



SITE PLAN
SCALE = 1:250

HATCHING LEGEND:

[Hatched Pattern]	GRASS
[Hatched Pattern]	GRAVEL
[Hatched Pattern]	EXISTING ASPHALT
[Hatched Pattern]	NEW ASPHALT
[Hatched Pattern]	FIRE ROUTE

LEGEND

[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED/EXISTING ELEVATIONS
[Symbol]	PROPOSED ELEVATION
[Symbol]	DRAINAGE SLOPE
[Symbol]	EXISTING DRAINAGE
[Symbol]	CENTRELINE OF ROAD
[Symbol]	EDGE OF ROAD
[Symbol]	TOP OF SLOPE
[Symbol]	PROPERTY LINE
[Symbol]	UTILITY WIRES
[Symbol]	SILT FENCE
[Symbol]	OVERHEAD WIRE
[Symbol]	EXISTING HYDRO POLE
[Symbol]	EXISTING HYDRO GUY WIRE ANCHOR
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING WELL
[Symbol]	OVERLAND FLOW ROUTE
[Symbol]	BUILDING ENTRANCE LOCATION
[Symbol]	TEMPORARY BENCHMARK

RG (RURAL GENERAL INDUSTRIAL ZONE) PROVISIONS:

ZONING MECHANISMS	REQUIRED	PROVIDED
(a) Minimum lot width (m)	30	57.95
(b) Minimum lot area (m ²)	4,000	5,624
(c) Minimum front yard setback (m)	15	19.35
(d) Minimum rear yard setback (m)	15	15
(e) Minimum interior side yard setback (m)	3	NA
(f) Minimum corner side yard setback (m)	12	SW=29.29/NE=12
(g) Maximum principal building height (m)	15	7.1
(h) Maximum lot coverage (%)	50	16.12%
(i) Outdoor storage	(a) outside storage is not permitted within any required front yard or corner side yard (b) outside storage must be screened from abutting residential uses or zones and public streets by an opaque screen of Least 1.8 m in height from finished grade)	

PARKING REQUIREMENTS:

VEHICLE PARKING REQUIRED	PROVIDED
LIGHT INDUSTRIAL = 0.8/100m ² GFA = 7 SPACES	
ACCESSORY OFFICE = 2.4/100m ² GFA = 2 SPACES	
TOTAL = 9 SPACES	9 SPACES
ACCESSIBLE PARKING REQUIRED	1 TYPE A 1 SPACE
LOADING SPACE REQUIRED	1 PER 350-999m ² GFA 1 SPACE
BICYCLE PARKING REQUIRED	
LIGHT INDUSTRIAL = 1 PER 1500m ² GFA = 0.58 SPACES	
ACCESSORY OFFICE = 1 PER 250m ² GFA = 0.26 SPACE	
TOTAL = 0.84 ~ 1 SPACE	1 SPACE

SITE STATISTICS:

TOTAL LOT AREA	5624.20 m ²
BUILDING FOOTPRINT (TOTAL)	907.00 m ²
EXISTING	327.60 m ²
OFFICE GFA (2 FLOORS @ 31.9m)	63.80 m ²
LIGHT INDUSTRIAL GFA	295.70 m ²
PROPOSED	579.40 m ²
LIGHT INDUSTRIAL GFA	579.40 m ²
ASPHALT AREA	2486.18 m ²
GRAVEL AREA	1004.65 m ²
LANDSCAPED AREA	1226.37 m ²

DRAWING NUMBER: 180138-SP

KEY PLAN:
N.T.S.

SCALE: 0 1 2 3 4 5 10 15 20
1:250 METRES

GENERAL NOTES:

- All dimensions are in metres; all elevations are in metres and are geodetic. TBM = Top of existing well cap on site adjacent to existing building. Elevation= 93.26.
- This is not a legal survey. Boundary information was derived from Plan 4R-15668 "Plan of survey of part W 1/2 Lot 11, Concession 6, Township of Osgoode, Regional Municipality of Ottawa-Carleton" completed by W.J. Johnston Ltd. on May 11, 2000. Project # J-049-00A.
- Contractor is responsible for location and protection of utilities.
- All dimensions to be verified on site by contractor prior to construction.
- Any changes made to this plan must be verified and approved by Kollaard Associates Inc.
- Client is responsible for acquiring all necessary permits. This drawing is not for construction until a building permit has been granted.
- The proposed grades have been set and verified for site grading control only. The grade raise at the building location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
- The underside of footing elevation has been set based on the information available and may not have accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
- A geotechnical engineer should be retained to provide recommendations with respect to the sub-grade conditions prior to footing installation.
- All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications; sewer and watermain material types; disinfection, provide minimum 2.4 metres of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and leakage testing.
- Reference to Kollaard file #180138 for Storm Water Management Design, Kollaard file #180138 for Servicing Brief Report and Geotechnical Report file #180138.

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CLIENT:
CAPITAL TRUCK SALES
7409 CENOTE ROAD
OTTAWA, ONTARIO
K0A 2P0

PROJECT:
PROPOSED ADDITION

LOCATION:
7409 CENOTE ROAD
CITY OF OTTAWA

DESIGNED BY: ---
CHECKED BY: ---
DRAWN BY: ---
APPROVED BY: ---
DATE: APRIL 15, 2019
KOLLAARD FILE NUMBER: 180138

DRAWING NUMBER: 180138-SP
DRAWING NAME: SITE PLAN