

GENERAL ARCHITECTURAL NOTES:
 1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
 4. The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 5. Positions of proposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
 6. These documents are not to be used for construction unless specifically noted for such purpose.



Owner Information:
 444 Bronson Development Inc.
 800 Industrial Ave., Unit 9
 Ottawa, On K1G 4B6



2 LOCATION PLAN
 SP-01 SCALE: N.T.S.

SITE & PROJECT STATISTICS

GENERAL INFORMATION
 Zoning: TM(2214)
 Min. Lot Area: No minimum
 Min. Building Height: 6.7m for 20m from front lot line
 Max. Building Height: Front: Must be setback an additional 2.0m from provided setback above 4 storeys or 15m, whichever is lesser
 --- Granted variance to permit an additional setback of 1.5m at & above the 5th storey and 10m of height
 Rear: May not project above a 45° angular plane measured 7.5m from rear lot line at 15m height
 --- Granted variance to permit the tops of the 5th and 6th storeys of the proposed development to impede on the angular plane by 1.4m and 1.7m respectively.
 Max. Front Yard: 2.0m
 Min. Rear Yard: 7.5m
 Max. Int. Side Yard: South side: 3.0m
 Min. Int. Side Yard: North side: 1.2m

PROJECT STATISTICS
 Lot Area: 828m²
 Building Height: 16.712m
 Front Yard: 3.177m
 Rear Yard: 7.5m
 Int. Side Yard: South side: 3.0m for Levels 1 & 2.4m for Levels 2-5
 North side: 1.2m
 Number of Residential Units: 45
 Retail GFA: 92.5m²

PARKING CALCULATION
 As per Section 101
 Required Parking: 0 space
 Within Area Y on Schedule 1A
 As per Table 101, Row 14, Column II
 0 space for first 500m² non-residential - Section 101(4)(i)(ii)
 Total Parking Provided: 0 space

VISITOR PARKING CALCULATION
 As per Section 102
 Required Parking: 4 spaces
 Within Area Y on Schedule 1A
 0 space for first 12 res. units - Section 102(2)
 0.1 spaces/res. unit - Table 102
 --- Granted variance to permit 2 visitor parking spaces
 Total Parking Provided: 2 spaces

AMENITY AREA CALCULATION
 As per Table 137
 Total Amenity Area Required: 276m²
 6m²/res. unit
 Communal Amenity Required: 138m²
 Min. 50% of Total Amenity Area
 Private Amenity Area Provided: 28.2m²
 Level 02: 3.4m²
 Level 03: 9.2m²
 Level 04: 9.5m²
 Level 05: 6.1m²
 Communal Amenity Provided: 264.8m²
 Rear Yard: 63.7m²
 Roof: 171.1m²
 Total Amenity Area Provided: 293m²

GLAZING AT FRONT FACADE
 Ground Floor - measured to a height of 4.5m: 50.2%

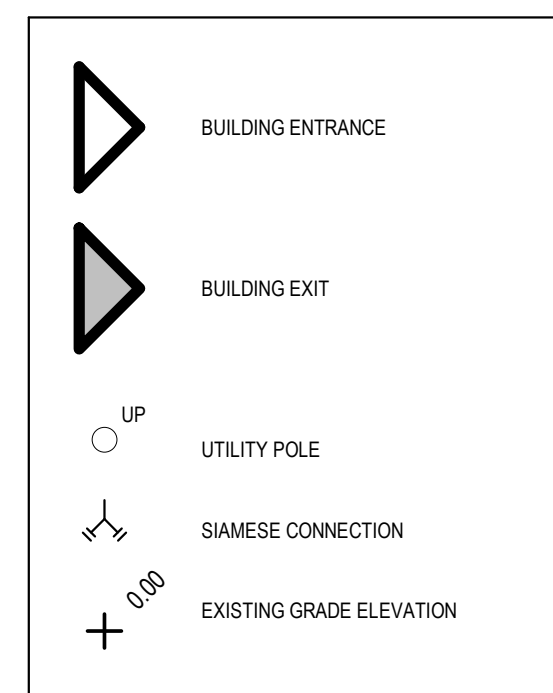
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STATISTICS
 SCALE: N.T.S.

TOPOGRAPHIC PLAN OF SURVEY OF
 PART 1 PLAN OF
 PARTS OF LOTS 137 & 138
 REGISTERED PLAN 3459
 CITY OF OTTAWA
 ANNIS, O'SULLIVAN, VOLLEBEK LTD. 2017

SURVEY INFO
 SCALE: N.T.S.



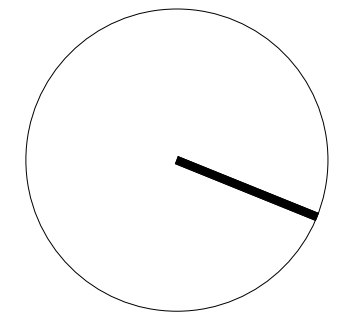
SYMBOLS LEGEND
 SCALE: N.T.S.

- 1 EXISTING CONCRETE PLANTER TO BE REMOVED
- 2 EXISTING 2-STORY BUILDING TO BE DEMOLISHED
- 3 EXISTING 1-STORY BUILDING TO BE DEMOLISHED
- 4 EXISTING SHIPPING CONTAINER TO BE REMOVED
- 5 DEPRESSED CURB
- 6 INTERLOCKED CONCRETE PAVERS
- 7 CONCRETE WALKWAY
- 8 INTEGRATED PLANTER
- 9 SOFT LANDSCAPING
- 10 ASPHALT DRIVE AISLE
- 11 BOARD FENCE
- 12 WINDOW WELL
- 13 STEEL & CLEAR GLASS GUARD
- 14 AREA WELL
- 15 CONCRETE CURB
- 16 GAS BLOW-OFF STATION
- 17 EXISTING BOLLARD TO REMAIN
- 18 EXISTING CATCH BASIN INLET TO REMAIN

KEYNOTE LEGEND
 SP-01 SCALE: N.T.S.

- 2 RE-ISSUED FOR SITE PLAN CONTROL 2020-02-07
- 1 RE-ISSUED FOR SITE PLAN CONTROL 2019-11-21
- 0 RE-ISSUED FOR SITE PLAN CONTROL 2019-11-13

ISSUE RECORD



project1 studio

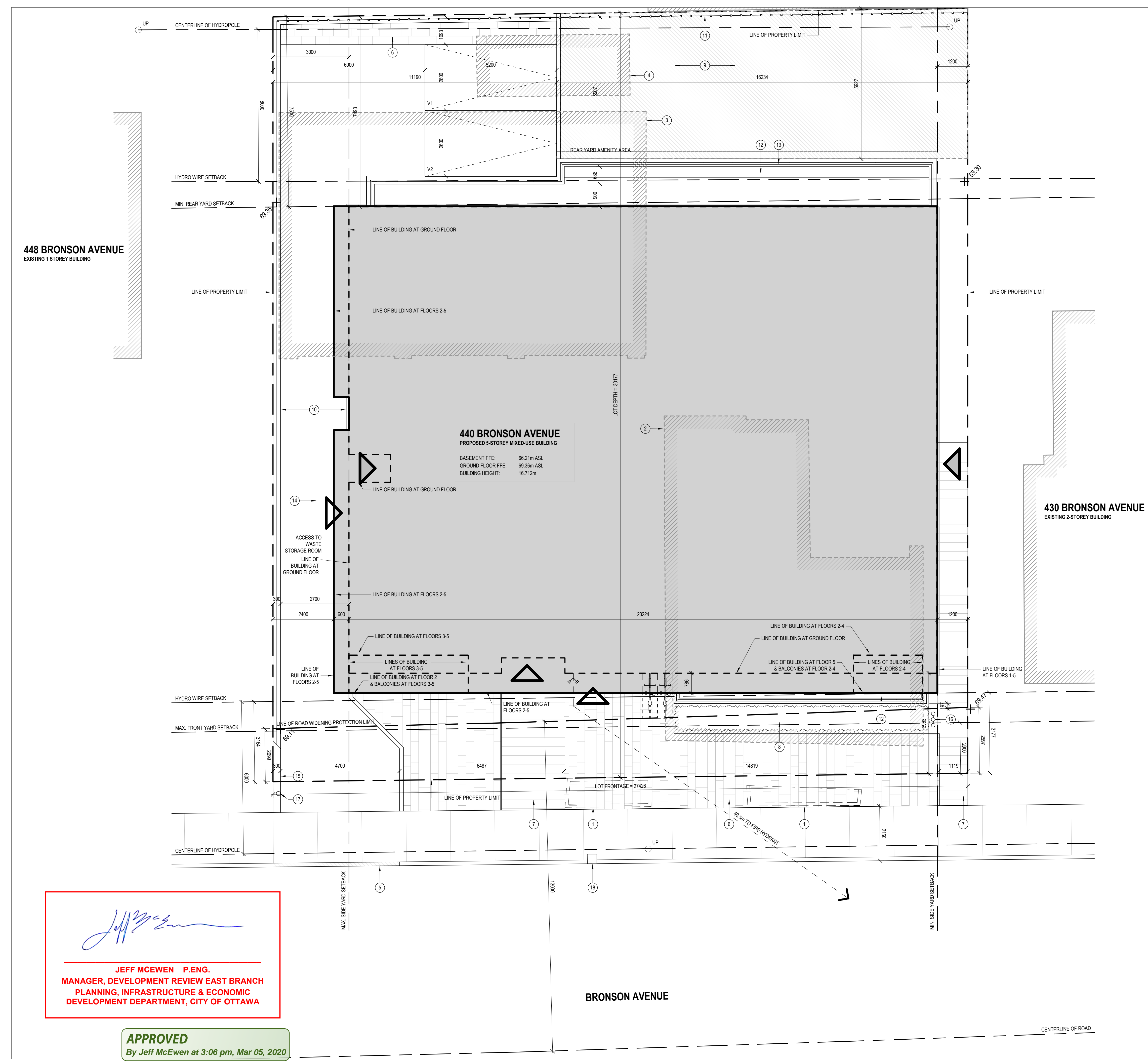
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440 BRONSON
 440-444 Bronson Avenue
 Ottawa, ON

PROJ SCALE DRAWN REVIEWED
 1723.3 NOTED LB RMK

SITE PLAN

SP-01



Jeff McEwen
JEFF MCEWEN P.ENG.
 MANAGER, DEVELOPMENT REVIEW EAST BRANCH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Jeff McEwen at 3:06 pm, Mar 05, 2020

1 SITE PLAN
 SP-01 SCALE: 1 : 75