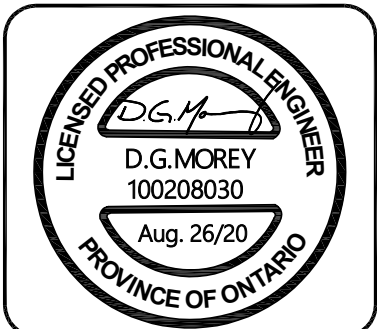


- NOTES:**
- All dimensions and elevations are in metres, unless otherwise indicated. Do not scale drawing.
 - TBM = Top of existing drilled well, as shown/described on drawing, assumed Geodetic elevation 123.85 metres. Geodetic elevations shown on drawing are derived from the Can-Net VRS Real-Time GNSS network (CGVD2013) at the time of the fieldwork. Morey Associates Ltd. accepts no responsibility for any third party use of the above mentioned TBM.
 - Property boundary information shown on drawing is from portion of legal survey plan titled "Plan 4R-16969", land registry dated July 26, 2001, prepared by L. Sury OLS, provided to us by client. The location of the proposed coach house shown on the drawing is based on site plan drawing prepared by and provided to us by client by email dated August 21, 2020. The size of the proposed coach house shown on drawing is from coach house plans, prepared and provided to us by client by email dated August 14, 2020. The original topography/ ground elevations, structure locations and existing site features shown on this plan are supplied for design and approval purposes only and assumed to be accurate. It shall be the responsibility of the contractor to verify the accuracy of all information obtained from plans for construction purposes. This drawing should not be used at time of construction to locate the proposed building at the site.
 - This drawing is not a legal survey plan. The drawing is not a site control plan. This drawing is not a sewage system design. This drawing is not a landscape plan.
 - The intent of this grading plan drawing is to show surface water drainage directed away from the proposed coach house. The grading plan drawing shows surface water drainage directed away from the proposed coach house and as such no surface water ponding should occur adjacent to the coach house during typical rain events, however, surface water ponding may occur at the subject site out beyond the coach house.
 - All dimensions to be verified on site by contractor prior to construction.
 - Boundary information and dimensions shown on this drawing have been provided to us or derived from information provided to us by others. As such Morey Associates Ltd. should be contacted/retained if dimensions verified on site by contractor differ from this drawing as this may require design changes.
 - Design and location of all utilities, such as but not limited to, hydro wires, telephone wires, cable wires, gas lines, underground services, etc., and easements are within the scope of this design drawing. Contractor is responsible for location and protection of all existing and proposed utilities and easements.
 - Client is responsible for acquiring all necessary permits. This drawing is not for construction until all necessary permits have been acquired.
 - Top of floor slab (TOF) and underside of footing (USF) elevations for proposed coach house is as shown on drawing and is based on our interpretation of the above mentioned building plans indicating a USF level a minimum 1.52 metres below finished grade adjacent to coach house and an assumed minimum 0.2 metre difference between finished grade adjacent to coach house and top of floor slab. No top of foundation elevation exists since building constructed using ICF to underside of trusses/rafters.
 - The underside of footing elevation and finished grade at the proposed building have been set based on the information available and may not have accounted for actual groundwater and/or soil/bedrock conditions at the proposed building location and should be verified as acceptable by a qualified geotechnical engineer upon completion of the excavation. If groundwater and/or evidence of high groundwater level is encountered at or above proposed USF elevation at time of construction raising the proposed USF elevation may be required. Where less than 1.5 metres of earth cover above the USF level is provided, rigid insulation in combination with earth cover may be required for footing frost protection purposes.
 - Finished grade to slope downwards and away from proposed building everywhere, whether or not indicated on this drawing. Contractor to ensure grading around existing drilled well directs surface water away from drilled well. Contractor to ensure well casing above grade meets O.Reg 903 (which could result in the requirement to extend the well casing).
 - Maximum allowable landscape (overburden) slope on site is 3H:1V and 2.5H:1V for swale side slopes. Finished grade adjacent to proposed building to slope downwards and away from proposed building at all sides at a minimum of 2% and a maximum of 7% out beyond building a minimum 0.6 metres. Beyond 0.6 metres the finished grade slope downwards and away from proposed building may be increased up to 3H:1V.
 - The proposed grades have been set for subject site grading and drainage only within the general area adjacent to the proposed building. All grading and drainage control beyond the subject site property boundaries and within the City of Ottawa roadway right-of-way is outside the scope of this grading plan and is the responsibility of the property owners and the City of Ottawa, respectively.
 - No excess drainage, during and after construction should be directed onto the neighbours' properties and no alteration to existing grade and drainage pattern on or beyond property lines is to take place.
 - Exact eave/drainage downspout locations are to be determined at time of construction by contractor. Contractor is to ensure eave/drainage drainage outletting at downspouts is not directed onto neighbouring properties. Contractor to ensure that proposed eave/drainage and downspouts are adequate to convey the proposed building roof drainage.
 - This drawing has been prepared for the exclusive use of Mr. Colin Hale for the purposes of obtaining a City of Ottawa building permit. This drawing has not been prepared for the purposes of contractors bidding on the construction of the proposed grading and drainage works. Contractors bidding on or undertaking the grading and drainage works should examine the information shown on this drawing, satisfy themselves as to the adequacy of the information for construction, and make their own interpretation of the information shown on the drawing as it affects their construction techniques, schedule, safety, equipment capabilities and costs. See Notes 19 to 22.
 - By use of this drawing for construction of the project, the client/owner confirms that they have reviewed and approved the drawing and the contractor confirms that they have visited the site, familiarized themselves with the local conditions, verified field dimensions and correlated their observations with the requirements of the drawing.
 - This drawing provides a limited illustration of the work to be done to construct the proposed grading and drainage works. Morey Associates Ltd. is not responsible for the means, methods, techniques, sequences and/or procedures used to carry out the work, or the safety aspects of construction, and nothing on this drawing expressed or implied changes this condition. Contractor shall determine all conditions at the site and shall be responsible for knowing how they affect the work.
 - The engineer waives any and all responsibility and liability for problems which arise from failure to follow this plan, specifications and the design intent they convey, or for problems which arise from others' failure to obtain and/or follow the engineer's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.
 - Any changes to this design/drawing must be verified and approved by Morey Associates Ltd. If any changes to this design/drawing are made without obtaining Morey Associates Ltd. written consent, the client and/or contractor shall assume full responsibility for the results of such changes and the client and contractor agrees to waive any claim against Morey Associates Ltd. and to release Morey Associates Ltd. from any liability arising directly or indirectly from such unauthorized changes. In addition, the client and contractor agrees, to the fullest extent permitted by law, to indemnify and hold harmless Morey Associates Ltd. from any damages, liabilities or cost, including reasonable attorney's fees and cost of defence, arising from such unauthorized changes.

LEGEND

+99.99	EXISTING SPOT ELEVATION	→	PROPOSED DRAINAGE SLOPE
99.99	PROPOSED FINISHED GRADE ELEVATION	~	APPROXIMATE EXISTING DRAINAGE PATTERN TO REMAIN
	PROPOSED LANDSCAPE SLOPE		

SPECIAL NOTE
The notes on this drawing form an integral part of this grading plan and should be read by the user.



DRAWING			
GRADING PLAN			
REV.	DRAWN BY	DATE	DESCRIPTION
LOCATION			
120 WILBERT COX DRIVE, CARP WEST CARLETON-MARCH WARD CITY OF OTTAWA, ONTARIO			

PROJECT				
PROPOSED COACH HOUSE				
CLIENT				
MR. COLIN HALE				
DATE	DRAWING No.	DRAWN BY	SCALE	FILE NO.
August 14, 2020	1 of 1	DGM	1:600	020164



MOREY ASSOCIATES LTD.
CONSULTING ENGINEERS

2672 HWY. 43, PO BOX 184 KEMPTVILLE, ONTARIO K0G 1J0	T: 613.215.0605 F: 613.258.0605 info@moreyassociates.com
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