



BlueSky Professional Building

PLANNING RATIONALE

11405608 Canada Inc | [N45 ARCHITECTURE Inc.](#) | August 2020

A. Planning Rationale

1.0 Introduction

N45 Architecture Inc. [N45] has been retained by 11405608 Canada Inc. [the Owner] to design a professional office building.

1.1 Location The site is located at 100 Lusk St. and is legally described as Block 1, Registered Plan 4M-1634, City of Ottawa.

2.0 Subject Property and Surrounding Area

2.1 Subject Property

The subject property is a small 0.4 hectare [1acre] parcel of land located in the NW quadrant of Schedule A, Nepean Areas 9 & 10., Prestige Business Park. Lusk is a dead-end street with eight small lots having frontage on Lusk.



Generally, the site is in a triangle bound by Fallowfield Rd. on two frontages [South and East] and O'Keefe Court to the North. The prominent intersection/entrance to this quadrant is where O'Keefe intersects Fallowfield. 100 Lusk is to the west and is a corner lot at the intersection at O'Keefe.



2.2 Surrounding Area/Context

North: Directly to the north is Orchard Estates Country Lot Subdivision composed of single-family homes and further to the north west, Lytle Park, recreational and a proposed multi-phased commercial development.

East: In the easterly direction, across Fallowfield is low rise residential.

South: To the south of Fallowfield is the Citigate Business Park. This development is in its early stages of development with the new headquarters of the Tomlinson Group of Companies and a proposed large 250,000m² light industrial building.

West: To the South west of the site is a new hotel which is located near the dead-end segment of Lusk. Further to the west is the 416/Fallowfield Rd intersection.

3.0 Proposed Development

Bluesky Professional building is a multi-purpose building proposed to attract small professional businesses, such as accountants, lawyers, medical, etc. tenants.

The applicant seeks approval to construct a three-storey building of approximately 1,859m² [20,010 sf], gross area on one block of a plan of subdivision fronting on Lusk St, which is a cul-de-sac.

3.1 Overview

The Permitted floor space index is 2, the proposal is less than 0.5.

The Prestige Business Park in this sector, is currently in the early stages of development. This proposal, Bluesky Professional Centre is modest in size and has been sited to respond to the site entrance on Lusk. The city has also “stubbed” the services to the site at this location. The development of the building design aesthetic has been taken in the context of the limited new development existing and proposed in this “park”.

Our nearest neighbour [located near the end of Lusk St], under construction is the 6 storey Hampton Inn & Suites. The drawings on file indicate that it has an emphasis on the vertical elements, the colouration of the finishes range from light grey to dark gray with an accent of brown [simulated wood].



Hampton Inn

Further to the south, the new Tomlinson Group of Companies head quarters is a 4-storey structure, also clad in light grey/white pre-finished metal paneling with blue/green glass.

Other proposals in the Citigate sector include the 2 storey Myers VW Dealership, clad in the classic VW white metal panels and the new Myers 5 storey Citigate South Corporate Centre [designed by this office] clad in a combination of white and grey metal panels, with accents of simulated wood panels and a blue tint glass.



Myers Professional Office

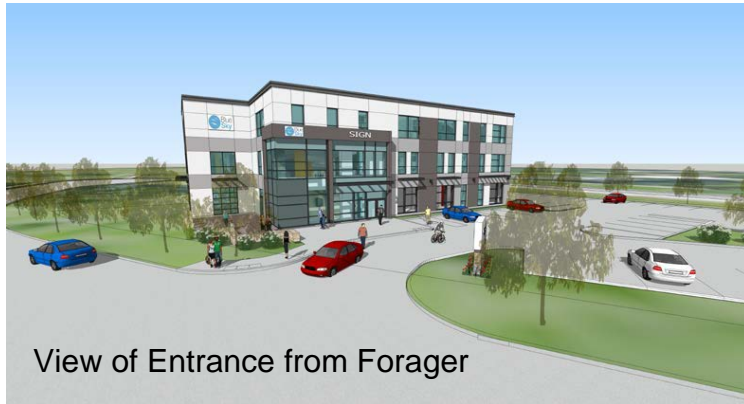
The design aesthetic for our 3 storey Bluesky proposal is reflective of the current built and proposed developments described above. We have collaborated with our client and chosen a palette of natural whites and greys of a sustainable cementitious panel to be reflective of the quiet professional look our client is trying to achieve.

The building's entrance has been emphasized by introducing a two-storey corner glass feature in a dark grey frame. This faces the intersection of Lusk and Forager Streets. The glass will be a high-performance and energy efficient product with a blue/green colouration. Sun control has been added to the lower story in the pedestrian realm to provide shade, colour, and animation at the base of the building. These building features respond to the "low profile prestige" philosophy of the area.



BlueSky view from Forager

As part of the projects philosophy, the development will incorporate numerous sustainable initiatives that will result in LEED or Green Globes objectives. These include high performance glazing, increased insulation, reduction in thermal bridges, heat recovery systems and reduced water consumption.



View of Entrance from Forager

O/H Door at Patio



The approach to the edges of the site along O'Keefe and Lusk is designed to work with and compliment the City's planting, and with a focus on the intersection of the two streets. Here we have also created a low stone wall and rock garden/low berm to embellish the corner. From the parking curb to the curb at the street there is 12 m of enhanced green space from the parking lot to the municipal curb.



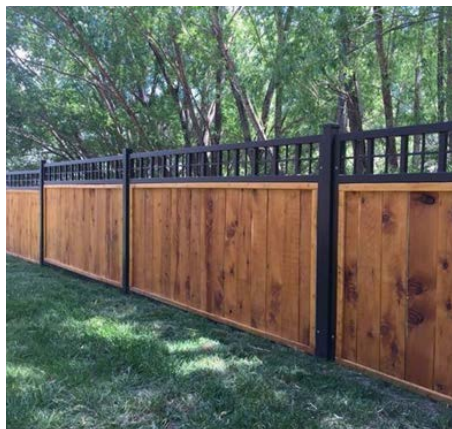
View Lusk/O'Keefe



Stone Wall at Lusk/O'Keefe

Site lighting will be low profile LED heads with a of minimum poles to declutter the site.

The loading zone and garbage have been relocated in the north west corner of the site. The garbage is enclosed, and its design features more detail than typical enclosures so as to be more appealing adjacent to the street and to respond to the nearby scale of the residential neighbourhood. It also serves the dual purpose of screening the loading spot and the temporary snow storage.



Fence Around Garbage Enclosure

As mentioned above, the landscaping along the streets is intended to screen the parking along these edges. The triangular island in the centre of the property is well designed so as to diminish views through the site and reduce the impact and visibility of the parking from either street.

Criteria for Extensive Employment Area

	Prestige Business Park	This Application 100 Lusk	Hotel 125 Lusk	Warehouse 4497 O'Keefe	Myers Office 4149 Strandherd	Tomlinson 100 Citigate	Python 222 Citigate	
1	Large Lots [Acres]	1	2	16	8	6	64	
2	High Proportion of Landscaping	35%	30.3%	15%	22%	Yes	Yes	
3	High Standard of Architectural Design	Yes	Yes	Unknown	Yes	Yes	Yes	
5	Height	36ft	65ft	25ft	62ft	54ft	88 ft	
6	Low Building Profile	Yes	No	Yes	No	Yes	No	
7	Screened Snow Storage	Yes	No	No	No	No	No	
8	Berming	Yes	No	No	No	Yes	yes	
9	Fencing - garbage	Yes - decorative	Yes	Yes	Yes	Unknown	Unknown	
10	Min. lot Coverage 55%	19.5%	14.6%	31%	20%	7.9%	23%	
11	Loading - screened	Yes	Yes	No	No	No	No	

Conclusion

Overall, the proposed development has made good use of the small site for one of the first professional buildings in this Prestige Business Park in that it has met the design criteria of the park: - low profile, thoughtfully landscaped and responsive to the proposed and/or new projects. Bluesky will add a professional/corporate clientele to the light industrial uses currently proposed and is a complementary use to both the hotel, the other developments [existing and proposed]and the nearby residential establishments.

B. Pre-Application Consultation Meeting

The following is a response to Staff's Preliminary Comments from the meeting of 13 February 2020

Planning

Consider the loading space design and location to avoid conflicts with the main access aisle, while making sure the spaces in conformity with section 113 of the Zoning By-law.

1. *Snow storage should be set back at least 1.5 meters from property lines.*
Snow storage has been relocated to the West end of the site so that it is screened from view. The snow storage is temporary. As it is in the area of the recycle/garbage area the owner intends to remove it after snow falls.
2. *Sidewalks are not being provided on this side of Lusk. Sidewalk has been removed.*
3. *At this time, the staff do not believe the proposal meets the policy of Prestige Business Park areas shall have large lots and a high proportion of the lot area devoted to landscaped area. Please give more consideration to the landscaping on the site and additional soft landscaping where possible. Please refer to our Rationale above. The design meets and exceeds other similar scale developments in the area. The site is small, as the development plan approved by the City has only small lots. The proposal has more landscape area than some other projects in the vicinity*
4. *There is an existing 30cm reserve along O'Keefe Court... The Plan of subdivision was designed to avoid accesses onto O'Keefe Court. For these reasons staff believe one access may be more appropriate unless significant justification as to why the access onto O'Keefe is required. If the access is still desired and justification can be provided, a lifting of 30cm ...will be required....*
We removed the access from O'Keefe and emphasized the entrance from Lusk.
5. *Please ensure that you provide bicycle parking as per Section 111.*
Bicycle parking has been provided as per Section 111
6. *Street trees have been approved through the Subdivision's Landscape Plan, see attached. If any trees are to be removed, they must be incorporated on the site over and above what is currently being planned.*
Please refer to Landscape Plan
7. *Staff will look for rationale on the location of the building and how the parking is situated. Section 4.11 of the official plan encourages design elements that feature the corner or street access, please give consideration to design of the lot and how it plays to the Lusk/O'Keefe intersection.*
The site is small and a challenging shape. For our client to make best use of the site in a building shape that is economical and efficient, the site has evolved as presented. The siting of the building was also influenced by the municipal services "stubbed" to the site in the street at Lusk/Forager intersection. Refer to Site Servicing Drawings attached. To compensate, we have incorporated quality materials [unit pavers, stone, wood fencing] and generous use of indigenous and sustainable plant material in the design with a particular emphasis at the corner of O'Keefe and Lusk and at the main access to the site at Forager.
8. *The Planning Rationale will have to explain the proposal, review the applicable Official Plan and Secondary Plan policies, review applicable Zoning By-Law provisions, and review the Accessibility Design Standards.*

These have been taken into consideration and reflect the standard of design depicted in the other modest projects referred to.

Urban Design

1. *Consider how pedestrian movement through the parking lot will be facilitated.*

The project is modest in scale and the parking lot is therefore small. The distance from parked cars to the building is significantly less than some situations in any of the other projects that we referred to and currently approved by the City.

2. *What other applications/approvals in the immediate environment? How will the proposal play into the developing area?*

We have identified several projects that are recent and/or proposed in the vicinity. This proposal is not dissimilar in treatment to the more modest proposals, such as the hotel or to some degree Myers. It cannot reflect the approach taken to the Tomlinson project which is an exemplar example of a well funded corporate facility in a highly visible location. It is unquestionably one of the nicest examples in the City of Ottawa. The Python project is mammoth and perhaps beyond what was originally envisioned for the Prestige Business Park. To compensate, it requires a significant approach to siting and landscape to reduce its mass, traffic and parking.

3. *The prominent entrance and urban plaza to support a more pedestrian focused design is a good direction for the project.*

The site is suburban and not in a particularly pedestrian friendly area of the city. It is not well served by public transit, so it was perceived that offering an outdoor amenity space to the tenants on a quiet cul-de-sac was an asset to the occupants and a friendly visual in the pedestrian realm.

4. Identify opportunities for more trees on the site and less parking spaces.

We have emphasized the island and developed a landscaped focal point as a design feature to divide the parking into essentially two zones of a modest numbers of cars. There are no multiple rows of parking unlike the other developments, so there is distinct sense of a small and intimate scale in the design of the site. The number of cars is not numerous and reflects the need of the occupants and the clientele that will frequent the building due to the infrequent trips of public transit.

Engineering

1. The attached Pre-application consultation servicing memo summarizes engineering design considerations as per our discussion.

Stantec to Respond see attached

Transportation

1. Follow Traffic Impact Assessment Guidelines
2. Ensure AODA requirements are met
3. Site triangles at the following locations on the final plan will be required 3m x 3m
4. On the Site Plan

- Show all details of the roads abutting the site up to and including the opposite curb; include such items as pavement markings, accesses and/or sidewalks
- Turning templates will be required for all accesses showing the largest vehicle to access the site; required for internal movements and at all access.
- Show all curb radii measurements; ensure that all curb radii are reduced as much as possible
- Show lane/aisle widths

Stantec to Respond see attached

Noise Impact Study

1. *A stationery noise impact study will be required (if there will be any exposed mechanical equipment due to proximity to neighbouring noise sensitive land uses).*

We have not designed the building system yet but will provide a Noise Impact Study at that time.

Conservation Authority

1. *The RCVA would be looking for water quality protection of 89=0% TSS removal on site or through an identified stormwater management facility, downstream ahead of outletting to the O'Keefe Drain. The O'Keefe is classified as a cold-water system and water quality controls include thermal protection on-site. Please identify best management practices to maximize thermal mitigation on-site.*

Stantec to Respond see attached

Other

1. *You are encouraged to contact the Ward Councillor, Jan Harder about the proposal.*
We have been in touch with the Councillor and provided a power point presentation to her.

C. Response to Preconsult Planning Review Comments

In response to Mr. Cameron Hodgins' email dated 27 February *Pre-Consult Follow-up*, we are pleased to present the following: -

Planning

We have revised the site plan to address several concerns that were expressed.

1. We have shifted the parking along O'Keefe to the west to free up space for an entrance landscaping feature at the intersection of Lusk and O'Keefe. Similarly, we have also shifted the parking along Lusk to add to the available space for the entrance feature at the intersection.
2. The west end of the parking lot has been designed to relocate the loading to the far west property line. This eliminates conflict with both the main access aisle and the conflict with the vehicle parking at that end. The snow dump area has been redefined to keep it away from O'Keefe. The snow will be temporarily stored and will be removed as required after a snow fall. This is necessary to maintain access to the loading and the screened garbage enclosure.
3. The sidewalk previously shown on the property line side of Lusk has been removed, but we are showing a link from the building to the street where pedestrians may cross to the site.