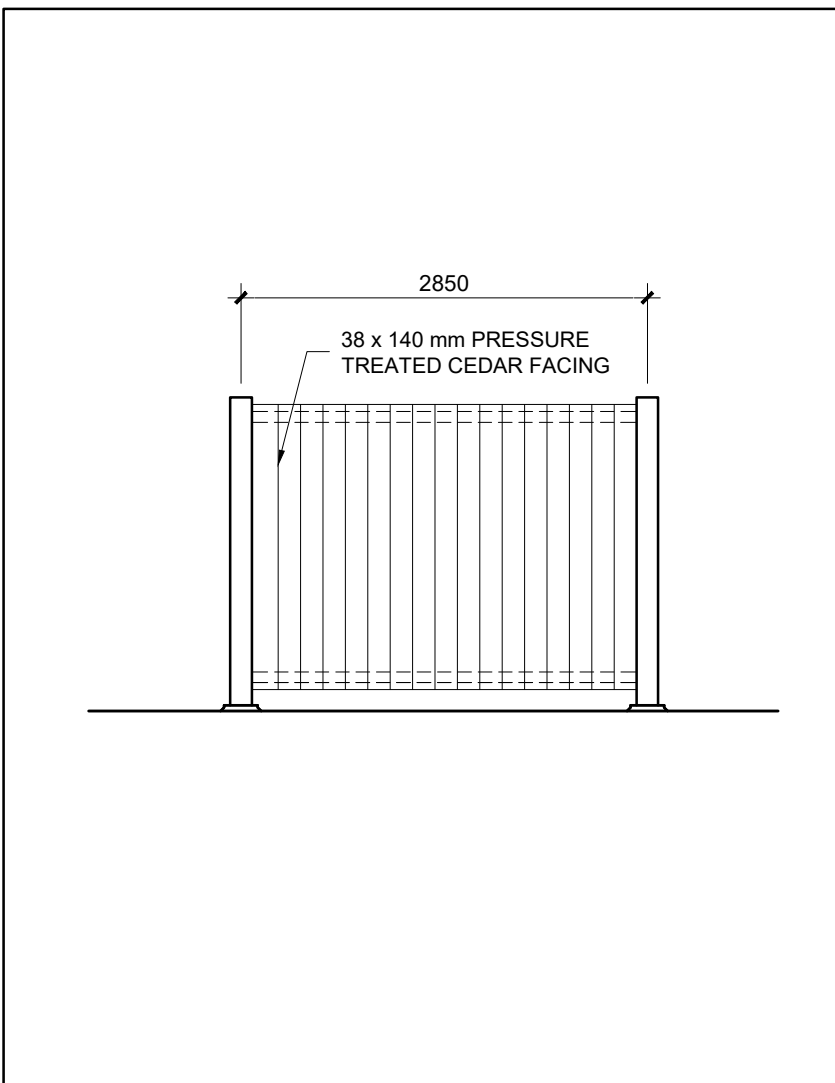
6 BOLLARD DETAIL
A-002 SCALE 1:20



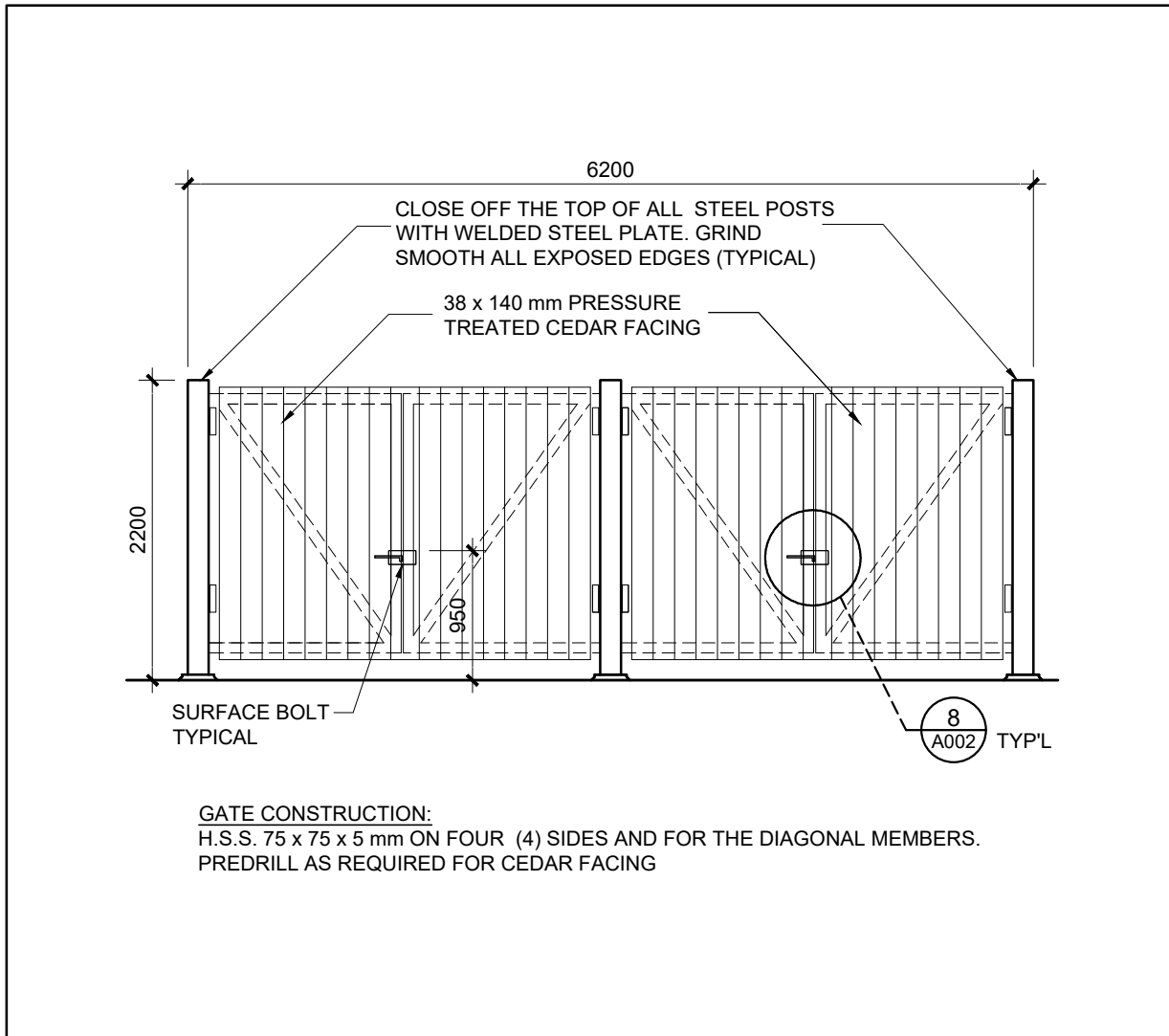
5 SECTION DETAIL
A-002 SCALE 1:10



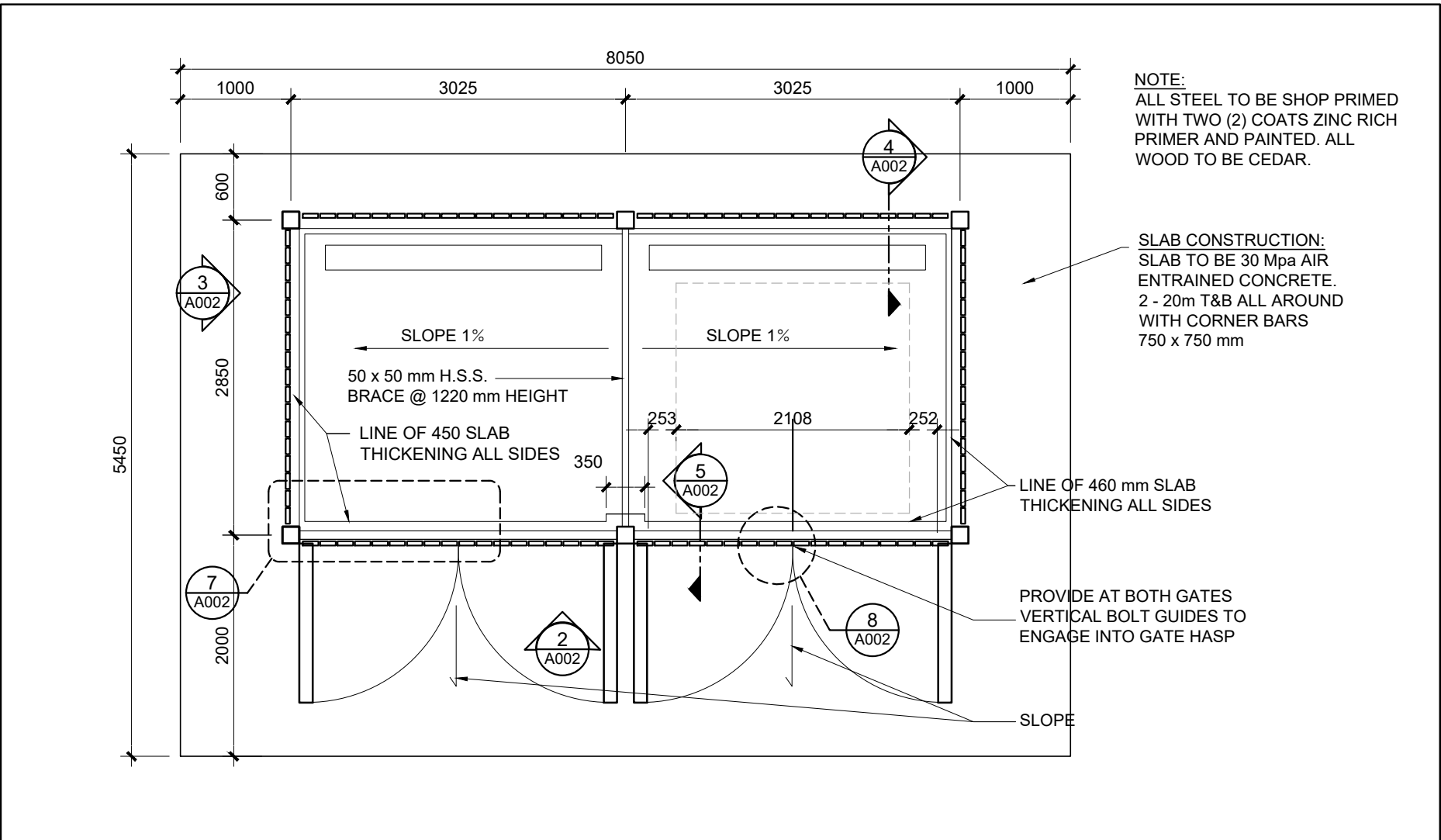
4 SECTION DETAIL
A-002 SCALE 1:10



3 GARBAGE ENCLOSURE SIDE ELEVATION
A-002 SCALE 1:50



2 GARBAGE ENCLOSURE ELEVATION
A-002 SCALE 1:50



1 GARBAGE ENCLOSURE PLAN
A-002 SCALE 1:50

4		
3		
2		
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project
PURULATOR DISTRIBUTION KANATA
1400 UPPER CANADA STREET,
KANATA, ONTARIO

construction north
true north
seal
ONTARIO ASSOCIATION OF ARCHITECTS
Professional
NATURAL SCIENCE
LICENCE
6711

drawing title GARBAGE ENCLOSURE DETAILS	scale AS SHOWN	drawn by J. J.
date Jan. 2020	checked by N.R.	project number 19-519
drawing number A-002	revision	

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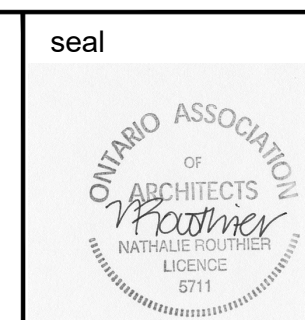
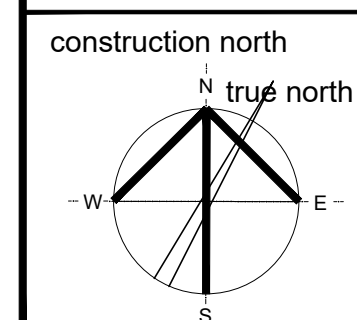


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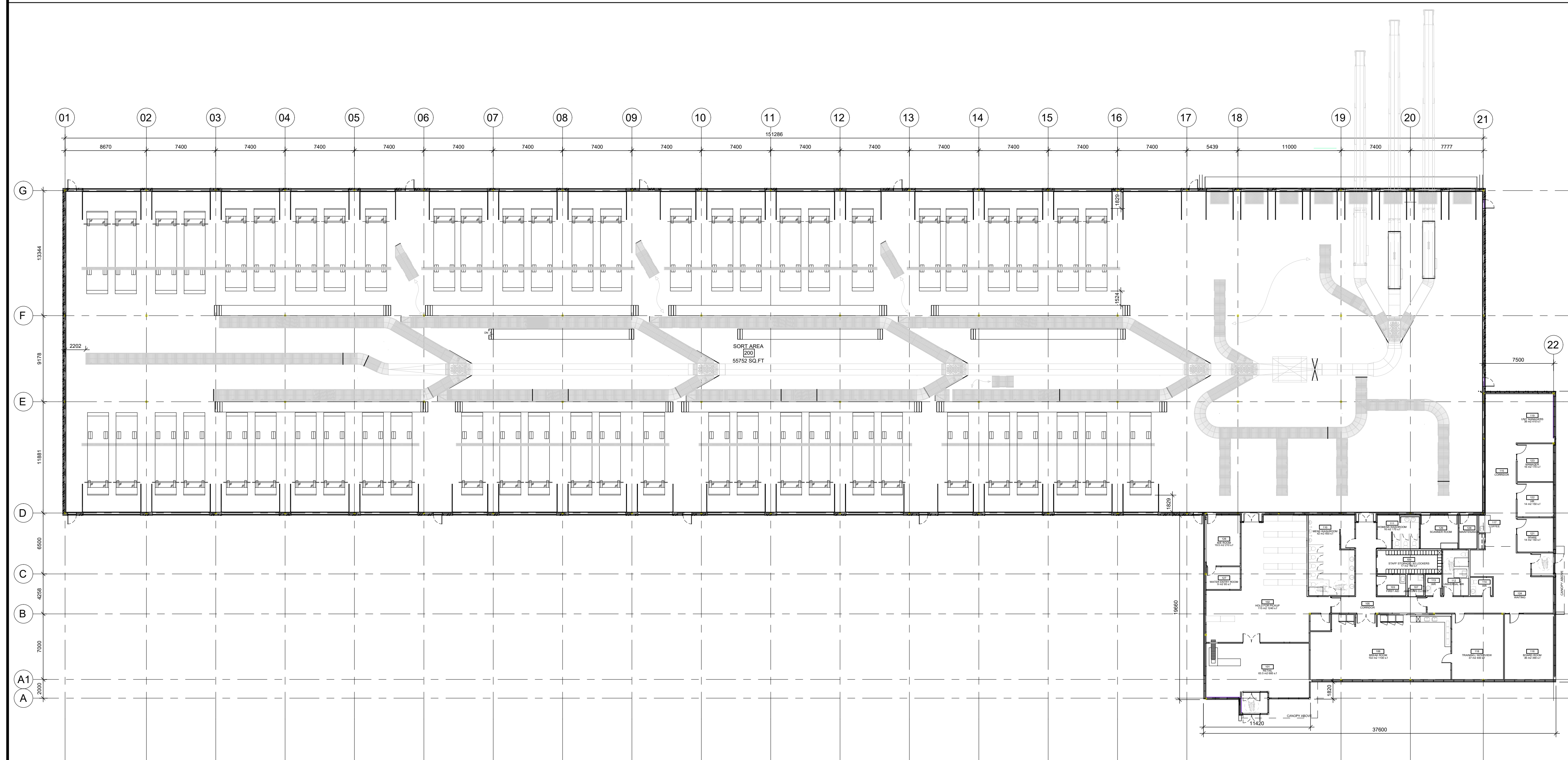
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1400 UPPER CANADA STREET,
KANATA, ONTARIO



	revision
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PLAN NO.: #XXXXXX



1 FLOOR PLAN
A-101 SCALE 1:250

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DISTRIBUTION KANATA**

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construction north

seal

drawing title ELEVATIONS	
scale AS SHOWN	drawn by J. J.
date Jan. 2020	checked by N.R.
project number 19-519	drawing number A-201
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