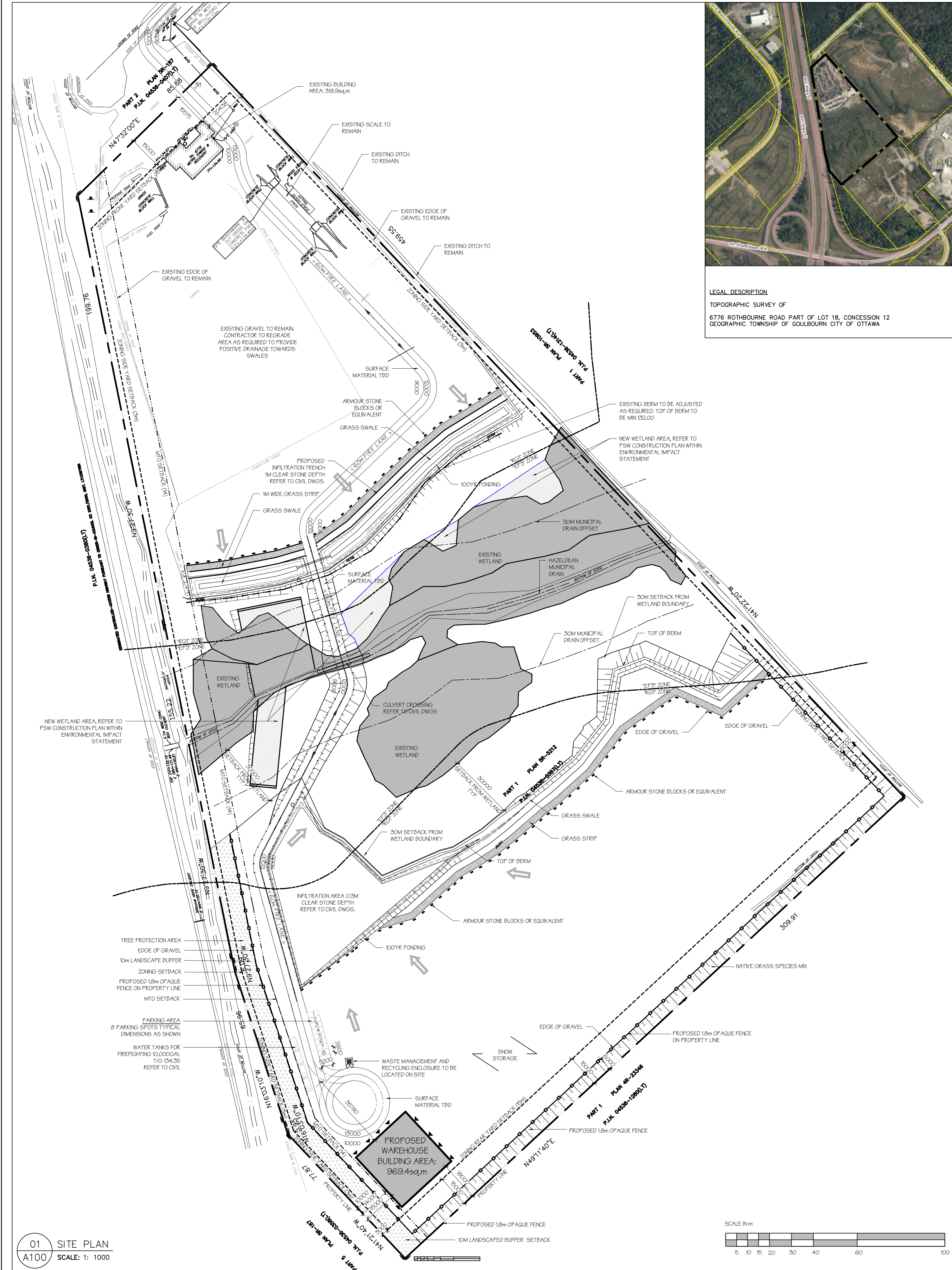
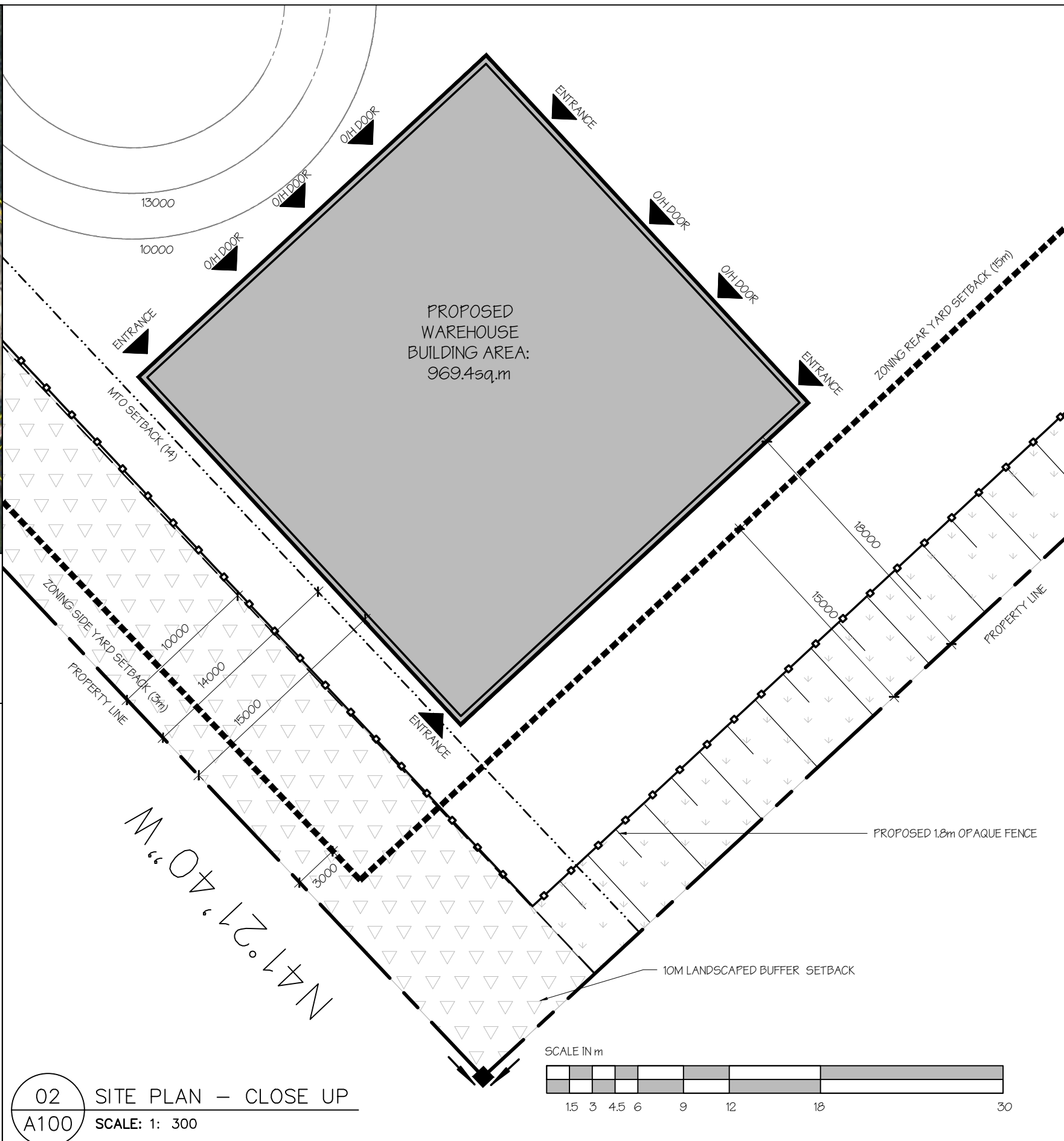


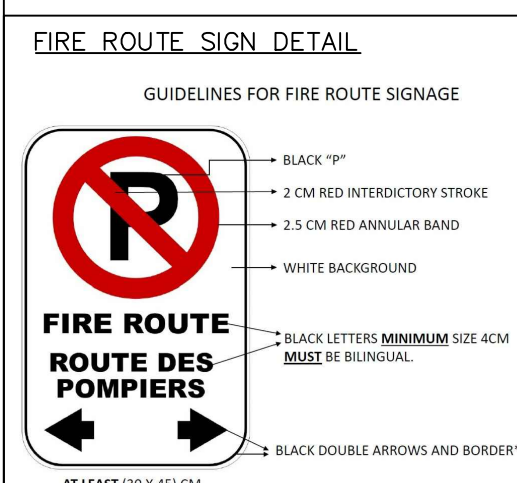


LEGAL DESCRIPTION
TOPOGRAPHIC SURVEY OF
6776 ROTHBOURNE ROAD PART OF LOT 18, CONCESSION 12
GEOGRAPHIC TOWNSHIP OF COULBOURN CITY OF OTTAWA



02 SITE PLAN - CLOSE UP
A100 SCALE: 1: 300

6776 Rothbourne Rd - Ontario Building Data Matrix Part 3				OBC Reference	
Item	Project Description:	☒ New ☐ Addition ☐ Alteration	☐ Part 11 11.1 to 11.4	☒ Part 3 1.1.2. [A]	☐ Part 9 1.1.2. [A]&9.10.1.3.
1	Change of Use			1.1.2. [A]	
2	Major Occupancy (s) Group "F2" Warehouse			3.1.2.1. (1)	9.10.2.
3	Building Area (m²) Existing 0 New 969.4m² Total 969.4m²			1.4.1.2. [A]	1.1.1.2. [A]
4	Gross Area (m²) Existing 0 New 969.4m² Total 969.4m²			1.4.1.2. [A]	1.1.1.2. [A]
5	Number of Storeys Above Grade 1 Below Grade 0			1.4.1.2. [A] & 3.2.1.1.	1.1.1.2. [A] & 9.10.4.
6	Height of Building (m) 8.5m			3.2.2.10. & 3.2.5.	9.10.20.
7	Number of Streets/ Fire Fighter Access 1			3.2.2.20. - .83	9.10.2.
8	Building Classification 3.2.2.71. GROUP F2			3.2.2.20. - .83	9.10.8.2.
9	Sprinkler System Proposed ☐ Entire Building ☐ Selected Compartments ☐ Selected Floor Areas ☐ Basement ☐ in lieu of roof rating ☒ Not Required			3.2.1.5. 3.2.2.17. INDEX	INDEX
10	Standpipe Required	☐ Yes ☒ No		3.2.9.	N/A
11	Fire Alarm Required	☐ Yes ☒ No		3.2.4.	9.10.18.
12	Water Service/ Supply is adequate	☒ Yes ☐ No		3.2.5.7.	N/A
13	High Building	☐ Yes ☒ No		3.2.6.	N/A
14	Permitted Construction ☒ Combustible ☒ Non-Combustible Actual Construction ☐ Combustible ☒ Non-Combustible			3.2.2.20. - .83	9.10.6.
15	Mezzanine(s) Area (m²) 0			3.2.1.1. (3)-(8)	9.10.4.1.
16	Occupant load based on 1 st Floor: Occupancy Group "F2" Load 10 Persons	☒ m²/person ☐ Design of building		3.1.1.7.	9.9.1.3.
17	Barrier-free Design	☐ Yes ☒ No (not required)		3.8.	9.5.2.
18	Hazardous Substances	☐ Yes ☒ No		3.3.1.2. & 3.3.1.19	9.10.1.3. (4)
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floors 0 Hours Roof 0 Hours Mezzanine 0 Hours Listed Design No. or Description (SG-2) FRR of Supporting Members Floors 0 Hours Roof 0 Hours Mezzanine 0 Hours Listed Design No. or Description (SG-2)			3.2.2.20. .83 & 3.2.1.4.	9.10.8. 9.10.9.
20	Spatial Separation - Construction of Exterior Walls Wall Area of EBF (m²) North 0 South 0 East 0 West 0	L.D. (m) L/H or H/L Permitted Max % of openings FRR (Hours) Listed Design or Description Construction Comb. NonComb. Cladding Comb. NonComb.		3.2.3. Listed Design or Description Construction Comb. NonComb. Cladding Comb. NonComb.	9.10.14. 9.10.14. 9.10.14. 9.10.14.

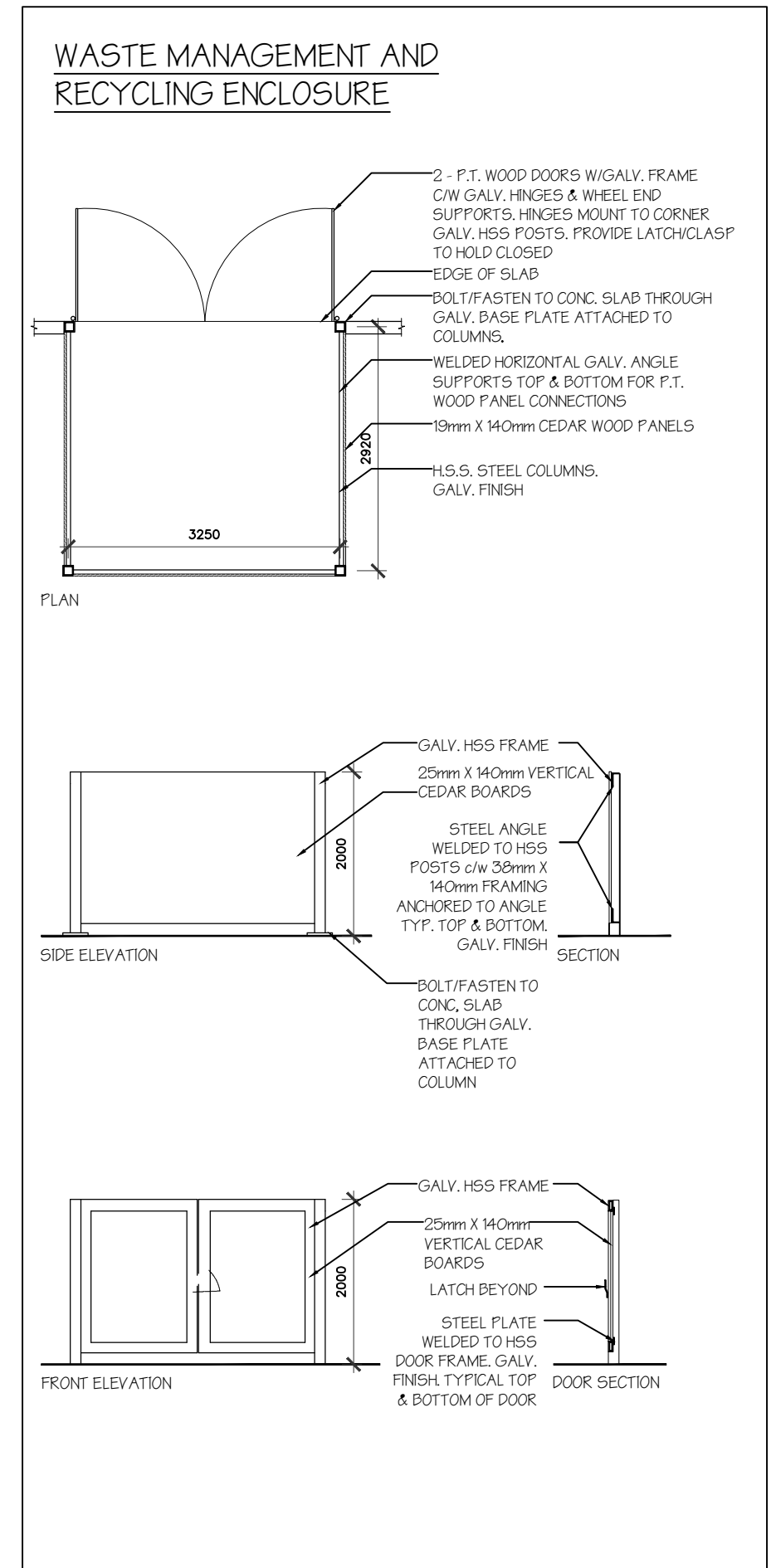


SIGN LEGEND	
SYMBOL	DESCRIPTION
S1	FIRE ROUTE SIGN (AS PER DETAIL) - MIN. 1 SIGN EVERY 25m ALONG FIRE ROUTE

APPROVED ☐ REFUSED ☐

THIS ____ DAY OF _____, 20__

ADAM BROWN, RURAL PLANNING SERVICES
DEVELOPMENT REVIEW WEST
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



ZONING			
EXISTING ZONING	R61 - RURAL GENERAL INDUSTRIAL ZONE		
	REQUIRED	EXISTING BLD.	PROPOSED
MIN. FRONT YARD SETBACK	15m	15.5m	N/A
MIN. REAR YARD SETBACK	15m		18m
MIN. INTERIOR YARD SETBACK	3-8m	20.4m EAST	3m WEST
MAX. BUILDING HEIGHT	15.0m		±8.5m
MIN. LOT AREA	8,000sq.m		100,849sq.m
MIN. LOT WIDTH	60m		158m
MAX. LOT COVERAGE	50%		1.3%

SHEET INDEX:
A100 - SITE PLAN & NOTES
A200 - FLOOR PLAN
A400 - ELEVATIONS
A401 - ELEVATIONS

NOTES:

- ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- NOTIFY PLANNING DEPARTMENT FOR ANY CHANGES OR OMISSIONS PRIOR TO START OF WORK.

CLIENTS:
AUX WEBER & SAM WEBER
OTTAWA, ON
T: 613.222.0109

CIVIL ENGINEER & PLANNER:
MENTOSH PERRY
15 WALGREEN ROAD R.R. 3, CARP,
OTTAWA, ON K0A 1L0
T: 613.905.5803

SURVEYOR:
MENTOSH PERRY
15 WALGREEN ROAD R.R. 3, CARP,
OTTAWA, ON K0A 1L0
T: 613.905.5803

LEGEND

- NATIVE GRASS SPECIES MIX
- TREE PROTECTION AREA
- WETLAND CONSTRUCTION AREA
- WETLAND HABITAT, PER 2109/2017 ASSESSMENT AND MAMP.
- PROPOSED FENCE
- REVISED SETBACKS
- CLAY BERM
- 6m LANDSCAPE BUFFER
- PROPERTY LINE
- EXISTING FENCES
- MTD SETBACK
- DRAINAGE ARROW
- STORMCEPTOR
- 100yr FLOODING ELEVATIONS

SEAL
O. ARCHITECT
S. J. LAWRENCE
JULY 14, 2020

NORTH ARROW
N

08	2020-08-24	ISSUED FOR SPC
07	2020-02-21	ISSUED FOR REVIEW
06	2020-02-19	ISSUED FOR REVIEW
05	2019-08-26	ISSUED FOR SPC
04	2019-07-10	ISSUED FOR REVIEW
03	2019-06-12	ISSUED FOR REVIEW
02	2019-05-27	PRELIMINARY REVIEW
01	2019-04-17	PRELIMINARY REVIEW

No. DATE REVISION

S.J. LAWRENCE
ARCHITECT
INCORPORATED
18 DEAN STREET
SUITE 205
OTTAWA, ONTARIO
K2E 6B7
T: (613) 738-7070
F: (613) 738-7103
sjl@sjlawrence.com

THIS DRAWING IS THE SOLE PROPERTY OF
S.J. LAWRENCE ARCHITECT INCORPORATED
REPRODUCTION IS NOT PERMITTED

PROJECT:
**METRO TOW TRUCK
WAREHOUSE BUILDING**
6776 ROTHBOURNE RD. OTTAWA, ON

SHEET TITLE:
SITE PLAN

DRAWN BY:
A.L.

CHECKED BY:
S.J.L.

PLAT DATE:
2020.02.24

PROJECT DATE:
2019.02.01

JOB NUMBER:
SL-958-22

SCALE:
2020.02.14

SHEET NUMBER:

A100

PLAN #

APPLICATION #