

1 SITE PLAN
SP01 SCALE: 1:75

APPROVED ☒ REFUSED ☐

THIS _13_ DAY of August, 2020

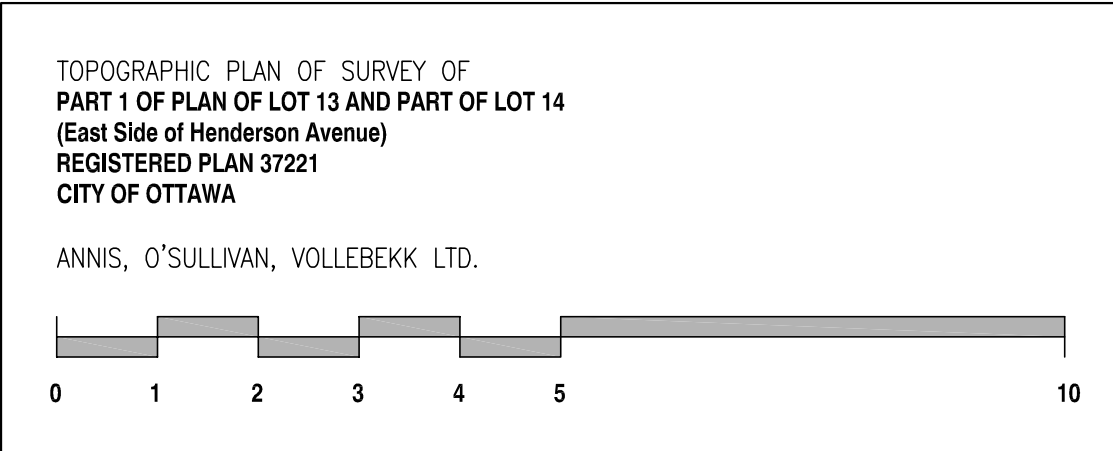
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DEVELOPMENT REVIEW, WEST
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

SITE PLAN SYMBOLS LEGEND	
	BUILDING ENTRANCE
	BUILDING EXIT
	NEW TREE
	TREE TO BE REMOVED
	INTERLOCKING PAVING STONE
	INTERLOCKING STAIR
	ELEVATION MARKER
	UTILITY POLE
	POST & RING BICYCLE RACK

LEGEND
SCALE: NTS



LOCATION PLAN
SCALE: NTS



SURVEY INFO
SCALE: NTS

Statistics and Zoning Information			
Zoning Designation	R4s [480]		
Proposed Use	Apartment Dwelling, Low-Rise		
Number of Units	20 units		
Project Statistics			
	Required	Proposed	Committee of Adjustment Decision D08-02-18/A-00444
Lot Width	15m	21.2m	
Lot Area	450m2	654m2	
Building Height	14.5m	11m	
Front Yard Setback <i>Average of front walls of abutting properties</i>	3.52m	3.52m	
Rear Yard Setback <i>30% of Lot Depth</i>	9.26m	7.15m	To permit a reduced rear yard setback of 7.15m whereas the By-Law requires a minimum setback of 9.26m
Interior Side Yard Setback <i>1.5m within 21m of front lot line, 6m beyond 21m from front lot line</i>	1.5m Within 21m of front lot line 6m other cases	1.5m & 2.13m	To permit a reduced the interior side yard setback to 1.5m on the north side and 2.13m on the south for the entire depth of the property whereas the By-law a minimum side yard setback of 1.5m for the first 21m from the street and 6.0m beyond the first 21m.
Bicycle Parking <i>0.5 spaces/unit</i>	10 spaces	15 spaces	
Vehicle Parking <i>0.5 space/unit beyond 12 units</i>	4 spaces	0 spaces	To permit a decrease in the number of resident parking to 0, whereas the By-law requires 4 spaces.
Visitor Parking <i>0.1 space/unit beyond 12 units</i>	1 space	2 spaces	
Total Amenity Area <i>15m2 per unit for the first 8 units, 6m2 per unit in excess of 8 units.</i>	192m2	170.9m2	To permit a reduced amenity area of 157.4m2 whereas the By-law requires 192m2.
Communal Amenity Area <i>100% of the amenity area for the first 8 units.</i>	120m2	161.9m2	Total communal area does not include bicycle parking area
Landscaped Area	30%	38.8%	
Soft Landscaping	80% (96m2)	88% (105.6m2)	
Permitted Projection - Porch <i>Section 65 (6)(b)</i>	2 meters but no closer than 1m to any lot line	2.56m, within 0.968m to front lot line.	To permit an increased projection of 2.56m into the front yard setback for the two existing porches (0.968m from the lot line), whereas the By-law permits a maximum projection of 2m into a required yard but no closer than 1m from any lot line.
Pathway Width	1.25m	1.92m	To permit an increased pathway width of 1.92m at the front, whereas the By-law permits a maximum width of 1.25m. To permit an increased pathway width of 1.92m at the rear, whereas the By-law permits a maximum width of 1.25m.

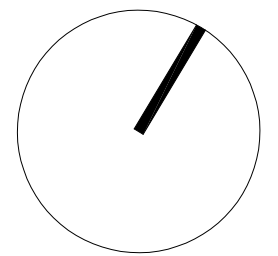
PROJECT STATISTICS
SCALE: NTS

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 - Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.

REVISION RECORD

RE-ISSUED FOR SITE PLAN CONTROL	2020-07-22
RE-ISSUED FOR SITE PLAN CONTROL	2020-07-07
ISSUED FOR BUILDING PERMIT	2020-06-15
ISSUED FOR COORDINATION	2019-12-05
RE-ISSUED FOR SITE PLAN CONTROL	2019-11-20
ISSUED FOR COORDINATION	2019-11-18
ISSUED FOR COORDINATION	2019-07-19
ISSUED FOR COORDINATION	2019-03-05
ISSUED FOR SITE PLAN CONTROL	2018-05-03
ISSUED FOR COORDINATION	2018-04-03
ISSUED FOR COORDINATION	2018-03-29
ISSUED FOR COORDINATION	2018-02-08
ISSUED FOR COORDINATION	2017-12-04
ISSUED FOR COORDINATION	2017-08-30

ISSUE RECORD



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studio

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PROJ	SCALE	DRAWN	REVIEWED
1717	NOTED	LB	RMK

SITE PLAN & STATISTICS

SP-01

D07-12-16-0072
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