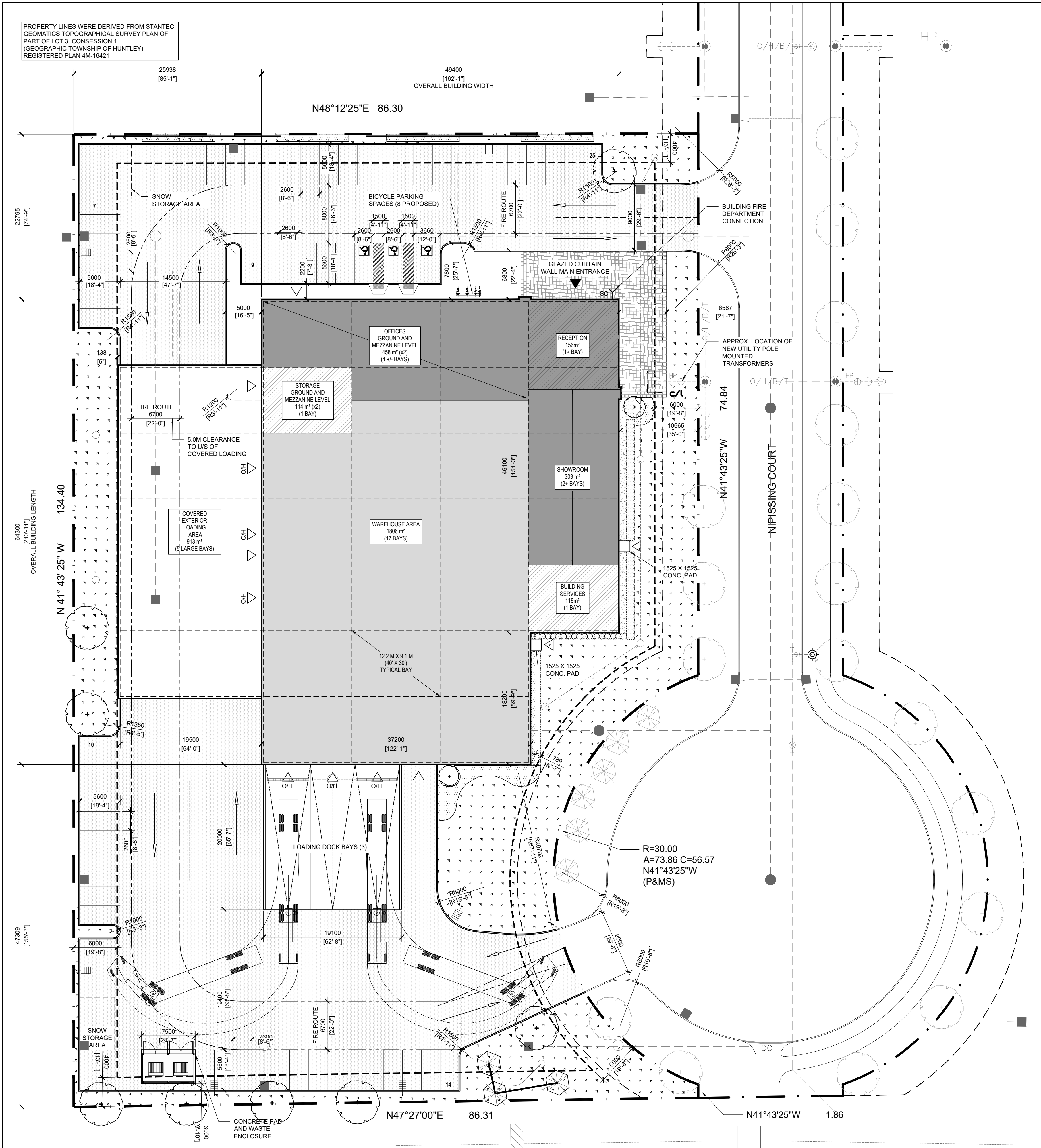


PROPERTY LINES WERE DERIVED FROM STANTEC GEOMATICS TOPOGRAPHICAL SURVEY PLAN OF PART OF LOT 3, CONCESSION 1 (GEOGRAPHIC TOWNSHIP OF HUNTLEY) CITY OF OTTAWA, BY STANTEC GEOMATICS LTD. ONTARIO LAND SURVEYORS.



LEGEND

- PROPERTY LINE
- HYDRO ONE EASEMENT LINE
- SETBACK LINE
- FIRE ROUTE LINES
- EXTENTS OF WAREHOUSE AREA
- EXTENTS OF OFFICE AND SHOWROOM AREAS
- LANDSCAPED AREA
- HEAVY DUTY ASPHALT
- DIRECTION OF TRAVEL
- CONCRETE CURB RAMP C/W TWSI
- PARKING AREA LIGHT STANDARD
- MAIN BUILDING ENTRANCE
- SECONDARY BUILDING ENTRANCES AND/OR EMERGENCY EXITS
- LOCATION OF OVERHEAD DOOR

ZONING INFORMATION

GENERAL NOTES:

- REFER TO SKETCH OF PART OF LOT 3, CONCESSION 1, (GEOGRAPHIC TOWNSHIP OF HUNTLEY) CITY OF OTTAWA, BY STANTEC GEOMATICS LTD. ONTARIO LAND SURVEYORS.

SITE DATA:

SITE AREA: 10,725m²
BUILDING AREA: 2,955m²
COVERED LOADING AREA: 913m²
BUILDING HEIGHT: 9.72 m

PROPOSED GROSS FLOOR AREA:

GROUND LEVEL
RECEPTION: 156 m²
SHOWROOM: 303 m²
BUILDING SERVICES: 118 m²
OFFICES: 458 m²
WAREHOUSE: 1,806 m²
TOTAL: 2,955 m²

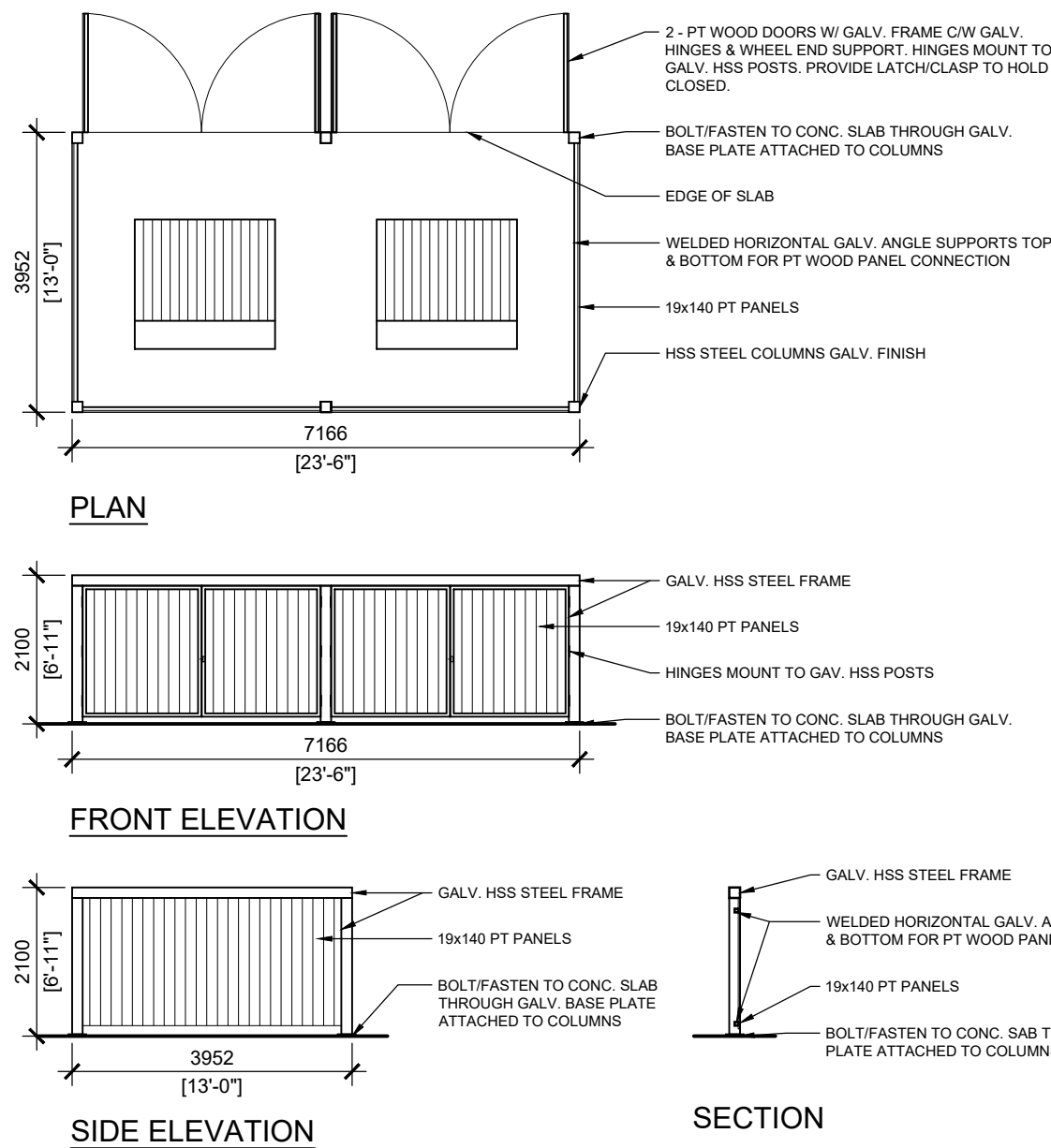
MEZZANINE
OFFICES: 458 m²
STORAGE: 114 m²
TOTAL: 572 m²

TOTAL GROSS FLOOR AREA: 3,527 m²

LANDSCAPED AREA: 2,120 m²

ZONING TABLE

Current Zoning	IP13(2166)-h	
Proposed Gross Floor Area	3,527m ²	
	REQUIRED	PROPOSED
Minimum Lot Area	750m ²	10,725m ²
Minimum Lot Width	No Minimum	133.3m
Maximum Lot Coverage	55%	28%
Setbacks	Front: 6m Interior Side: 4m Rear: 6m	Meets setback requirements. See setback line on site plan.
Maximum Floor Space Index	2.0	0.29
Maximum Building Height	22m	9.72m
Minimum Width of Landscape	Abutting a Street: 3m All other cases: No Minimum	Abutting a Street: 10.655m
Accessory Sales and Display Area	Maximum 25% of the gross floor area of the proposed building	Showroom area = 8.59%
Minimum Parking Warehouse: 0.8/100m ² of GFA	28 spaces	65 spaces
Barrier Free Parking Type A: Minimum 3.4m wide Type B: Minimum 2.6m wide Minimum Access aisle: 1.5m	51-75 spaces provided: 3 spaces (1 Type A + 2 Type B)	3 spaces (1 Type A + 2 Type B)
Minimum Bicycle Parking Warehouse: 1/2000m ² of GFA	2 spaces	8 spaces
Loading Spaces	Warehouse: 1space	3 spaces



01 SITE PLAN
SP-A01 SCALE: 1:300

02 WASTE ENCLOSURE DETAILS
SP-A01 SCALE: NTS

DEIMLING
ARCHITECTURE & INTERIOR DESIGN

KRISTA
CONSTRUCTION LTD.

Harding
HEATING & AIR CONDITIONING

North

Revisions

No.	By	Description	Date
13	CD	REVISED FOR SITE PLAN APPROVAL	24 JUN 2020
12	CD	ISSUED FOR SITE PLAN APPROVAL	20 MAR 2020
11	CD	REVISED	16 MAR 2020
10	CD	REVISED	12 MAR 2020
09	CD	REVISED	09 MAR 2020
08	CD	FOR DRAFT SPA SUBMISSION	27 FEB 2020
07	CD	FOR COORDINATION	19 FEB 2020
06	CD	FOR COORDINATION	24 JAN 2020
05	SL	CLIENT REVIEW	13 JAN 2020
04	JF	CLIENT REVIEW	06 DEC 2019
03	JF	CLIENT REVIEW	05 DEC 2019

Project

HARDING HEATING
SITE DEVELOPMENT

200 NIPISSING COURT, KANATA, ONTARIO

Drawing

PROPOSED SITE PLAN

Scale AS NOTED

Drawn S.L. / J.F.

Checked C.D.

Project No. 19-149

Date DECEMBER 2019



Drawing No.

SP-A01

#18128