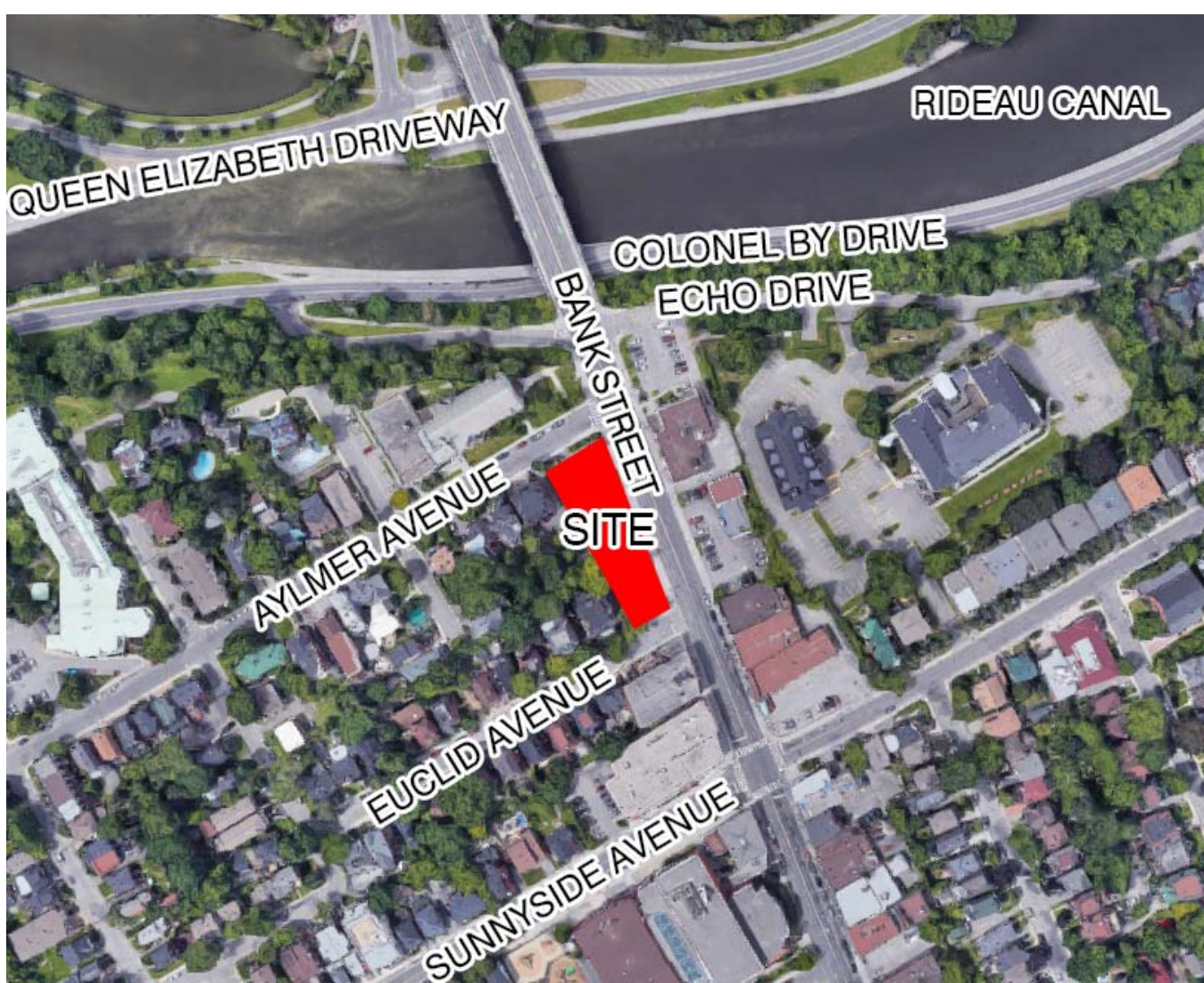
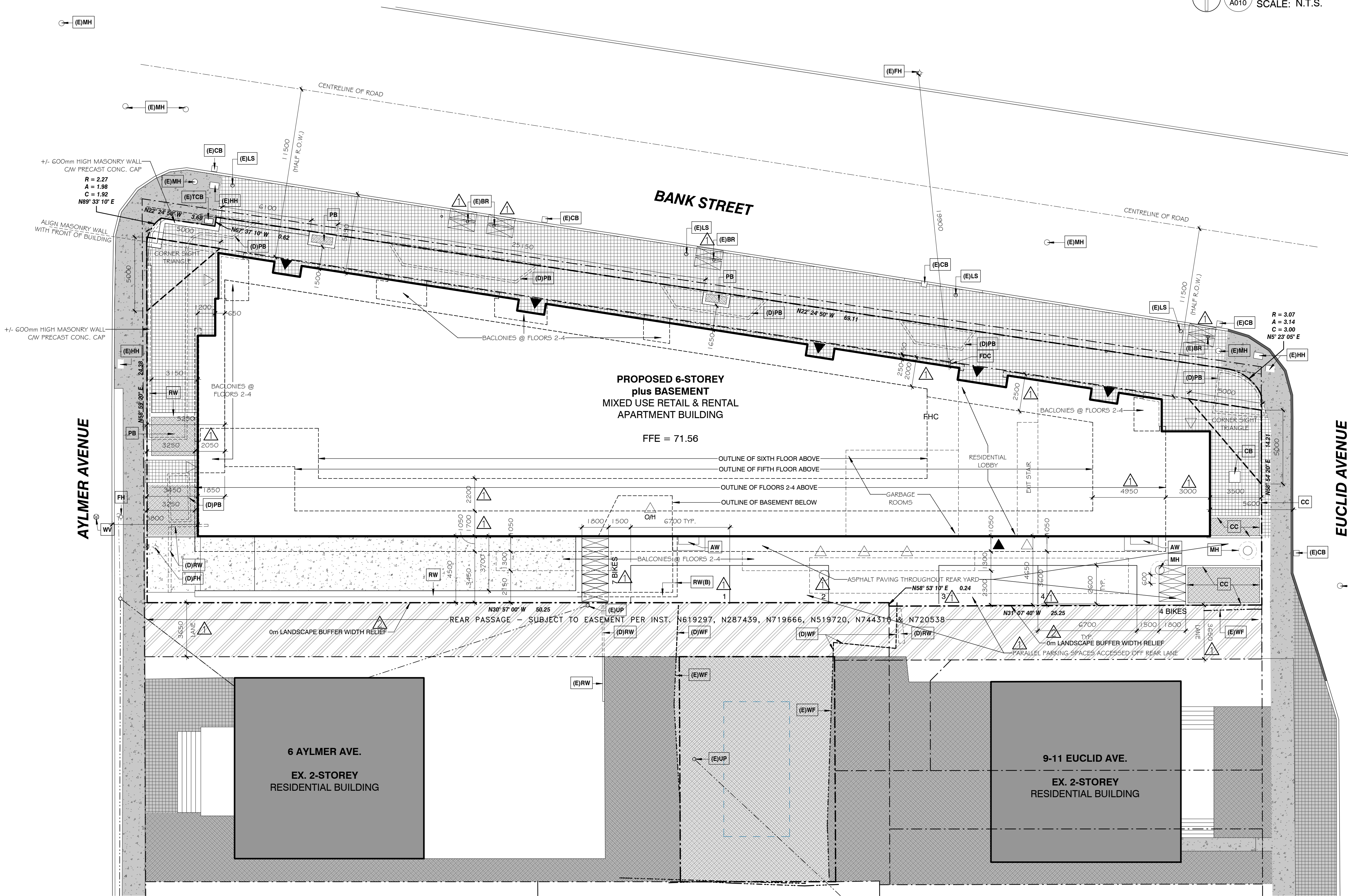


plot scale 1:1

SHEET SIZE: ARCH D (24"x36")



1 A010 LOCATION PLAN
SCALE: N.T.S.

PLAN OF SURVEY OF
PART OF LOTS 2, 3, 4, 5, 6 AND 7
REGISTERED PLAN 101126
AND PART OF LOT A
REGISTERED PLAN 116274
CITY OF OTTAWA

PREPARED BY:
FARLEY SMITH & DENIS SURVEYING LTD.
SEPTEMBER 11, 2018

SITE PLAN LEGEND

ICON	DESCRIPTION
	Existing Concrete
	Proposed Concrete
	Existing Landscape Area
	Proposed Landscape Area
	Existing Paver Walkway
	New Paver Walkway - See Landscape
	Easement
	Existing Buildings
	Proposed Buildings
	Existing Concrete Curb
	Proposed Concrete Curb
	Depressed Curb
	Overhead Wires
	Property Lines
	Easement Lines, R.O.W., Neighbouring Lot Lines
	Fence
	Signage
	BF Parking Space
	Principal Entrance Door
	Exterior Door ("O/H" indicates Overhead Door)

SITE PLAN NOTES

Note #	Note Text
(D)FH	Existing Fire Hydrant to be demolished
(D)PB	Existing Concrete Planter Box to be demolished
(D)RW	Existing Retaining Wall to be demolished
(D)WF	Existing Wood Fence to be demolished
(E)BR	Existing Bike Rack
(E)CB	Existing Catch Basin
(E)FH	Existing Fire Hydrant
(E)HH	Existing Hand Hole
(E)LS	Existing Light Standard
(E)MH	Existing Manhole
(E)RW	Existing Retaining Wall
(E)TCB	Existing Traffic Control Box
(E)UP	Existing Utility Pole
(E)WF	Existing Wood Fence to remain
AW	Area Well for Ventilation from Basement
CB	Catch Basin - See Civil
CC	Concrete Curb
FDC	Fire Department Connection
FH	Fire Hydrant
MH	Manhole - See Civil
PB	Concrete Planter Box with Masonry Facing - See Landscape
RW	Retaining Wall
RW(B)	Retaining Wall Below
WV	Water Valve - See Civil

Summary of Dwelling Units					
Proposed:	Bachelor	1 Bedroom	2 Bedroom	3 Bedroom	Total
Basement	-	-	-	-	-
Ground Floor	-	-	-	-	-
2nd Floor	2	6	2	2	12
3rd Floor	2	6	2	2	12
4th Floor	2	6	2	2	12
5th & 6th Floor (2-Storey Units)	0	0	6	2	8
	6	18	12	8	44

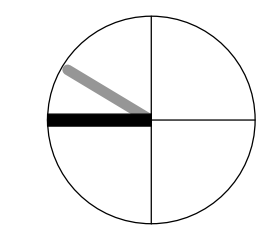
NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

GENERAL SITE PLAN NOTES:

- Exterior site lighting shall be directed onto the site away from adjacent properties. See Electrical Drawings.
- Read this drawing in conjunction with the Landscape Drawings, Civil Engineering Drawings and Electrical Drawings.

2	0m Landscape Buffer @ Rear Lot Line	21 May 2020
1	Response to Planning Comments	14 Apr 2020
0	Issued for Site Plan Approval	19 Dec 2019
no.	revision	date



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detail no.	1 A101	detail no.
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project
projet

PROPOSED MIXED-USE
RETAIL & RENTAL
APPARTMENT BUILDING

1050 & 1060 BANK STREET
OTTAWA, ON.

designed by / conçu par MM / SK approved by / approuvé par

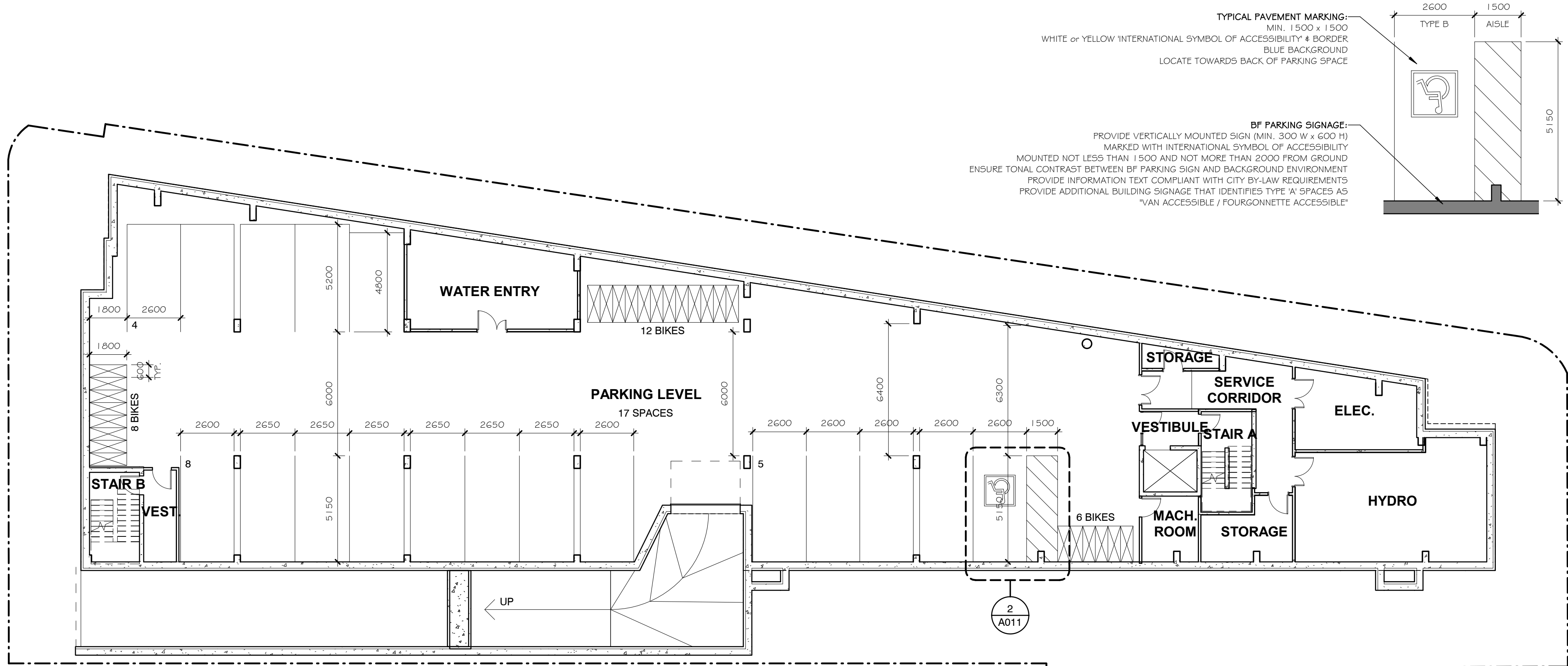
drawn by / dessinée par AK project no. / no. du projet 1844

date 14 APRIL 2020 scale as noted

drawing / dessin

SITE PLAN

plot scale 1:1



1 A011 PARKING PLAN
SCALE: 1 : 150

Project Zoning Review/Statistics

Municipality: City of Ottawa
Municipal Address: 1050-1060 Bank Street
Registered Owner: 2641723 Ontario Inc.
Lot Area: 1,757 sq.m. (18,917 sq.ft.)(0.43 acres)

Zoning Analysis
Ottawa
Zoning By-law: 2008-250
Zone: TM2 H(15)
Proposed Use: Mixed Use: Retail & Rental Apartments

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Basement		
Parking & Building Services	931	10,026
	931	10,026
Ground Floor		
Retail / Restaurant	826	8,886
Residential Lobby	50	533
Building Services	48	517
	923	9,936
Second Floor		
Apartment Units	965	10,387
	965	10,387
Third Floor		
Apartment Units	965	10,387
	965	10,387
Fourth Floor		
Apartment Units	965	10,387
	965	10,387
Fifth Floor		
Apartment Units	574	6,174
Building Services	36	384
	609	6,558
Sixth Floor		
Apartment Units	421	4,533
	421	4,533
Grand Totals	5,780	62,214

Development Standards		
	Required	Provided
Minimum Lot Area	No min.	1,757 sq.m.
Minimum Lot Width	No min.	76.35m
Minimum Required Yard		
Front Yard (max.)	2.00m	0.05m (Up to 15m above grade)
Front Yard (min.)	2.00m	2.00m (Higher than 15m above grade)
Corner Side Yard (min.)	3.00m	3.25m (Up to 15m above grade)
Corner Side Yard (min.)	5.00m	5.25m (Higher than 15m above grade)
Rear Yard (min.)	4.50m	3.45m (abutting public laneway; subject to minor variance)
Maximum Building Height	15.00m	19.3m (Subject to minor variance)
No part of building permitted above 45° Angular Plane, starting 7.5m from rear lot line and 15m above grade		2.75m projection (Subject to minor variance)
Maximum Floor Space Index	No max.	3.29

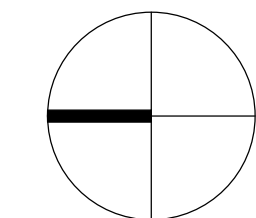
Parking, Loading, Queuing		Area Y Schedule 1A
Parking Spaces (2.6m x 5.2m)		
Retail / Restaurant	Required: 0	(As per 101(4)(d))
Residential: 0.5 / dwelling @ 32 units	Required: 16	(None required for first 12 as per 101(4)(b))
Visitor Parking: 0.1 / dwelling @ 32 units	Required: 3	(none required for first 12 as per 102(2))
	Total: 19	
	Provided: 21	
Accessible Parking	Required: 1	1 Type B, 2.6m wide
	Provided: 1	
Bicycle Parking (0.6m x 1.8m)		
Retail / Restaurant: 1/250 sq.m.	Required: 3	
Residential: 0.5 / dwelling @ 44 units	Provided: 22	
	Total: 25	
	Provided: 45	
Loading Spaces (3.5m x 7.0m)	Required: 0	(As per 113(4))
	Provided: 0	

Amenity Area	
Required:	
6 sq.m. per dwelling unit	= 264 sq.m.
Minimum 50% required to be communal	= 132 sq.m.
	aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be minimum 54 sq.m.
Provided:	Total
Ground Floor	
Private: 0	7 sq.m.
Communal: 7 sq.m.	
Second Floor	
Private: 54 sq.m.	54 sq.m.
Communal: 0	
Third Floor	
Private: 54 sq.m.	54 sq.m.
Communal: 0	
Fourth Floor	
Private: 54 sq.m.	54 sq.m.
Communal: 0	
Fifth Floor	
Private: 74 sq.m.	298 sq.m.
Communal: 224 sq.m.	
Communal Total:	231 sq.m.
Overall Total:	467 sq.m.

NOTES:

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0	Issued for Site Plan Approval	19 Dec 2019
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PROPOSED MIXED-USE
RETAIL & RENTAL
APPARTMENT BUILDING
1050 & 1060 BANK STREET
OTTAWA, ON.

designed by conçu par	MM / SK	approved by approuvé par	
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PARKING PLAN

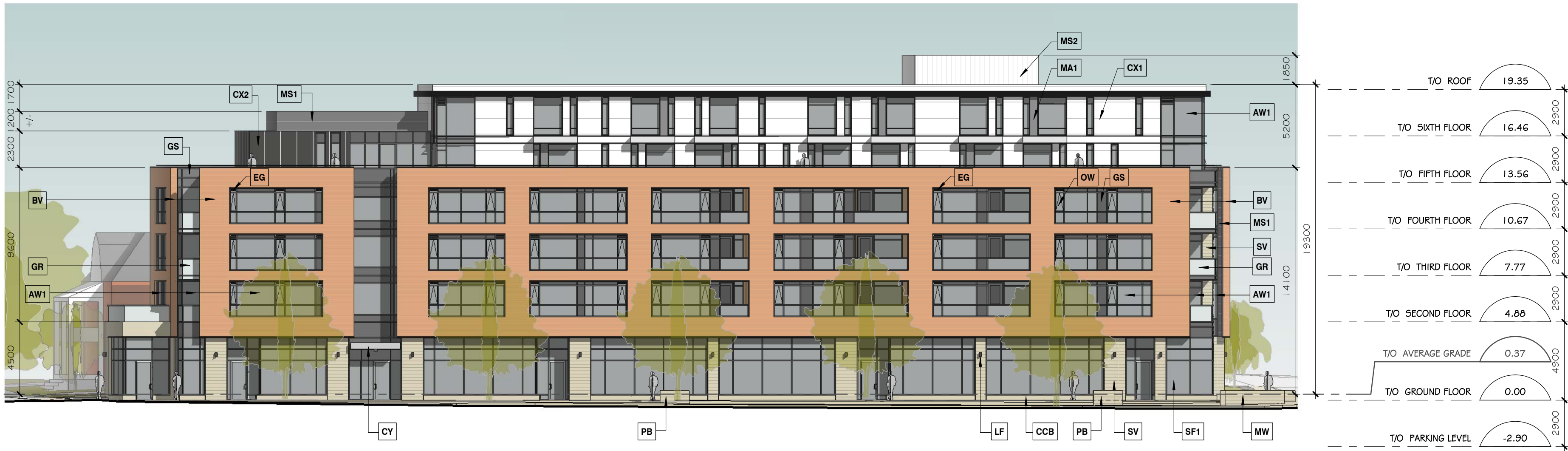
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A011

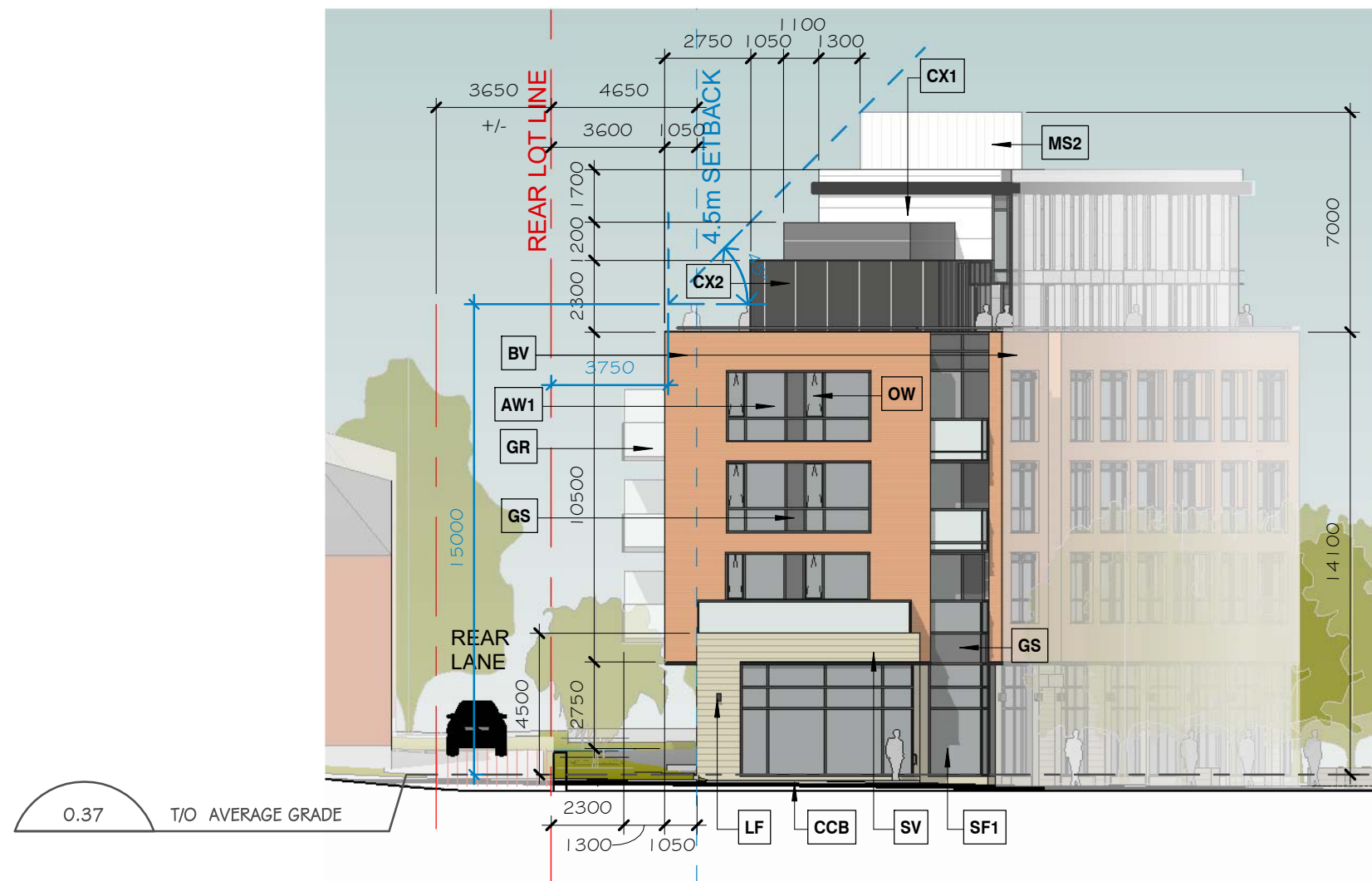
18110

plot scale 1:1

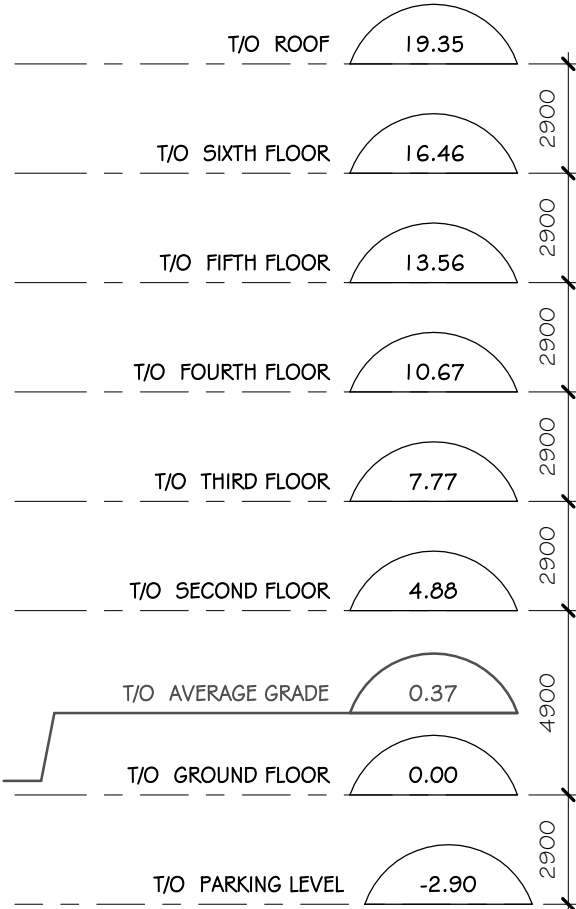
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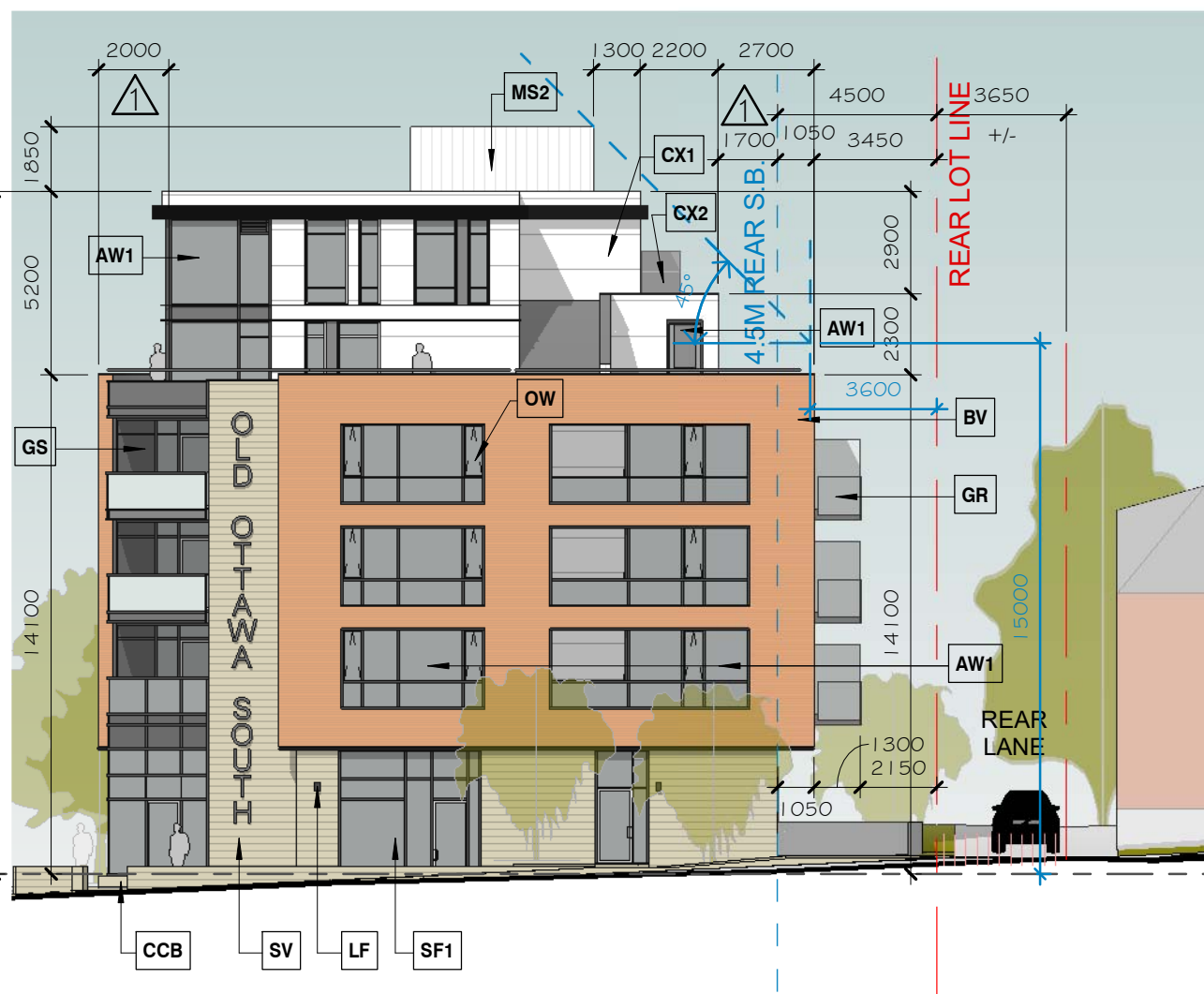
1 EAST ELEVATION
A012 SCALE: 1 : 200



3 SOUTH ELEVATION
A012 SCALE: 1 : 200



2 NORTH ELEVATION
A012 SCALE: 1 : 200



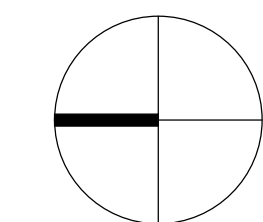
4 WEST ELEVATION
A012 SCALE: 1 : 200

ELEVATION NOTES	
Note	Note Text
AW1	Aluminum Window c/w Clear Glass
BV	Red Brick Veneer
CCB	Coloured Precast Concrete Base under Storefront
CX1	Sintered Ceramic Panel Facade System (Ceramitex or Similar); Colour TBD
CX2	Sintered Ceramic Panel Facade System (Ceramitex or Similar); Colour TBD
CY	Canopy over Residential Entrance, c/w recessed Pot Lights. See Electrical
EG	Exhaust Grille
GR	Clear Glass Railing
GS	Glass Spandrel
HM	Painted Hollow-Metal Door & Steel Frame
LF	Wall-mounted Light Fixture; See Electrical
MA1	Prefinished Metal Accent Panel, Colour TBD
MS1	Metal Screen; Colour and Style TBD
MS2	Metal Screen; Colour and Style TBD
MW	Masonry Kneewall
OH	Prefinished Sectional Overhead Garage Door
OW	Operable Window
PB	Concrete Planter Box with Masonry Facing - See Landscape
SF1	Aluminum Storefront c/w Clear Glass
SV	Stone Masonry Veneer

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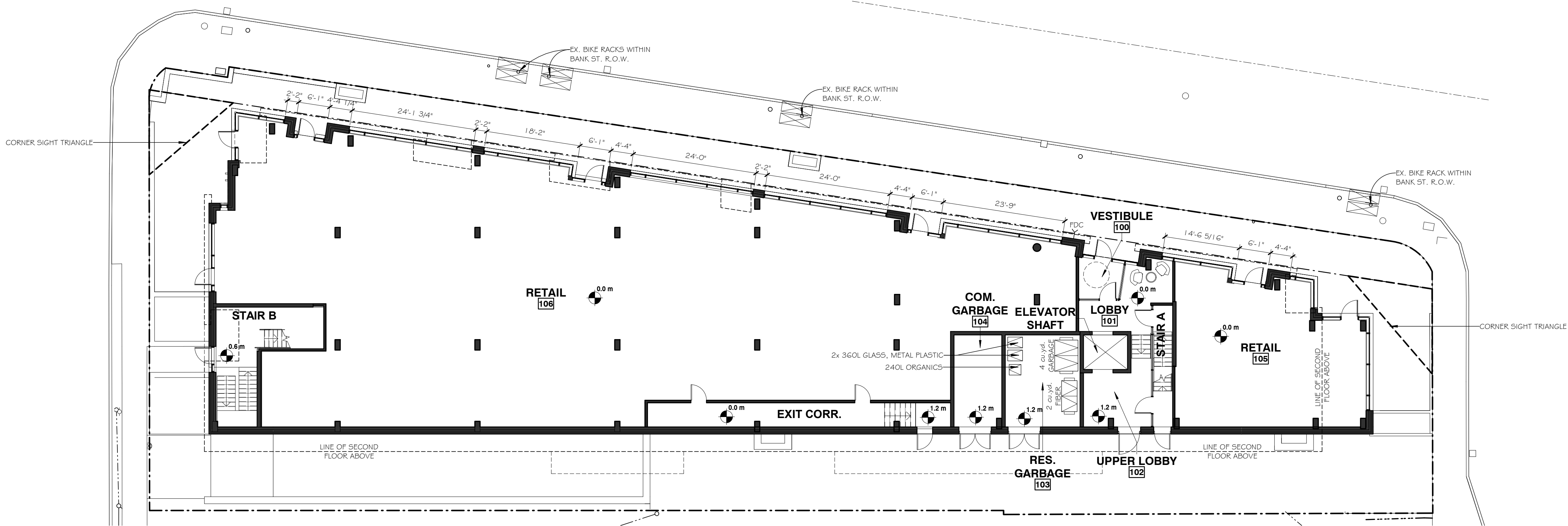
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**1050 & 1060 BANK STREET
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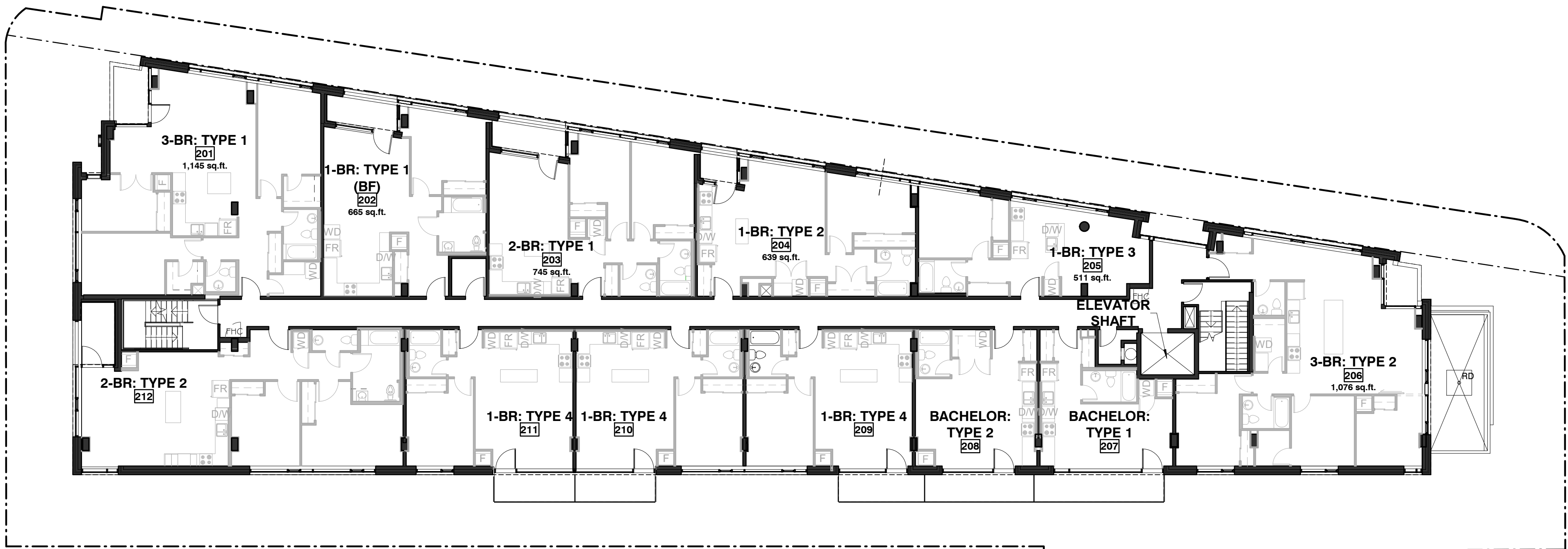
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BUILDING ELEVATIONS

plot scale 1:1



1
A101 GROUND FLOOR PLAN
SCALE: 1 : 150

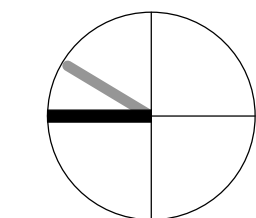


2
A101 SECOND FLOOR PLAN
SCALE: 1 : 150

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PROPOSED MIXED-USE RETAIL & RENTAL APARTMENT BUILDING

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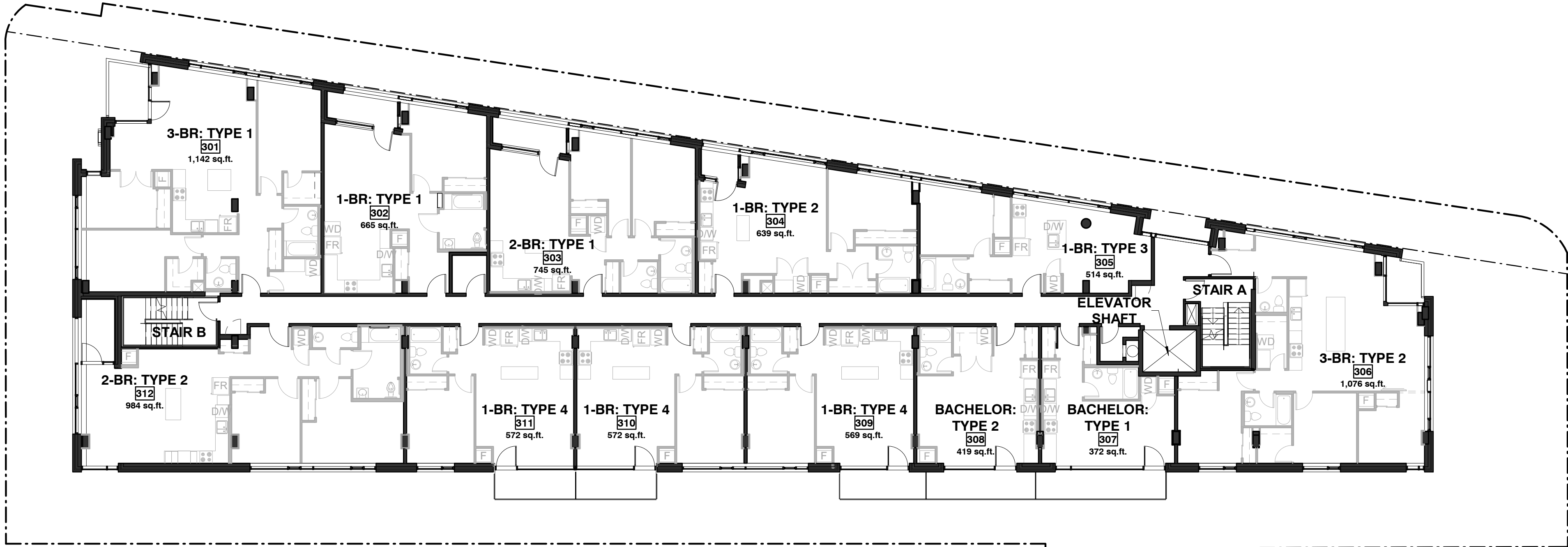
drawing / dessin

GROUND FLOOR PLAN SECOND FLOOR PLAN

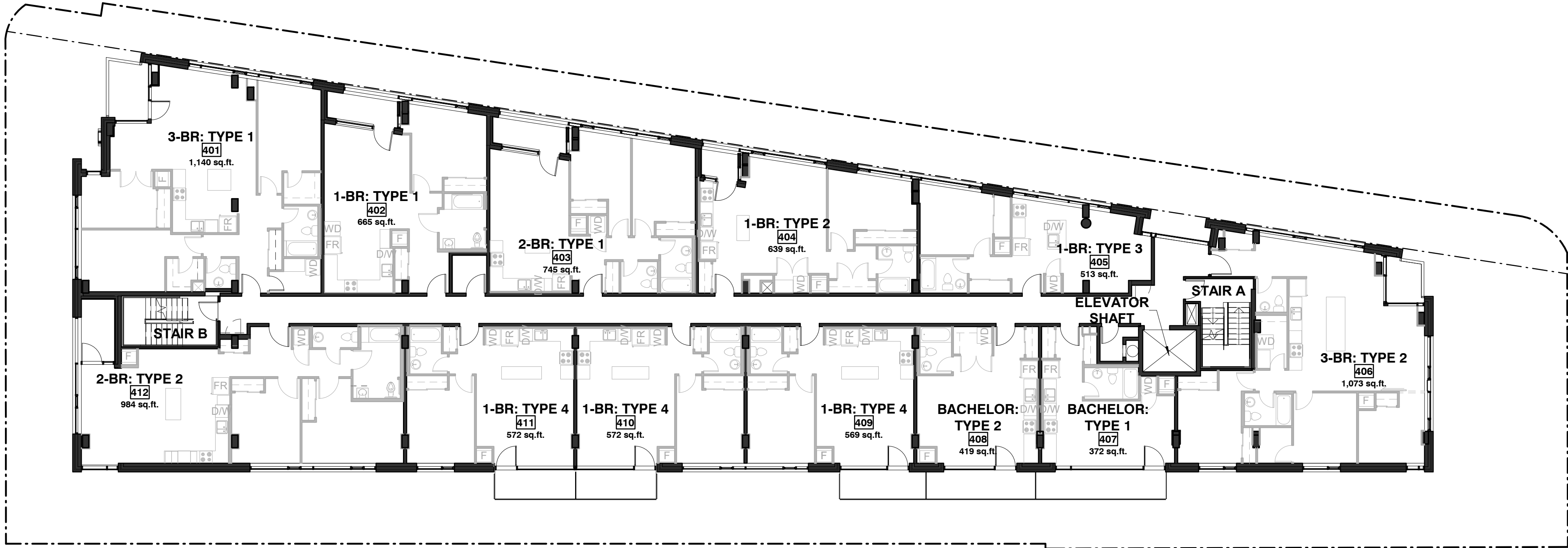
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18110

plot scale 1:1



1 THIRD FLOOR PLAN
SCALE: 1 : 150

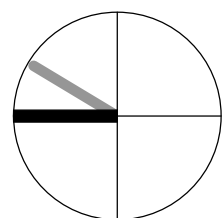


2 FOURTH FLOOR PLAN
SCALE: 1 : 150

NOTES:

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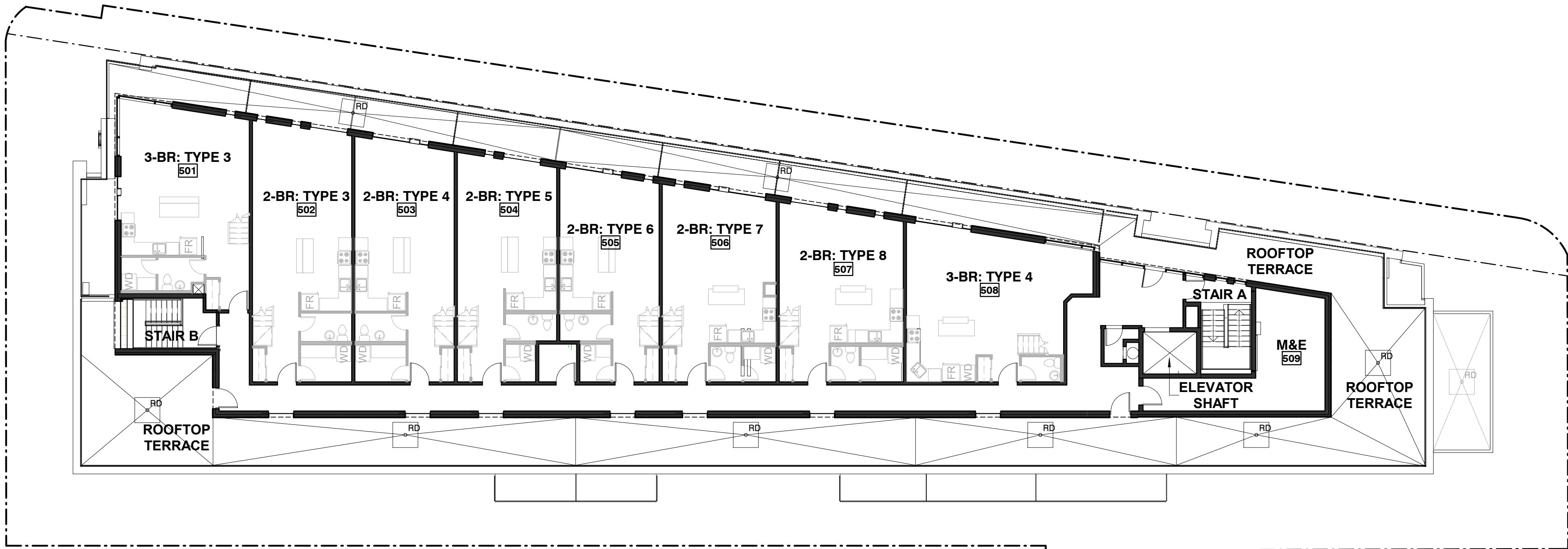
THRID FLOOR PLAN, FOURTH FLOOR PLAN

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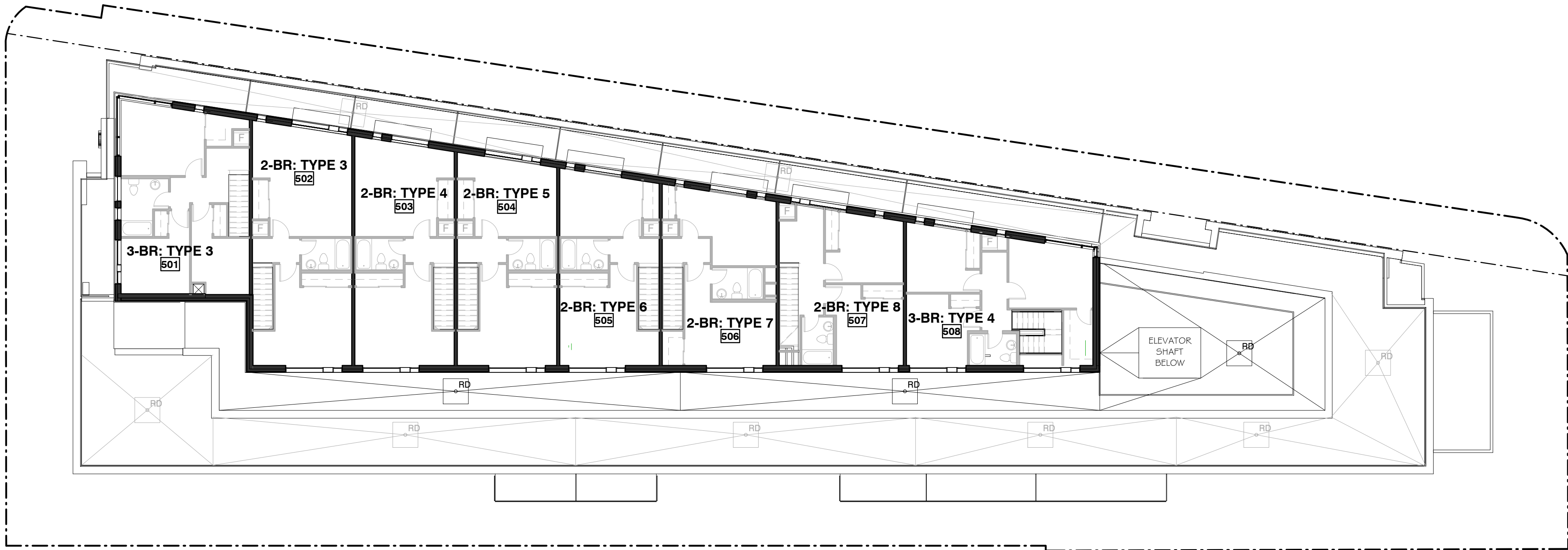
A102

18110

plot scale 1:1



1
A103 FIFTH FLOOR PLAN
SCALE: 1 : 150

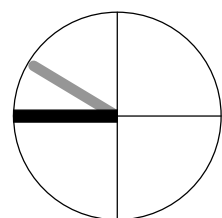


2
A103 SIXTH FLOOR PLAN
SCALE: 1 : 150

NOTES:

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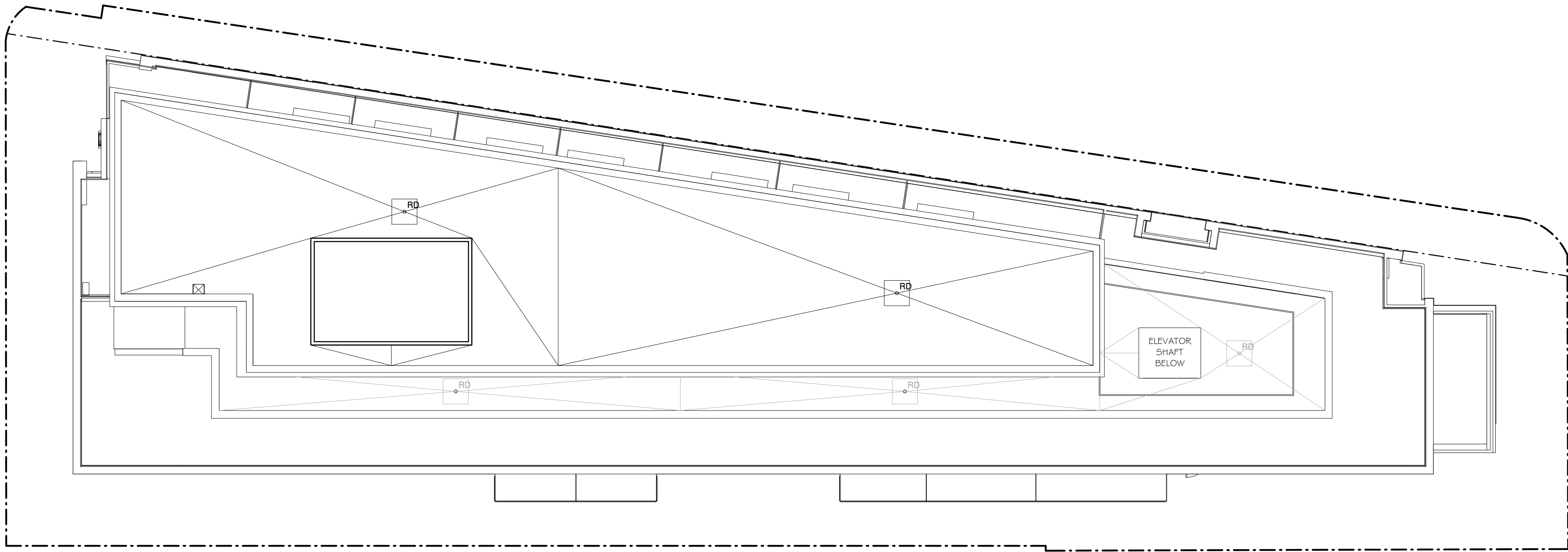
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SIXTH FLOOR PLAN**

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A103

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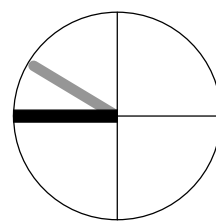
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ROOF PLAN

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A104

18110