

144 BENTLEY AVENUE

Rationale supporting a Site Plan Control Application

Planning Rationale + Design
Brief

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1. STUDY LIST

In July of 2020, the Applicant met with the City of Ottawa to discuss development of this site. At that time, the Applicant provided a high-level overview of the concept for the site. The City Planner provided a list of studies to be completed in support of the application. Since that time, the Applicant has been working with their team of consultants and have prepared the requested documents as summarized in Table 1.

Table 1 – Study list

Consultant	Study
Macintosh & Perry	Site Servicing Plan
Macintosh & Perry	Site Servicing Study
Macintosh & Perry	Grade Control and Drainage Plan
Macintosh & Perry	Stormwater Management
Macintosh & Perry	Erosion and Sediment Control Plan
Paterson	Geotechnical Study
Paterson	Phase I ESA
Paterson	Noise Study
The Stirling Group	Planning Rationale / Design Brief/ Public Consultation Strategy
SJL Architect	Site Plan
SJL Architect	Building Elevations
Gino Aiello	Landscape Plan / TCR
AOV	Survey Plan

2. INTRODUCTION

This report has been prepared by The Stirling Group in support of the Site Plan Control Application (New – Standard) for the property located at 144 Bentley in the City of Ottawa. This Rationale will provide an overview of the proposed development and highlight the applicable planning policy. The proposed development aligns with the planned vision for the area and is appropriate and compatible with the surrounding area.

3. Site Context

The proposed development is located at 144 Bentley, in the City of Ottawa. Figure 1 shows the boundary of the 1.422-acre site. The lot is legally described as: PART OF LOT 13 ON PLAN 459792, DESIGNATED AS PART 2 ON PLAN 4R-19428. NEPEAN, NOW CITY OF OTTAWA. The Property Index Number (PIN) is 046280169. The site is currently used for outdoor storage.

Figure 1 – Subject Site



The surrounding approved zoning shown below in Figure 2 include predominately Heavy Industrial, General Industrial, and General Mixed Use. The uses in the area reflect the approved Zoning. The subject site is identified with a star.

Figure 2 – Surrounding Zoning

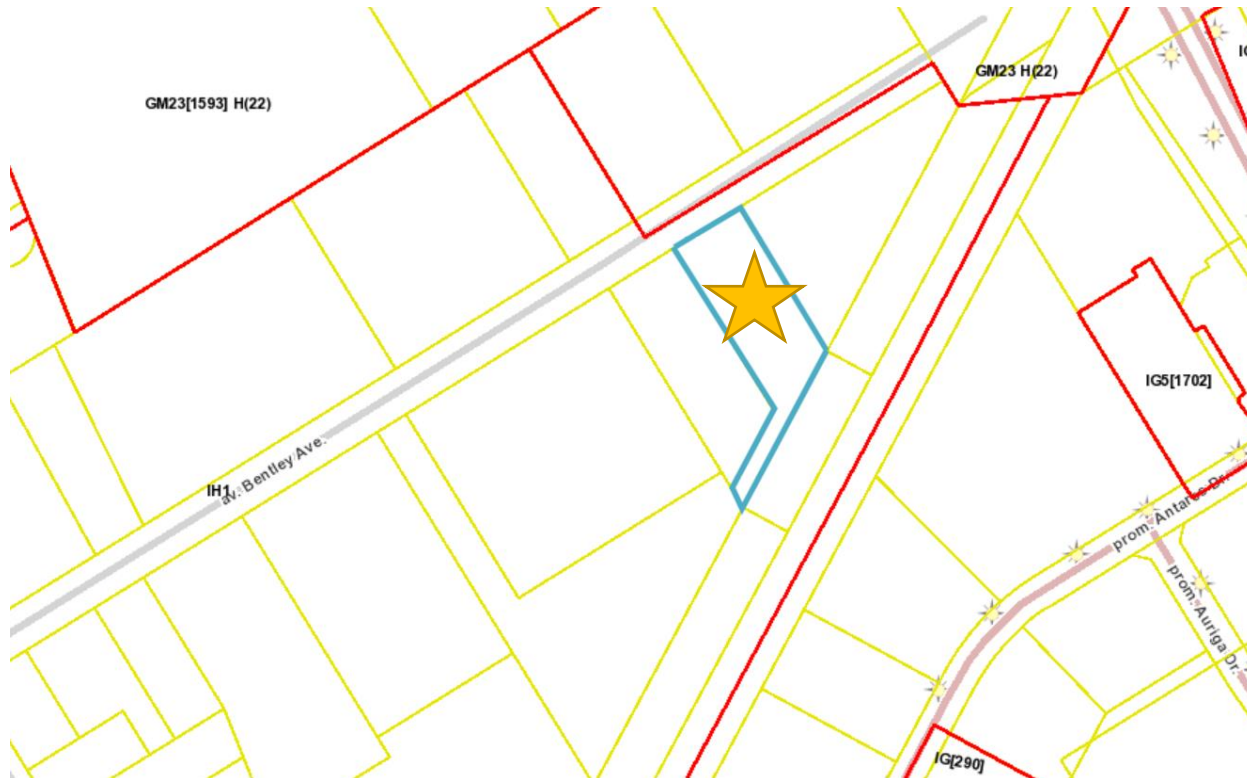


Figure 3 below, shows a street view of the site today while standing on Bentley Avenue and facing the subject site.

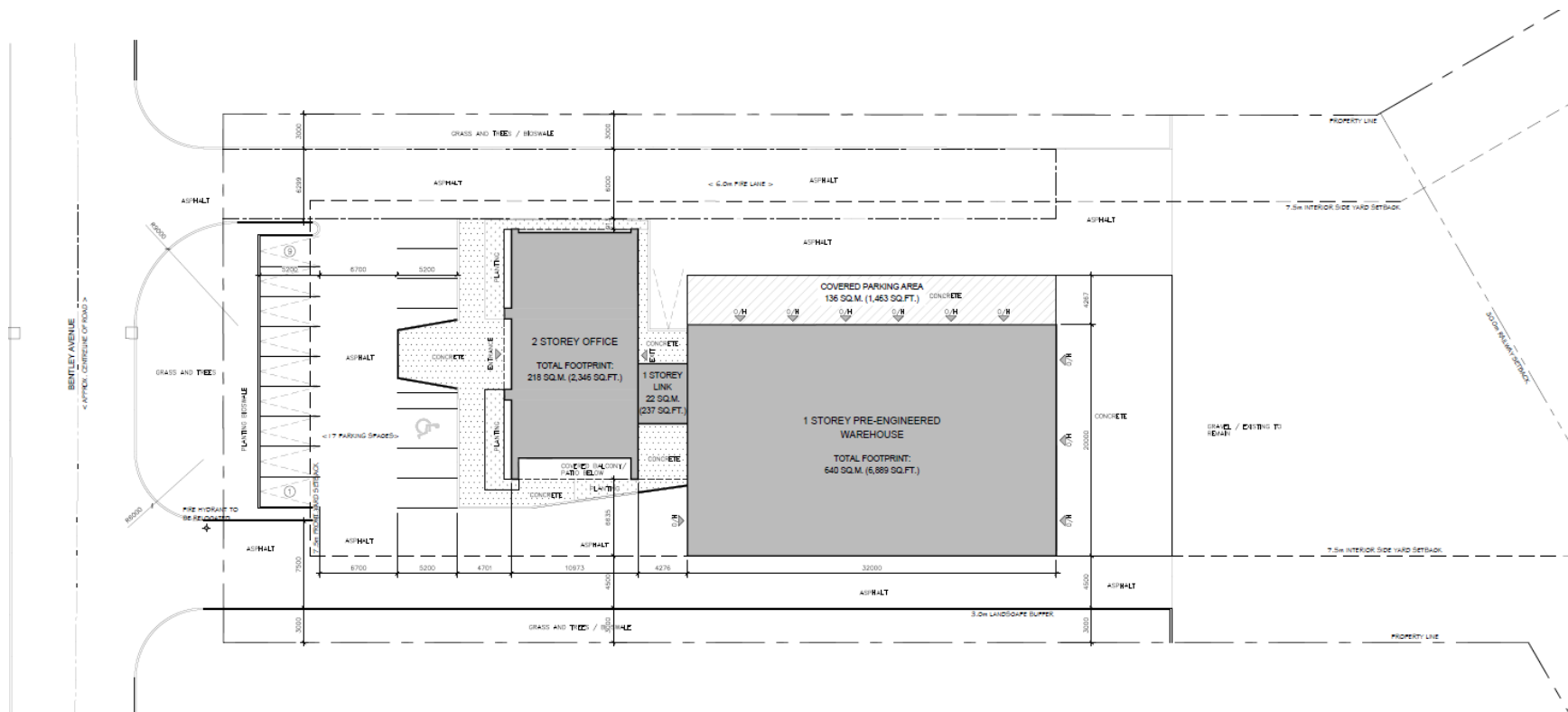
Figure 3 – Current Site



4. Development Overview

Danviwill Holdings Inc. is proposing to build a two storey office building (2,346 square feet / floor) attached to a one storey warehouse (6,889 square feet). The rear of the property would remain as gravel and may be used as outdoor storage. The development would see 17 parking spaces, a one-way street surrounding the building for truck pickups and drop offs, and the addition of landscaping. Figure 4 below shows the proposed site plan.

Figure 4 – Proposed Site Plan



5. Policy Framework

The Provincial Policy Framework

This Provincial Policy Statement (PPS) was issued under section 3 of the *Planning Act* and came into effect May 1, 2020. The purpose of the PPS is to provide policy direction on Ontario's land use vision. It guides the province on how to settle the landscape, create the built environment, and manage the land and resources over the long term. The goal of the PPS is to achieve livable and resilient communities. Land use planning decisions in Ontario must be consistent with the PPS. The proposal for 144 Bentley Avenue is consistent with the policies in the PPS, notably;

Section 1.1 – Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

Section 1.1.1 - Healthy, liveable and safe communities are sustained by: b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs

This proposed development is situated in the middle of an existing Employment area. This proposed industrial development provides for further employment opportunities.

Section 1.6 – Infrastructure and Public Service Facilities

The PPS speaks to how municipalities should manage and develop their infrastructure, this includes sewage, water, stormwater, transportation, waste and energy systems. These important systems should be built efficiently in a cost-effective manner to accommodate projected needs. Sewer and water services should be provided in a sustainable manner that is fiscally responsible and values the health of humans and the environment.

This development will require connections to an existing public sanitary sewer, stormwater infrastructure and water systems. The "Servicing Report" prepared specifically for the development of 144 Bentley Avenue by McIntosh & Perry details how this development can be serviced. There are no concerns with either waste management or energy supply as both are available to this site. The existing road network supports this development.

Section 3.0 – Protecting Public Health and Safety

The future of the province depends on reducing risk and protecting residents from natural or human made hazards. Planning authorities have the responsibility of ensuring that development does not happen in hazardous areas, such as along shorelines, unstable soils, and areas with high potential for wildland fires. There are also man-made and climate related hazards that should be considered in land use planning decisions. Developments should be directed away from such areas to minimize risk.

An Environmental Site Assessment and a Geotechnical Investigation were completed, which verified that developing this site as proposed will not increase the public's cost or risk from natural or human-made hazards.

Section 4.0 – Implementation and Interpretation

The PPS applies to all planning related matters in the Province of Ontario. It requires that all decisions “be consistent with” the policies within the statement (*Section 4.2*). Official Plans shall identify provincial interests and set out appropriate land use designations to ensure that the PPS’s objectives are achieved. Zoning By-laws can provide further provisions to implement the PPS. Planning authorities must keep their planning framework up-to-date with the PPS. The Provincial Policy Statement ensures that lands in Ontario are well managed.

As set out in the following sections of the Planning Rationale, this development conforms to the City of Ottawa’s Official Plan and Zoning Bylaw. These documents are “consistent with” the PPS, therefore this proposed development is also in-line with provincial interests regarding land use planning. The proposal at 144 Bentley Avenue is an appropriate, efficient development that accommodates future and current needs, in a land use pattern that is sensitive to matters outlined in the Provincial Policy Statement.

City of Ottawa Official Plan

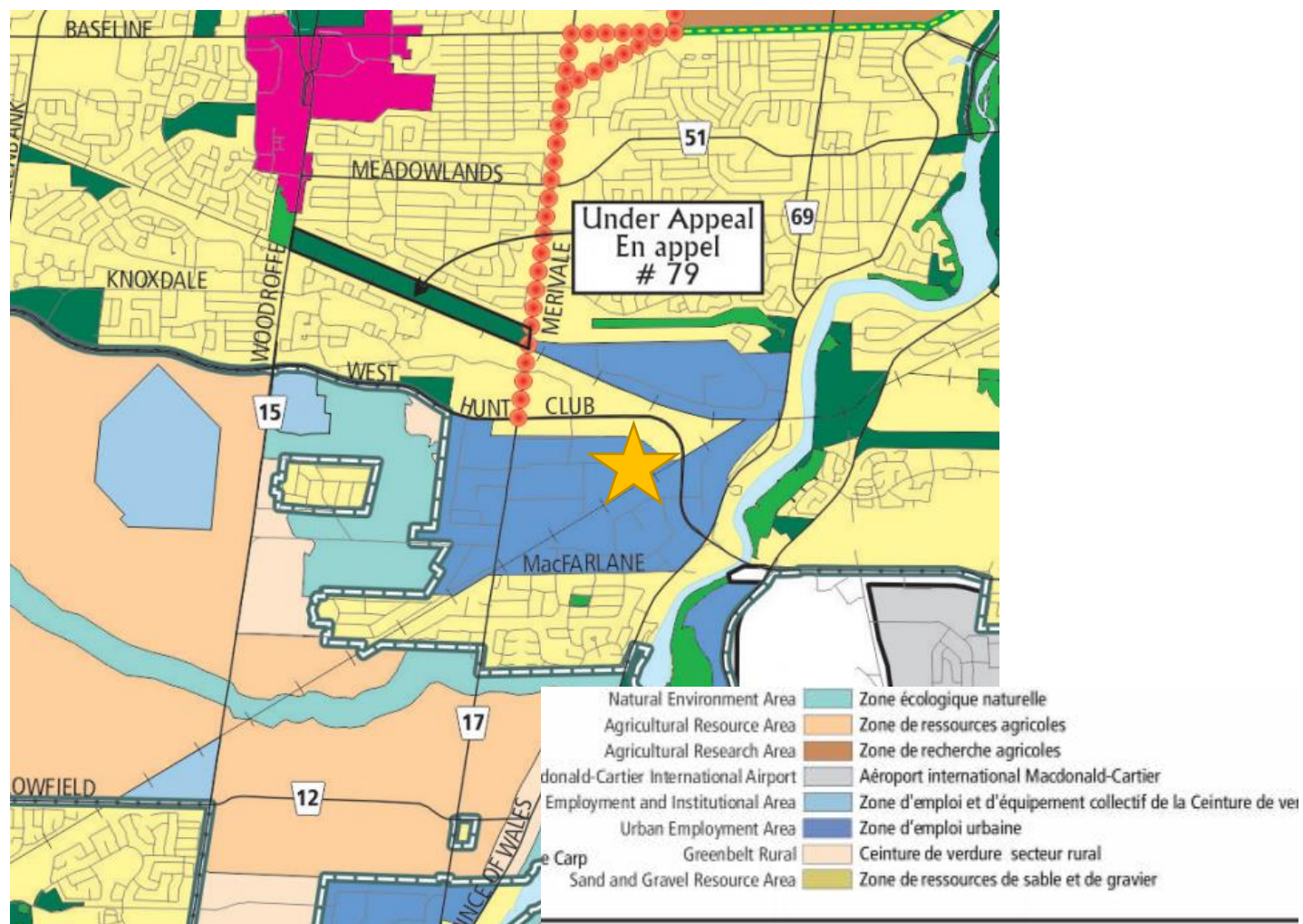
The subject lands are designated “Urban Employment Area” pursuant to the City of Ottawa Official Plan (the “Official Plan”), as illustrated on Figure 5 extracted from City of Ottawa Official Plan, Schedule B, below. The subject site is identified with a star.

As defined in The City of Ottawa Official Plan, “...Urban Employment Areas are designated on Schedule B and are intended to be established clusters of business and economic activity capable of accommodating more than 2,000 jobs and with a board spectrum of job densities. Urban Employment Areas shall be distributed throughout the urban area to help provide access to jobs throughout the city. Established Urban Employment Areas have capacities ranging from 2,000 to 20,000+ jobs. The City shall maintain sufficient land in these Employment Areas to maintain the Employment objectives established in the City Employment Survey. New Urban Employment Areas shall have sufficient land to accommodate a minimum of 2,000 jobs based upon a diversified cluster of business types and economic activity and employment densities. These New Employment areas must also be located so that they have designated truck route access. Some Urban Employment Areas may not be contiguous as a result of natural or human-made barriers, or existing land uses.”

The Official Plan goes on to further state that “...one of the key objectives of this Official Plan is to ensure that, over the long term, sufficient areas of land are reserved primarily for places of business and economic activity. Uses that support this function consist predominantly of offices, manufacturing, warehousing, distribution, research and development facilities and utilities. Maintaining a sufficient supply of land for this range of activities is key to the long-term economic health of the community and its ability to attract and retain new investment. Typically, Urban Employment Areas provide large parcel sizes, reflective of user needs for storage, parking and building floor plate, and they are usually well situated with respect to major roads.”

As discussed in the Development Overview, this proposal would see the development of a two storey office building attached to a one storey warehouse. As such, this proposed development meets the intent of the City’s Official Plan and the Urban Employment Area.

Figure 5 – Official Plan Designation



6. The Zoning Bylaw

The subject property located at 144 Bentley is zoned “IH1” (Heavy Industrial Zone, Exception 1) in the City’s Zoning Bylaw.

The purpose of the IH – Heavy Industrial Zone is to:

1. *permit a wide range of industrial uses, including those which, by their nature, generate noise, fumes, odours, and are hazardous or obnoxious, in accordance with the **Employment Area** designation of the Official Plan or, the **General Urban Area** designation where applicable;*
2. *allow in certain **Employment Areas** or **General Urban Areas**, a variety of complementary uses such as recreational, health and fitness uses and service commercial (e.g. convenience store, personal service business, restaurant, automobile service station and gas bar), occupying small sites as individual occupancies or in groupings as part of a small plaza, to serve the employees of the **Employment** or **General Urban Area**, the general public in the immediate vicinity, and passing traffic;*
3. *prohibit retail uses in areas designated as **Employment Area** but allow limited sample and showroom space that is secondary and subordinate to the primary use of buildings for the manufacturing or warehousing of the product; and*
4. *provide development standards that would ensure that the industrial uses would not impact on the adjacent non-industrial areas*

The ‘Heavy Industrial’ Zone, as described in the Zoning Bylaw above, permits a variety of uses, shown below. Office, warehouse and storage yard are all permitted uses. The special exception zone 1 adds additional permitted uses that are not relevant to this proposed development.

In the IH Zone:

Permitted Uses

(1) The following uses are permitted subject to:

- (a) the provisions of subsections 201(3) to (5);
 - animal care establishment (By-law 2015-190)
 - animal hospital
 - automobile body shop
 - automobile service station
 - broadcasting studio
 - Cannabis Production Facility, contained within a building that is not a greenhouse. (By-law 2019-222)
 - catering establishment
 - crematorium
 - drive-through facility
 - emergency service
 - garden nursery
 - heavy equipment and vehicle sales, rental and servicing
 - heavy industrial uses
 - kennel, *see Part 3, Section 84*
 - leaf and yard waste composting facility
 - light industrial uses
 - medical marihuana production facility (By-law 2014-74) (Subject to By-law 2019-222)*
 - office
 - parking garage
 - parking lot
 - personal brewing facility (By-law 2019-41)
 - printing plant
 - production studio
 - research and development centre
 - service and repair shop
 - storage yard
 - technology industry
 - training centre
 - truck transport terminal
 - warehouse
 - waste processing and transfer facility (By-law 2014-289)

7. Design Brief

The subject site located on 144 Bentley Avenue is surrounded by similar, compatible uses that reflect the Zoning in place.



To illustrate the views of the entire block from two perspectives, please see the below images that reference the location numbers identified in the above photo. As seen, the site is nearly completely flat and grading or grade changes will not be an issue.

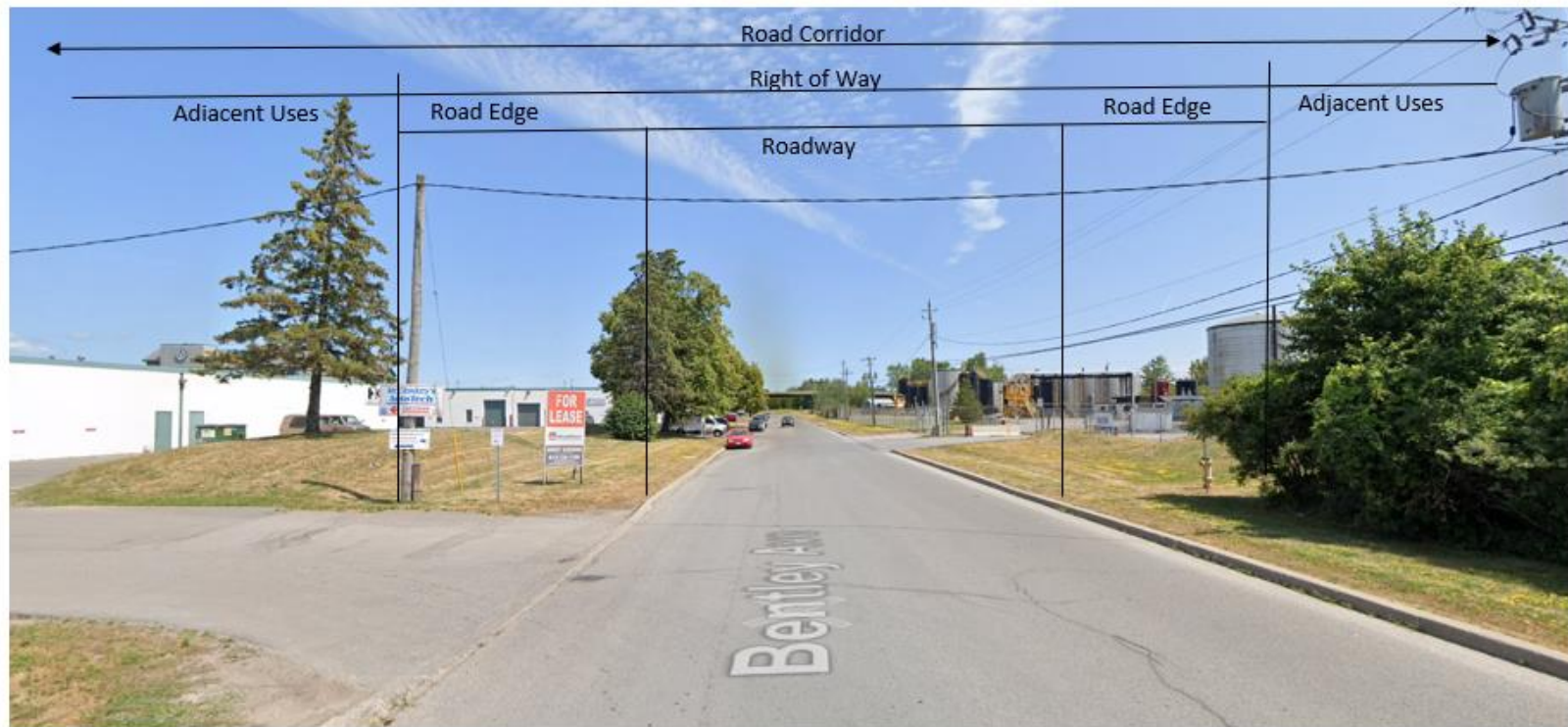
1. View from the Northeast corner of the property



2. View from the Northwest corner of the property



Below please see an image of the Streetscape existing on Bentley Avenue today. Cross sections are labelled which illustrate the street design and right of way. As you'll see, no sidewalks or bicycle lanes exist on Bentley Avenue.



As seen in the below photos, the proposed building is compatible with the existing land uses and maintains the existing streetscape on Bentley Avenue. This below rendering is an aerial view seen from Bentley Avenue.



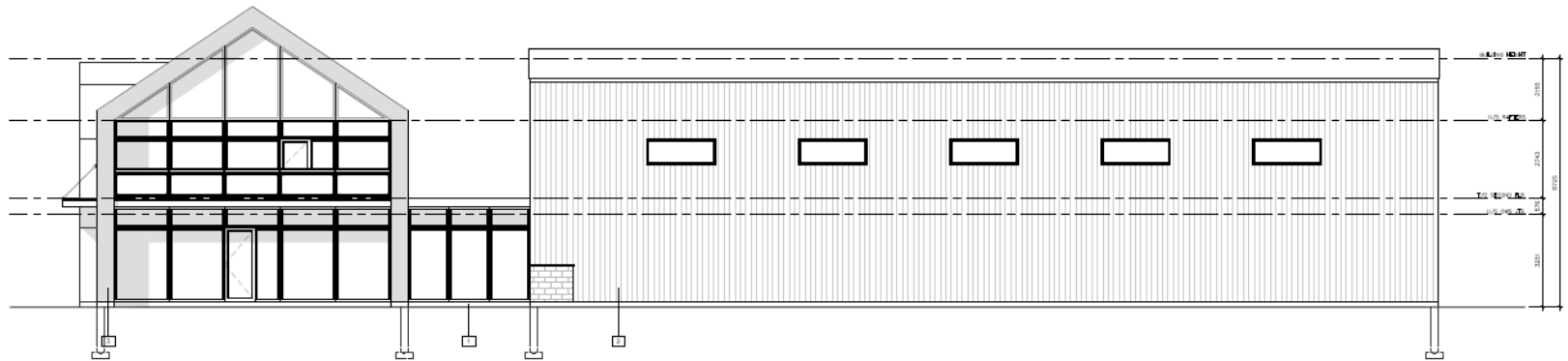
This is an aerial view from the rear of the building and looking at the proposed development from the existing railway tracks. As you can see, Bentley Avenue is comprised of like buildings and industrial uses. This proposed building fits the character and context of Bentley Avenue.



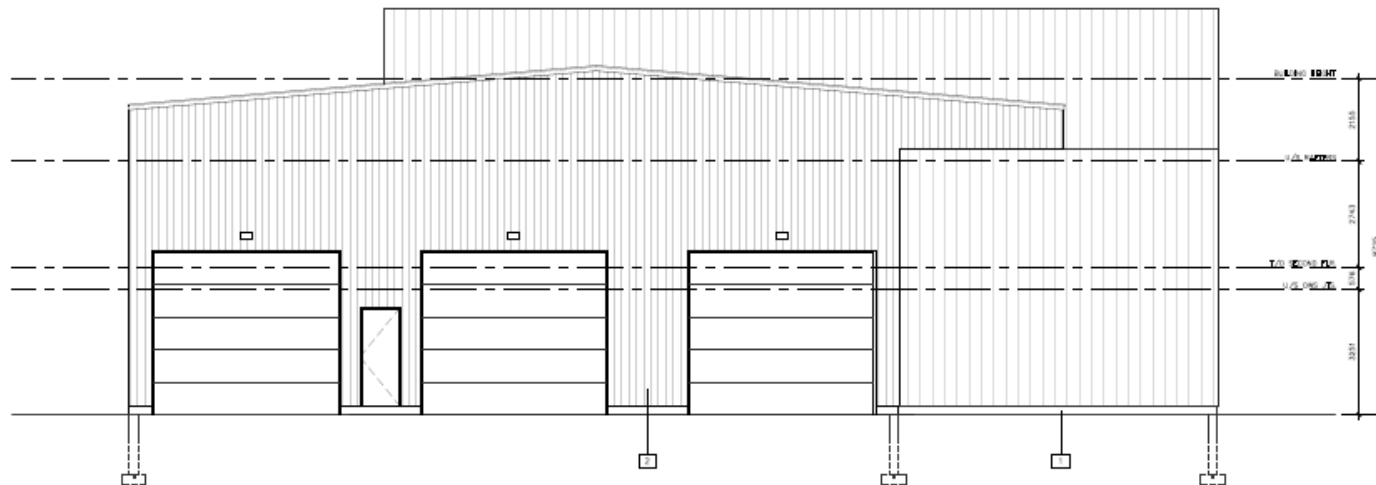
North Elevation



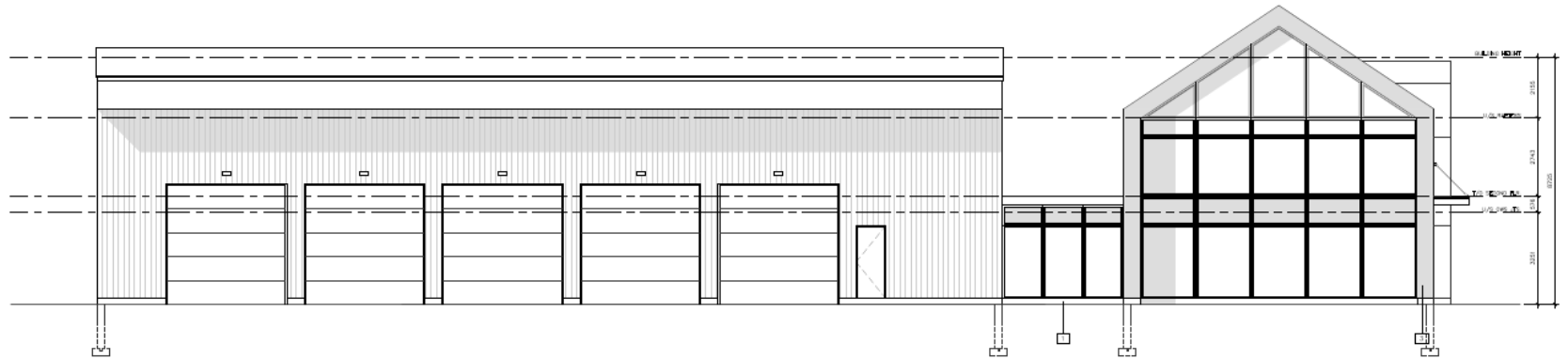
West Elevation



South Elevation

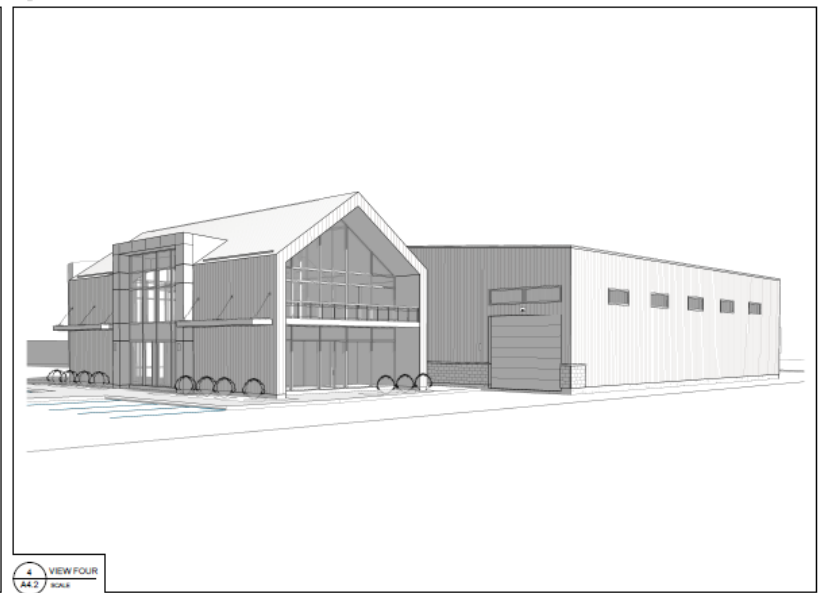
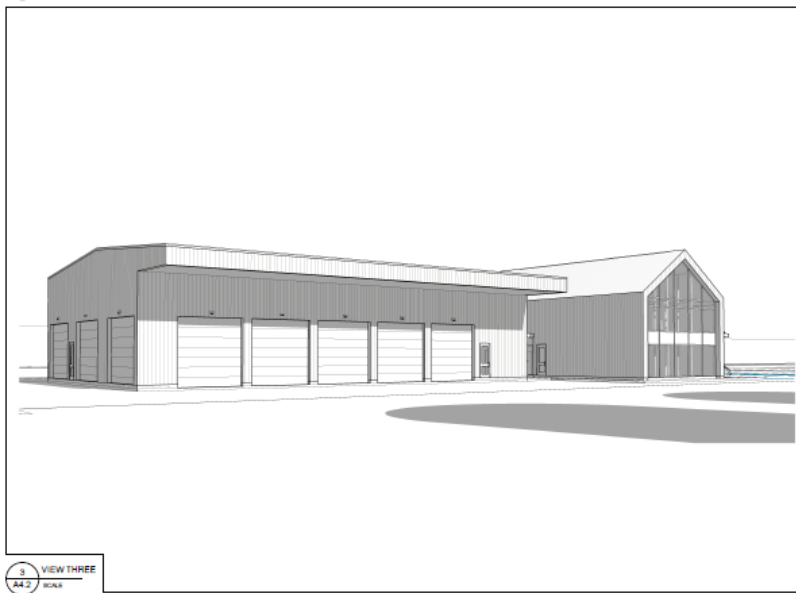
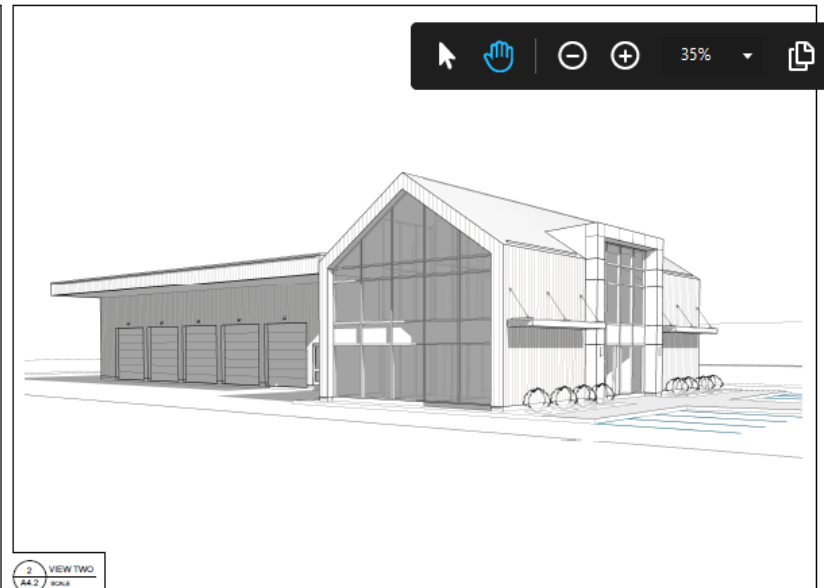


East Elevation

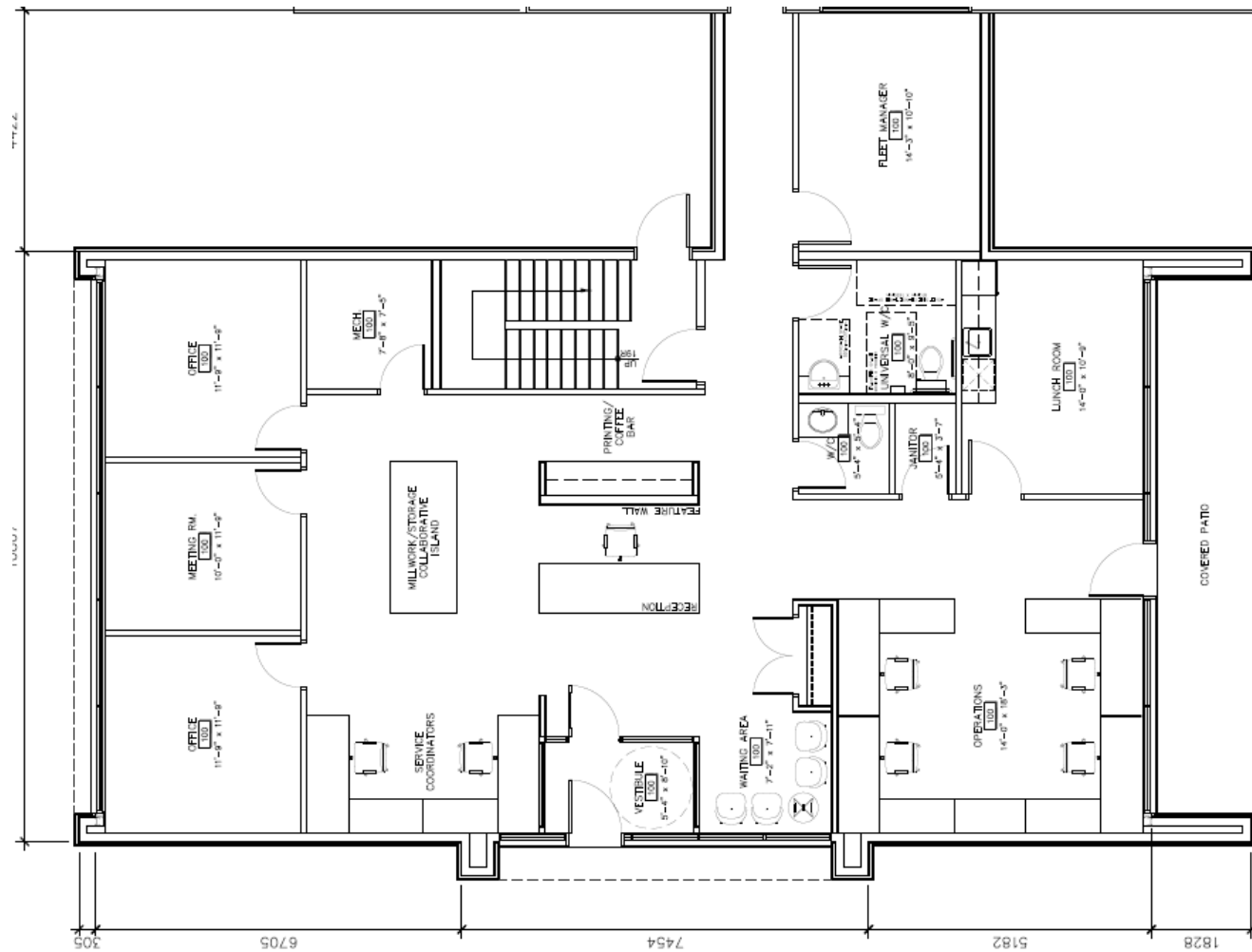


EXTERIOR FINISH LEGEND

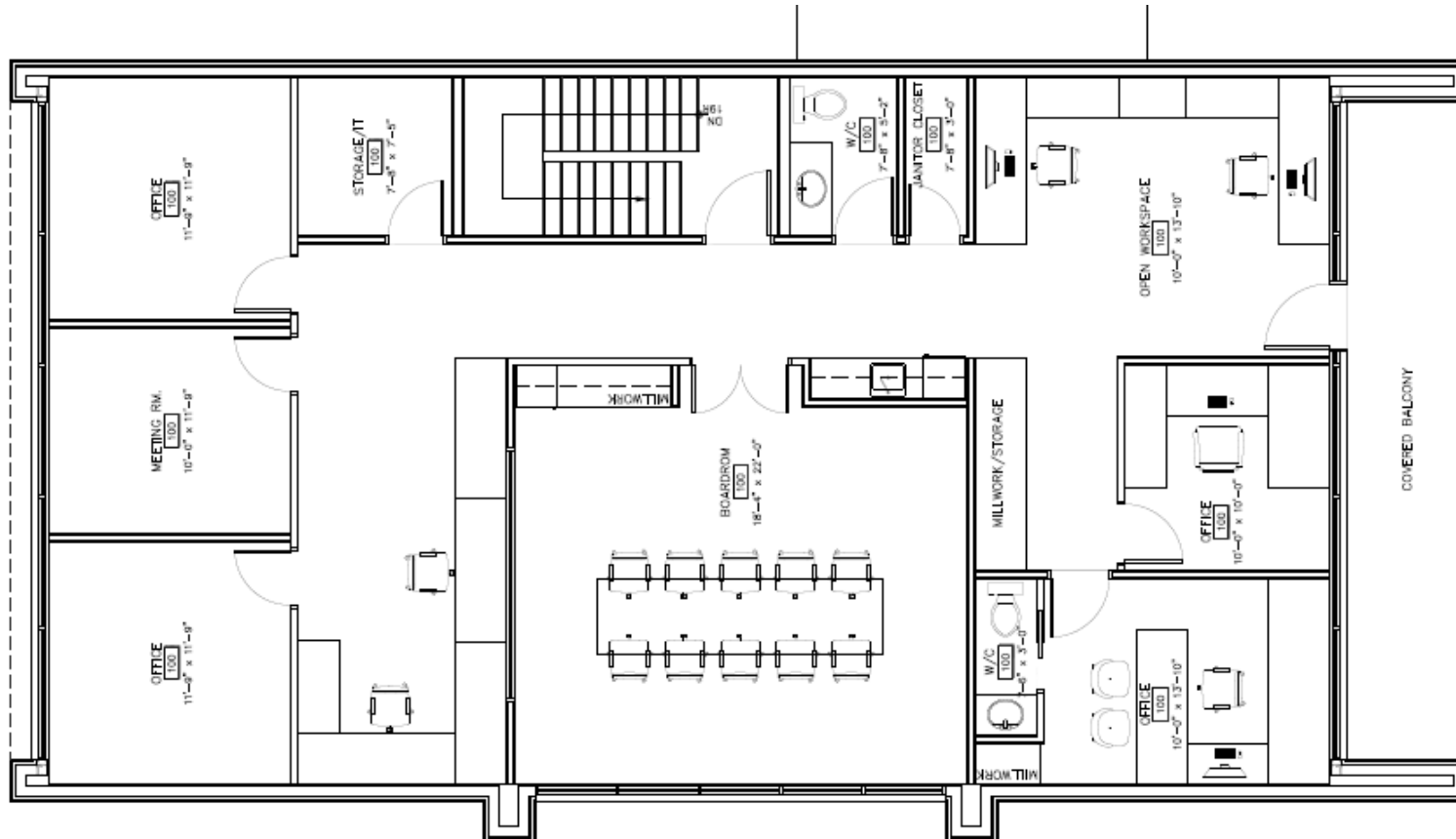
- 1 CEMENT PAGING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
- 2 VERTICAL SIDING – COLOUR & PROFILE TBD
- 3 ACM PANEL – COLOUR & PROFILE TBD
- 4 STONE VENEER – PERMACON
- 5 3" PRECAST CONCRETE SILL
- 6 WALL SCONCE
- 7 ARCHITECTURAL CANOPIES C/W CABLES



Below is the proposed floor plan of the first floor of the 'office' component. You can enter the warehouse portion of the building from this first floor.



Below is the proposed second floor of the 'office' component.



8. Public Consultation Strategy

Included as part of the approvals process is an overview of the public consultation process to ensure the development process is transparent and informative for residents in the community, and the larger public.

An initial Pre-Application Consultation meeting took place on July 2, 2020 with the following City staff in attendance:

- Colette Gorni – Planner, City of Ottawa
- Josiane Gervais – Project Manager (Transportation), City of Ottawa
- Santhosh Kuruvilla – Project Manager (Infrastructure), City of Ottawa
- Randolph Wang – Planner (Urban Design), City of Ottawa

After the filing of the Site Plan Control Application, the following public consultation is planned:

- A meeting with the Ward Councillor to introduce the project
- An email to the local community association outlining the project
- Distribution of a notice to the surrounding properties outlining the project

9. Conclusion

Based on a thorough review and our understanding of the proposed development and the applicable policy, it is our opinion that the proposed development represents good planning and is in the public interest for the following reasons:

The proposed development is consistent with the Provincial Policy Statement (PPS) by providing a greater range of services and employment to the surrounding Community

The proposed development is consistent with the City of Ottawa Official Plan

The proposed development conforms to the City's Zoning Bylaw

In our opinion, the proposed development achieves the objectives of good planning principles and is in the public interest.

Sincerely,

Jack Stirling

Jack Stirling
The Stirling Group

Alison Stirling

Alison Stirling
The Stirling Group