

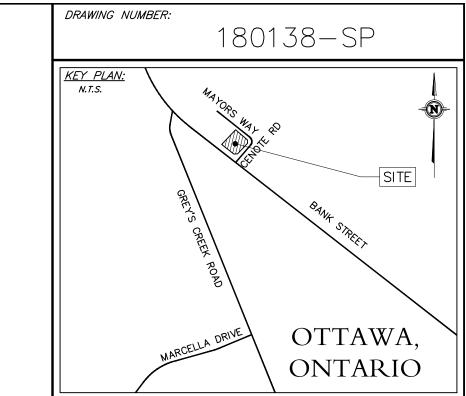
<u>RG (RURAL GEN</u>	LIVAL INDUSTIVI	AL ZONE) PRO\ 	71310113.	
ZONING ME	CHANISMS	REQUIRED	PROVIDED	
(a) Minimum lot width (m)		30	57.95	
(b) Minimum lot area (m²)		4,000	5,624	
(c) Minimum front yard setback (m)		15	19.35	
(d) Minimum rear yard	setback (m)	15	15	
(e) Minimum interior side yard setback (m)	(i) Abutting a RG, RH or RC zone	3	NA	
	(ii) Other cases	8	NA	
(f) Minimum corner side yard setback (m)		12	SW=29.29/NE=1	
(g) Maximum principal	ouilding height (m)	15	7.1	
(h) Maximum lot coverd	age (%)	50	50 16.12%	
(i) Outdoor storage		(a) outside storage is not permitted within any required front yard or corner side yardb) outside storage must be screened from abutting residential uses or zones and public streets by an opaque screen at		

PARKING REQUIREMENTS:	
VEHICULAR PARKING REQUIRED	PROVIDED
LIGHT INDUSTRIAL = 0.8/100m ² GFA = 7 SPACES	
ACCESSORY OFFICE = 2.4/100m ² GFA = 2 SPACES	
TOTAL = 9 SPACES	9 SPACES
ACCESSIBLE PARKING REQUIRED	
1 TYPE A	1 SPACE
LOADING SPACE REQUIRED	
1 PER 350-999m² GFA	1 SPACE
BICYCLE PARKING REQUIRED	
LIGHT INDUSTRIAL = 1 PER 1500m ² GFA = 0.58 SPACES	
ACCESSORY OFFICE = 1 PER 250m ² GFA = 0.26 SPACE	
TOTAL = 0.84 ~ 1 SPACE	1 SPACE

Least 1.8 m in height from finished grade)

TOTAL LOT AREA			5624.20 m²
BUILDING FOOTPRINT (TOTAL)			907.00 m²
EXISTING			327.60 m²
OFFICE GFA (2 FLOORS @ 31.9m)	63.80	m²	
LIGHT INDUSTRIAL GFA	295.70	m²	
PROPOSED			579.40 m²
LIGHT INDUSTRIAL GFA	579.40	m²	
ASPHALT AREA			2486.18 m²
GRAVEL AREA			1004.65 m²
LANDSCAPED AREA			1226.37 m²

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SCALE: 0 1 2 3 4 5 10 15 20

1:250 METRES

GENERAL NOTES:

2000, Project # J-049-00A.

All dimensions are in metres; all elevations are in metres and are geodetic. TBM = Top of existing well cap on site adjacent the existing building. Elevation= 93.26.
 This is not a legal survey. Boundary information was derived from Plan 4R-15669 "Plan of survey of part W 1/2 Lot 11, Concession 6, Township of Osgoode, Regional Municipality of Ottawa-Carelton" completed by W.J. Johnston Ltd. on May 11,

- Contractor is responsible for location and protection of utilities.

 All dimensions to be verified on site by contractor prior to
- construction.

 Any changes made to this plan must be verified and approved
- by Kollaard Associates Inc. Client is responsible for acquiring all necessary permits. This drawing is not for construction until a building permit has been
- granted.

 The proposed grades have been set and verified for site grading control only. The grade raise at the building location should be verified with regard to subsurface conditions by qualified
- geotechnical personnel after completion of the excavation.

 The underside of footing elevation has been set based on the information available and may not have accounted for actual ground water conditions at the exact house location and should be verified by gualified geotechnical personnel upon completion.
- be verified by qualified geotechnical personnel upon completion of the excavation.
 A geotechnical engineer should be retained to provide recommendations with respect to the sub-grade conditions prior
- to footing installation.

 10. All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications; sewer and watermain material types; disinfection, provide minimum 2.4 metres of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and
- leakage testing.

 11. Reference to Kollaard file #180138 for Storm Water Management Design, Kollaard file #180138 for Servicing Brief Report and Geotechnical Report file #180138.

No.	REVISION	DATE	BY
#	REVISION ITEM / DESCRIPTION	REV. DATE	INT.
0	ISSUED FOR SITE PLAN CONTROL APPLICATION	2020/02/25	RR

Kollaard Associates

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CLIENT:

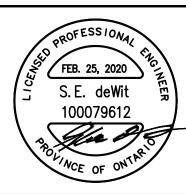
CAPITAL TRUCK SALES 7409 CENOTE ROAD OTTAWA, ONTARIO KOA 2PO

PROJECT:

PROPOSED ADDITION

LOCATION:

7409 CENOTE ROAD CITY OF OTTAWA



DATE:

APRIL 15, 2019

KOLLAARD FILE NUMBER:
180138

DRAWING NUMBER:

180138-SP

DRAWING NAME:

SITE PLAN