

**PLANNING RATIONALE REPORT
7409 CENOTE ROAD: SITE PLAN APPLICATION**

**PREPARED BY: P H ROBINSON CONSULTING
JUNE 2020**

P. H. Robinson Consulting
Urban Planning, Consulting and Project Management

This report has been prepared in support of a Site Plan Control Application for the property at 7409 Cenote Road. The legal description of the property is Parts 1 and 2, Part of the west half of Lot 11, Concession 6, former Township of Osgoode now in the City of Ottawa (P.I.N 04320-0148 and 04320-0151).

The property is located at the north east corner of Cenote Road and Bank Street (Highway 31) between the communities of Metcalfe and Greely (see **Location plan** in the Appendix Section).

Surrounding land uses consist of a variety of industrial and industrial commercial companies on Cenote and along Bank Street. Many of these industrial and industrial commercial businesses have outdoor storage areas as a component of their business. Further to the west there are some residential land uses on Grey's Creek Road.

The subject property has a frontage of approximately 70 m (230') on the east-west segment of Cenote and also approximately 70 m (230') on the north-south segment of Mayors Way (continuation of Cenote) and approximately 70 m of frontage on Bank Street (no vehicular access to Bank Street). The overall lot area is 5509 m² (0.55 ha) (1.36 ac).

Currently there is a 1 storey peaked roofed truck sales and service building in the north central section of the property which is approximately 6.7 m to the midpoint of the roof. (see **Site Plan drawing showing existing building and proposed addition** in the Appendix Section). The current building is located approximately 28 m from the east property line, 30 m from the west property line, 40 m from the south lot line and 14 m from the north lot line. The existing building has dimensions of 15.2 m x 21.3 m (50' x 70') with a floor area of 324 m² (3500 ft²).

The intent of the Site Plan Control application is to allow for an addition to the truck sales building with the addition being proposed on the east side of the existing building. (see **Site Plan drawing showing existing building and proposed addition** in the Appendix Section). The addition has dimensions of 15.85 m x 36.6 m (52' x 120') and a floor area of 580 m² (6,243 ft²).

The lands are owned and operated by Capital Truck Sales who are the largest heavy truck dealer in eastern Ontario. It is a family owned business that has been in this location for many years.

Due to expansions of their business activities there is a need for an expansion of the interior space requirements. This will enable them to house more of their truck inventory within buildings on site.

There will be landscaped and sodded areas along the street frontages of the property, and at the rear (north side) of the property. The existing access on the east-west segment of Cenote will be kept and the intent is to allow for an additional access on the north-south segment of Mayors Way as shown on the site plan. Between these 2 entrances on the subject property there will be a storm water management storage area and there will also be a storm water management storage area north of the proposed entrance on the north-south segment of Cenote. (see **Site Plan Drawing** in Appendix section)

The building has an existing footprint of 324 m² (3500 ft²) and the proposed building expansion will be 580 m² (6,243 ft²) for a total building footprint of 904 m² (9743 ft²). The existing building is roughly aligned to be parallel with the east-west segment of Cenote and perpendicular with Bank Street. The addition will be parallel with Bank Street. The height of the new addition to the midpoint of the roof is approximately 6.7 m. The height limit under the current zoning for this property is 15 m. (See **Building Elevation Drawings** in the Appendix Section)

A servicing study addressing the ability of the property to be serviced is being filed with this Site Plan application. No major issues or concerns were identified in the servicing study.

Architectural drawings showing the floor plans, exterior elevation drawings, survey plans, landscape plans and servicing studies/reports are also being filed with this site plan submission.

Zoning

Under Zoning By-law 2008-250 as amended, the subject lands are located within an RG zone (Rural General Industrial Zone). This is a zone which permits an automobile dealership and heavy equipment and vehicle sales, rental and servicing. The proposed uses of the site are in conformity with the existing zoning standards and the applicable setbacks and performance standards that are in effect for this zone.

As indicated in the zoning table on the site plan, the proposed expansion of the existing facility meets the performance standards related to setbacks, lot coverage and parking requirements.

The property is within an area along the east side of Bank Street that is either zoned RG or RH (Rural Heavy Industrial zone) and the expansion of the building footprint on this property meets the purpose of this zoning classification which are to:

- permit the development of light industrial uses in *areas mainly designated as General Rural Area, Village and Carp Road Corridor Rural Employment in the Official Plan*;
- accommodate a range of light industrial uses and limited service commercial uses for the travelling public; and,
- regulate development in a manner that respects adjacent land uses and will have a minimal impact on the surrounding rural area.

Provincial Policy Statement

The current Provincial Policy Statement (PPS) outlines the key matters of Provincial planning interest with respect to land use planning decisions made by municipal approval authorities. Any decisions that are made by municipal approval authorities must be consistent with the policies of the PPS. The latest version of the PPS will be in effect on May 1 2020.

The following are sections of the PPS that are applicable to additional development at 7409 Cenote and a *description* of how they are applicable

- 1.1.1 Healthy, liveable and safe communities are sustained by:
- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term; *The additional development on the site represents an efficient intensification of the site and will not create inefficient land use patterns in the area.*
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns. *The development and land use pattern proposed on this site is a logical expansion of the existing development on site and is in keeping with the nearby general rural and heavy industrial nature of surrounding properties and will not result in environmental or safety concerns.*
- 1.1.5.5 Rural lands in municipalities. Development shall be appropriate to the infrastructure which is planned or available and avoid the need for the unjustified and/or uneconomical expansion of this infrastructure. *The proposed expansion of the existing building will not require any additional demand on infrastructure and will not require the expansion of any infrastructure. The site currently operates on private services and will continue to do so and does not require full municipal services to be provided.*

- 1.1.5.6 Opportunities should be retained to locate new or expanding land uses that require separation from other uses. *This area along Bank Street and Cenote Drive has developed over time into an area of heavy industry with on site storage that benefit greatly from separation from other properties and also a separation from any nearby residential areas. The existing zoning permits these types of uses in this relatively concentrated area.*

Official Plan Designation – City of Ottawa Official Plan

The site is designated General Rural Area in the Rural Policy Plan of the City of Ottawa Official Plan.

This designation contains a **variety of land uses**, such as farms, rural housing, wood lots and forests, small industries, golf courses, and in many places, **existing clusters** of residential subdivisions and severances and **commercial development**. The intent of this designation is to accommodate a variety of land uses that are appropriate for a rural location and to limit the amount of residential development such that development will not preclude or resist continued agricultural and or other non-residential uses.

The proposed expansion of the existing rural commercial uses is within an existing cluster of related type uses and industries. Due to the relatively large parcel sizes for this use it is suitable to have this use within the General Rural area designation and the expansion of this use will not preclude the continued use of similar land uses for properties in the area. The location of the property within this designation will not result in any negative impacts and is in conformity with the policies in the Official Plan for the General Rural Area.

Key policies within the General Rural Area designation that are applicable to this development are:

- 3.7.2.1 a General Rural Areas are intended to provide for non-agricultural uses that, due to their land requirements or the nature of their operation, would not be more appropriately located within urban or Village locations. *The existing use and its proposed expansion represent uses that require relatively large lot sizes and with the sale and repair of trucks being their business it would be advantageous to be located away from urban or village locations. Similar lands uses are located nearby as the business park that this property is located within has attracted businesses that require large lot sizes. The proposed additional development on this property is located within the confines of the property and will not result in*

land use conflicts and it is an appropriate non-agricultural use in this General Rural Area designation

Conclusions

The proposed expansion of the existing truck sales building is consistent with the current zoning and Official Plan policies for these lands.

The site represents a sensitive development that will allow for:

- a well designed contemporary building to be located within an established neighbourhood of general and heavy rural industrial uses that will serve the needs of the truck sales business
- a building expansion that meets the current zoning regulations.
- buffering through landscaping and setbacks to adjacent properties and the expansion proposed is at a scale that will not cause negative impacts on surrounding properties.
- allowing an additional access point to the property from Cenote Drive will allow for greater on site flexibility in terms of the movement of trucks within the property and to Cenote Drive/Bank Street.

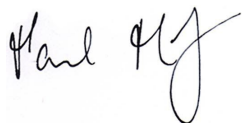
Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced under current engineering guidelines and requirements. .

Landscaping and amenity areas will be provided in the provided yards to provide screening and buffering to adjacent properties. The proposed building height of this development is less than the permitted maximum building height as outlined in the zoning by-law.

It is our opinion that the proposed development is consistent with the Provincial Policy Statement and the City of Ottawa Official Plan and relevant zoning regulations and represents good planning.

It is being proposed at an appropriate scale of development and is compatible with surrounding land uses and will contribute to the rural industrial community.

P H Robinson Consulting



Paul Robinson RPP

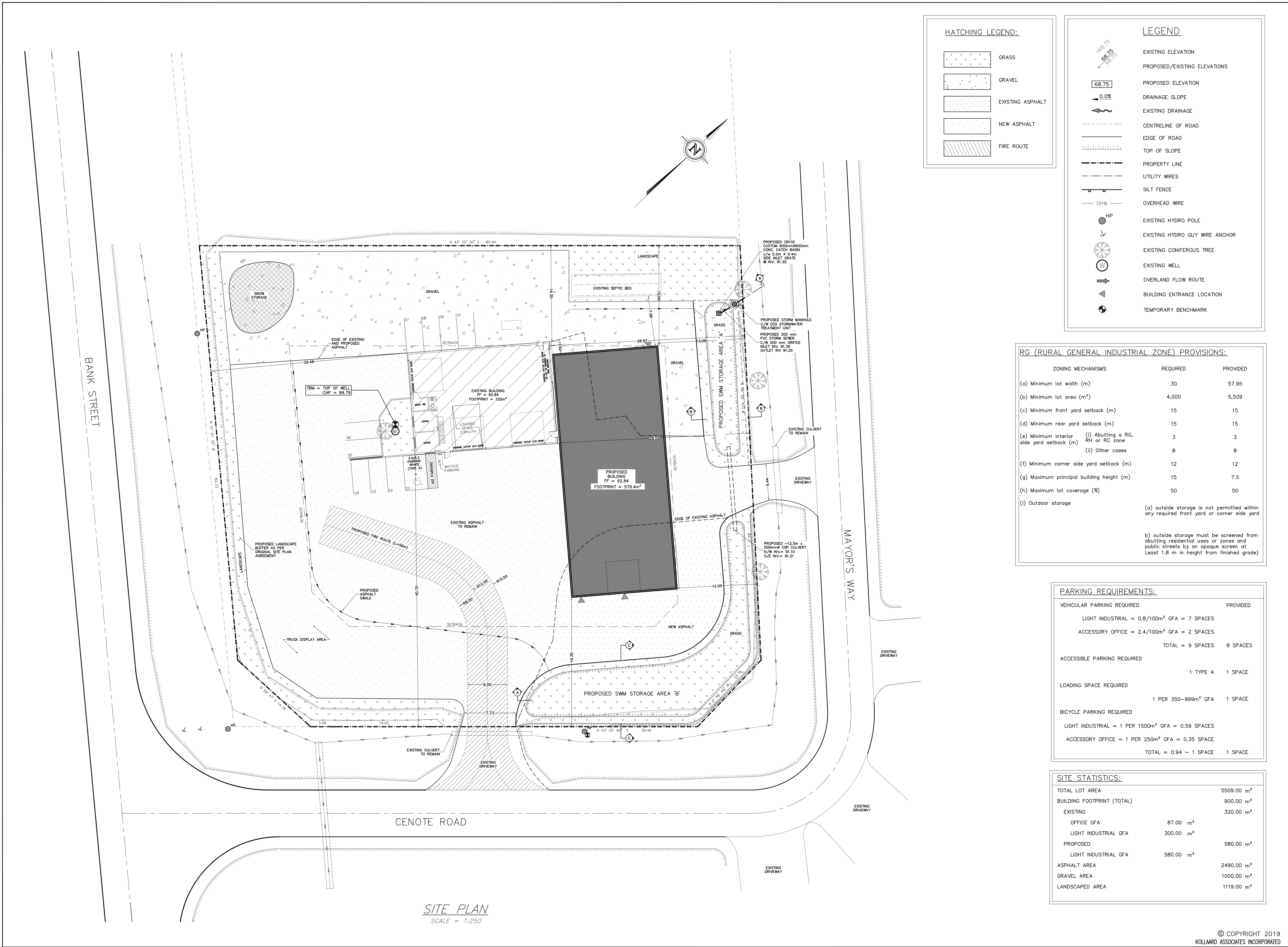
APPENDIX

**LOCATION PLAN
AS BUILT SURVEY PLAN
SITE PLAN
CIVIL ENGINEERING PLANS
LANDSCAPING PLAN
SITE PHOTOS**



7409 Cenote. Lands to the east, north and south used for heavy industrial and industrial/commercial purposes. Residential lands to the west on Greys Creek Road. The property is on the east side of Bank Street between Greely and Metcalfe.

Location Plan



SITE PLAN
SCALE = 1:250

HATCHING LEGEND:

[Pattern]	GRASS
[Pattern]	GRAVEL
[Pattern]	EXISTING ASPHALT
[Pattern]	NEW ASPHALT
[Pattern]	FIRE ROUTE

LEGEND

[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED/EXISTING ELEVATIONS
[Symbol]	PROPOSED ELEVATION
[Symbol]	DRAINAGE SLOPE
[Symbol]	EXISTING DRAINAGE
[Symbol]	CENTRELINE OF ROAD
[Symbol]	EDGE OF ROAD
[Symbol]	TOP OF SLOPE
[Symbol]	PROPERTY LINE
[Symbol]	UTILITY WIRES
[Symbol]	SILT FENCE
[Symbol]	OVERHEAD WIRE
[Symbol]	EXISTING HYDRO POLE
[Symbol]	EXISTING HYDRO GUY WIRE ANCHOR
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING WELL
[Symbol]	OVERLAND FLOW ROUTE
[Symbol]	BUILDING ENTRANCE LOCATION
[Symbol]	TEMPORARY BENCHMARK

RG (RURAL GENERAL INDUSTRIAL ZONE) PROVISIONS:

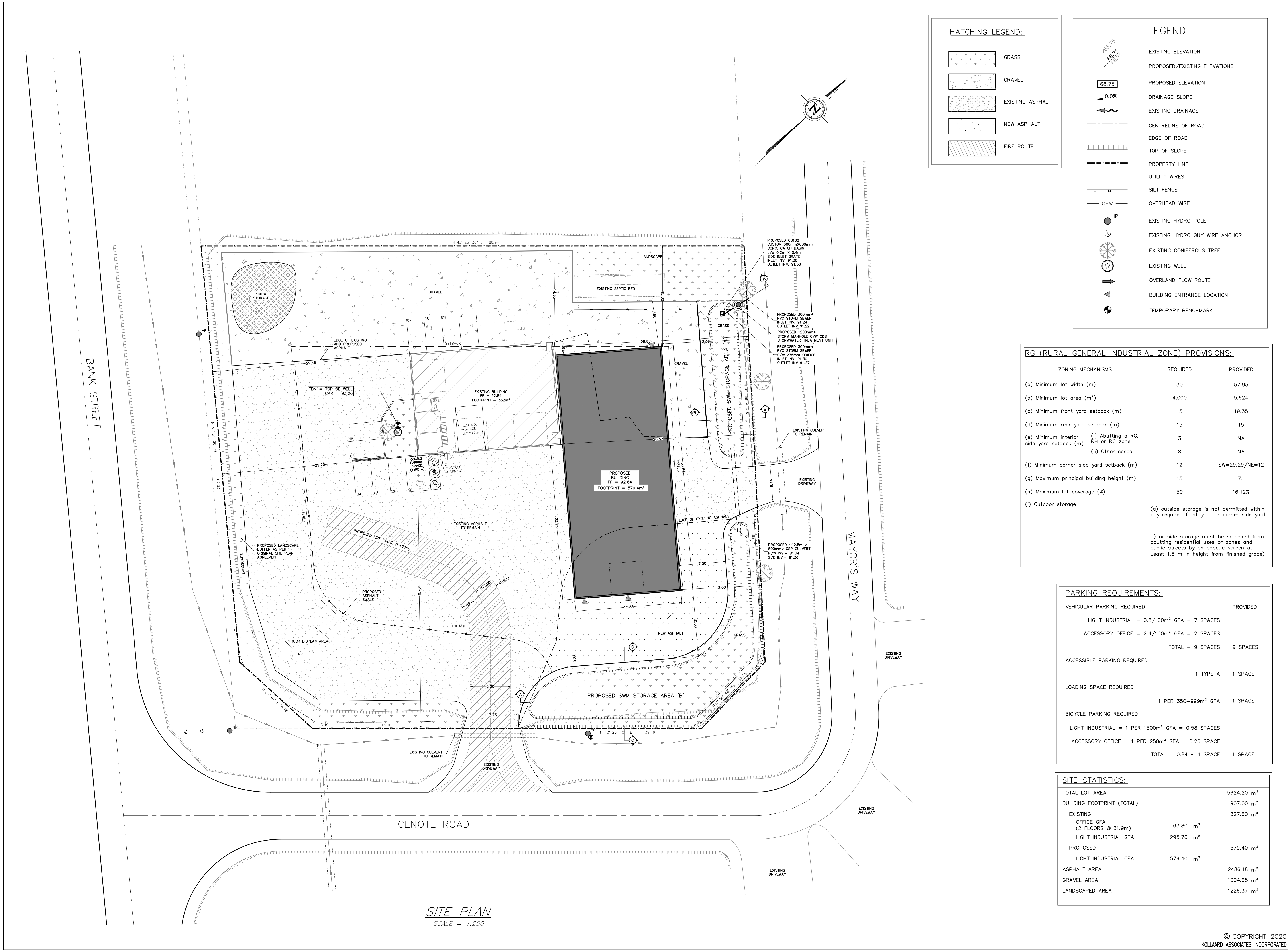
ZONING MECHANISMS	REQUIRED	PROVIDED
(a) Minimum lot width (m)	30	57.95
(b) Minimum lot area (m²)	4,000	5,509
(c) Minimum front yard setback (m)	15	15
(d) Minimum rear yard setback (m)	15	15
(e) Minimum interior side yard setback (m)	(i) Abutting a RG, RH or RC zone: 3 (ii) Other cases: 8	3 8
(f) Minimum corner side yard setback (m)	12	12
(g) Maximum principal building height (m)	15	7.5
(h) Maximum lot coverage (%)	50	50
(i) Outdoor storage	(a) outside storage is not permitted within any required front yard or corner side yard (b) outside storage must be screened from abutting residential uses or zones and public streets by an opaque screen at least 1.8 m in height from finished grade	

PARKING REQUIREMENTS:

VEHICULAR PARKING REQUIRED	PROVIDED
LIGHT INDUSTRIAL = 0.8/100m² GFA = 7 SPACES	
ACCESSORY OFFICE = 2.4/100m² GFA = 2 SPACES	
TOTAL = 9 SPACES	9 SPACES
ACCESSIBLE PARKING REQUIRED	1 TYPE A 1 SPACE
LOADING SPACE REQUIRED	1 PER 350-999m² GFA 1 SPACE
BICYCLE PARKING REQUIRED	
LIGHT INDUSTRIAL = 1 PER 1500m² GFA = 0.59 SPACES	
ACCESSORY OFFICE = 1 PER 250m² GFA = 0.35 SPACE	
TOTAL = 0.94 ~ 1 SPACE	1 SPACE

SITE STATISTICS:

TOTAL LOT AREA	5509.00 m²
BUILDING FOOTPRINT (TOTAL)	900.00 m²
EXISTING	320.00 m²
OFFICE GFA	87.00 m²
LIGHT INDUSTRIAL GFA	300.00 m²
PROPOSED	580.00 m²
LIGHT INDUSTRIAL GFA	580.00 m²
ASPHALT AREA	2490.00 m²
GRAVEL AREA	1000.00 m²
LANDSCAPED AREA	1119.00 m²



SITE PLAN
SCALE = 1:250

HATCHING LEGEND:

[Hatched Pattern]	GRASS
[Hatched Pattern]	GRAVEL
[Hatched Pattern]	EXISTING ASPHALT
[Hatched Pattern]	NEW ASPHALT
[Hatched Pattern]	FIRE ROUTE

LEGEND

[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED/EXISTING ELEVATIONS
[Symbol]	PROPOSED ELEVATION
[Symbol]	DRAINAGE SLOPE
[Symbol]	EXISTING DRAINAGE
[Symbol]	CENTRELINE OF ROAD
[Symbol]	EDGE OF ROAD
[Symbol]	TOP OF SLOPE
[Symbol]	PROPERTY LINE
[Symbol]	UTILITY WIRES
[Symbol]	SILT FENCE
[Symbol]	OVERHEAD WIRE
[Symbol]	EXISTING HYDRO POLE
[Symbol]	EXISTING HYDRO GUY WIRE ANCHOR
[Symbol]	EXISTING CONIFEROUS TREE
[Symbol]	EXISTING WELL
[Symbol]	OVERLAND FLOW ROUTE
[Symbol]	BUILDING ENTRANCE LOCATION
[Symbol]	TEMPORARY BENCHMARK

RG (RURAL GENERAL INDUSTRIAL ZONE) PROVISIONS:

ZONING MECHANISMS	REQUIRED	PROVIDED
(a) Minimum lot width (m)	30	57.95
(b) Minimum lot area (m ²)	4,000	5,624
(c) Minimum front yard setback (m)	15	19.35
(d) Minimum rear yard setback (m)	15	15
(e) Minimum interior side yard setback (m)	3	NA
(f) Minimum corner side yard setback (m)	12	SW=29.29/NE=12
(g) Maximum principal building height (m)	15	7.1
(h) Maximum lot coverage (%)	50	16.12%
(i) Outdoor storage	(a) outside storage is not permitted within any required front yard or corner side yard (b) outside storage must be screened from abutting residential uses or zones and public streets by an opaque screen of Least 1.8 m in height from finished grade)	

PARKING REQUIREMENTS:

VEHICLE PARKING REQUIRED	PROVIDED
LIGHT INDUSTRIAL = 0.8/100m ² GFA = 7 SPACES	
ACCESSORY OFFICE = 2.4/100m ² GFA = 2 SPACES	
TOTAL = 9 SPACES	9 SPACES
ACCESSIBLE PARKING REQUIRED	1 TYPE A 1 SPACE
LOADING SPACE REQUIRED	1 PER 350-999m ² GFA 1 SPACE
BICYCLE PARKING REQUIRED	
LIGHT INDUSTRIAL = 1 PER 1500m ² GFA = 0.58 SPACES	
ACCESSORY OFFICE = 1 PER 250m ² GFA = 0.26 SPACE	
TOTAL = 0.84 ~ 1 SPACE	1 SPACE

SITE STATISTICS:

TOTAL LOT AREA	5624.20 m ²
BUILDING FOOTPRINT (TOTAL)	907.00 m ²
EXISTING	327.60 m ²
OFFICE GFA (2 FLOORS @ 31.9m)	63.80 m ²
LIGHT INDUSTRIAL GFA	295.70 m ²
PROPOSED	579.40 m ²
LIGHT INDUSTRIAL GFA	579.40 m ²
ASPHALT AREA	2486.18 m ²
GRAVEL AREA	1004.65 m ²
LANDSCAPED AREA	1226.37 m ²

DRAWING NUMBER: 180138-SP

KEY PLAN:
N.T.S.

SCALE: 0 1 2 3 4 5 10 15 20
1:250 METRES

GENERAL NOTES:

- All dimensions are in metres; all elevations are in metres and are geodetic. TBM = Top of existing well cap on site adjacent to existing building. Elevation= 93.26.
- This is not a legal survey. Boundary information was derived from Plan 4R-15668 "Plan of survey of part W 1/2 Lot 11, Concession 6, Township of Osgoode, Regional Municipality of Ottawa-Carleton" completed by W.J. Johnston Ltd. on May 11, 2000. Project # J-049-00A.
- Contractor is responsible for location and protection of utilities.
- All dimensions to be verified on site by contractor prior to construction.
- Any changes made to this plan must be verified and approved by Kollaard Associates Inc.
- Client is responsible for acquiring all necessary permits. This drawing is not for construction until a building permit has been granted.
- The proposed grades have been set and verified for site grading control only. The grade raise at the building location should be verified with regard to subsurface conditions by qualified geotechnical personnel after completion of the excavation.
- The underside of footing elevation has been set based on the information available and may not have accounted for actual ground water conditions at the exact house location and should be verified by qualified geotechnical personnel upon completion of the excavation.
- A geotechnical engineer should be retained to provide recommendations with respect to the sub-grade conditions prior to footing installation.
- All materials and construction to be in accordance with City of Ottawa standards and Ontario Provincial Standards and Specifications; sewer and watermain material types; disinfection, provide minimum 2.4 metres of cover for water services, cathodic protection, City of Ottawa insulation specifications for watermain, pipe bedding, reinstatement of disturbed areas and leakage testing.
- Reference to Kollaard file #180138 for Storm Water Management Design, Kollaard file #180138 for Servicing Brief Report and Geotechnical Report file #180138.

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http://www.kollaard.ca

CLIENT:
CAPITAL TRUCK SALES
7409 CENOTE ROAD
OTTAWA, ONTARIO
K0A 2P0

PROJECT:
PROPOSED ADDITION

LOCATION:
7409 CENOTE ROAD
CITY OF OTTAWA

DESIGNED BY: ---
CHECKED BY: ---
DRAWN BY: ---
APPROVED BY: ---
DATE: APRIL 15, 2019
KOLLAARD FILE NUMBER: 180138

DRAWING NUMBER: 180138-SP
DRAWING NAME: SITE PLAN

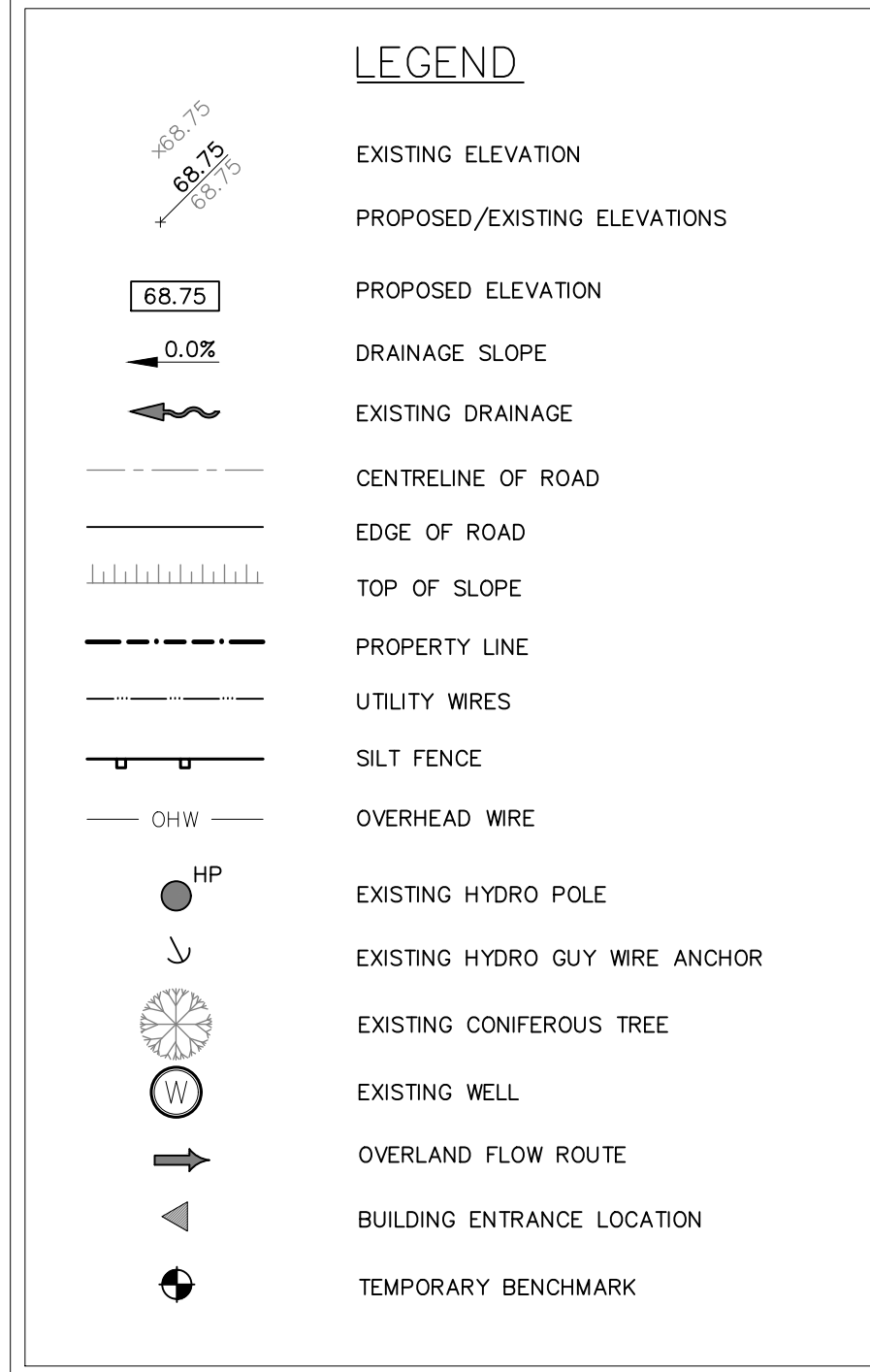
SEDIMENT & EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
2. THE OWNER (AND/OR CONTRACTOR) AGREES TO PREPARE AND IMPLEMENT AN EROSION AND SEDIMENT CONTROL PLAN AT LEAST EQUAL TO THE STATED MINIMUM REQUIREMENTS AND TO THE SATISFACTION OF THE CITY OF OTTAWA, APPROPRIATE TO THE SITE CONDITIONS, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL SUCH AS BUT NOT LIMITED TO INSTALLING A LIGHT DUTY SILT FENCE BARRIER AS SHOWN OF KOLLAARD ASSOCIATES INC. DRAWING# 180138-SGEC.
3. THE CONTRACTOR IS TO ENSURE THAT THE SITE ACCESS POINTS AND ADJACENT STREETS TO THE ACCESS POINTS ARE MAINTAINED AND KEPT CLEAN OF CONSTRUCTION MATERIALS SUCH AS, BUT NOT LIMITED TO MUD, DIRT, CLAY AND GRANULARS ON A DAILY BASIS OR AS NECESSARY, TO THE SATISFACTION OF THE CITY OF OTTAWA.
4. EVERY EFFORT WILL BE MADE TO ENSURE THAT ALL DISTURBED AREAS ARE TOPSOILED AND SEEDS AS SOON AS REASONABLY POSSIBLE.
5. THE SEDIMENT AND EROSION CONTROL PLAN IS A LIVING DOCUMENT WHICH MAY BE AMENDED BY ONSITE REQUIREMENTS AT THE APPROVAL OF THE MUNICIPALITY AND THE CONSERVATION AUTHORITY.

SEDIMENT & EROSION CONTROL PLAN REQUIREMENTS:

- TIME THE DEMOLITION AND EXCAVATION ACTIVITIES SO THAT THEY OCCUR NO SOONER THAN IS NECESSARY FOR SUBSEQUENT CONSTRUCTION ACTIVITIES.
- LANDSCAPE THE SITE AS SOON AS PRACTICALLY POSSIBLE.
- USE SILT FENCES AROUND ANY STOCKPILES OF SOIL.
- PRIOR TO CONSTRUCTION, SILT FENCE BARRIERS (OPSD 219.110) WILL BE PLACED ALONG THE PROPERTY LINES AS ON THE DRAWING.
- THE SILT FENCE SHOULD BE REMOVED ONLY WHEN THE SITE IS STABILIZED.
- INSTALL FILTER CLOTH ACROSS ALL EXISTING CATCH BASINS AND CATCH BASIN MANHOLES PRIOR TO CONSTRUCTION.
- INSTALL FILTER CLOTH ACROSS ALL PROPOSED CATCH BASINS, MANHOLES AND CATCH BASIN MANHOLES AS THEY ARE PLACED.

ON SITE PONDING LEVELS:
100 YEAR PONDING LEVEL: 91.75m
5 YEAR PONDING LEVEL: 91.55m
OVERFLOW ELEVATION: 91.85



GRADING NOTES:

1. FINISHED GRADE TO SLOPE AWAY FROM PROPOSED BUILDING AT A MINIMUM OF 1% GRADE. GRADE ELEVATIONS ARE AS INDICATED.
2. ALL MATERIALS AND CONSTRUCTION METHODS TO BE IN ACCORDANCE WITH THE CITY OF OTTAWA AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
3. ALL EXISTING AND PROPOSED GRADES ARE METRIC.
4. PROPOSED GRADES HAVE BEEN DESIGNED RELATIVE TO THE PROVIDED EXISTING GRADES.
5. ALL DISTURBED AREAS TO BE REINSTATED TO THE SATISFACTION OF THE ENGINEER AND THE CITY OF OTTAWA.
7. MATCH EXISTING ELEVATIONS AT ALL EXTERIOR PROPERTY LINES UNLESS NOTED OTHERWISE. ENSURE POSITIVE DRAINAGE WHETHER INDICATED OR NOT.
7. FOR DETAILS OF GROUND CONDITIONS, BUILDERS SHOULD CONSULT THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY KOLLAARD ASSOCIATES INC. FOR THE SITE PRIOR TO CONSTRUCTION. BUILDERS SHOULD OBTAIN A SUBGRADE INSPECTION REPORT FROM QUALIFIED ENGINEER PRIOR TO CONCRETE PLACEMENT.
8. DRIVEWAY, PARKING LOT AND BUILDING SUBGRADES SHALL BE INSPECTED BY A LICENSED GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF GRANULARS.
9. CONTRACTOR RESPONSIBLE FOR ALL LAYOUT FOR CONSTRUCTION PURPOSES.
10. CO-ORDINATE AND SCHEDULE ALL WORK WITH OTHER TRADES AND CONTRACTORS.
11. CONTRACTOR TO COMPLY WITH THE MUNICIPAL AUTHORITY REQUIREMENTS FOR TRAFFIC CONTROL WHEN WORKING NEAR MUNICIPAL STREET.
12. REFER TO SITE PLAN FOR BUILDING DIMENSIONS AND SITE LAYOUT. DIMENSIONS AND LAYOUT INFORMATION SHALL BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. THE CONTRACTOR SHALL CO-ORDINATE AND PAY FOR ALL CONSTRUCTION RELATED PERMITS, FEES, INSPECTIONS AND APPROVALS REQUIRED BY THE MUNICIPAL AUTHORITIES.
14. THE CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO BEGINNING AND SITE WORK.
15. RESTORE PAVEMENT STRUCTURE AND SURFACES ON EXISTING ROADS TO A CONDITION AT LEAST EQUAL TO ORIGINAL AND TO THE SATISFACTION OF THE MUNICIPAL AUTHORITIES.
16. ALL EDGES OF DISTURBED PAVEMENT SHALL BE SAW CUT TO FORM A NEAT AND STRAIGHT LINE PRIOR TO PLACING NEW PAVEMENT.

SEWER NOTES:

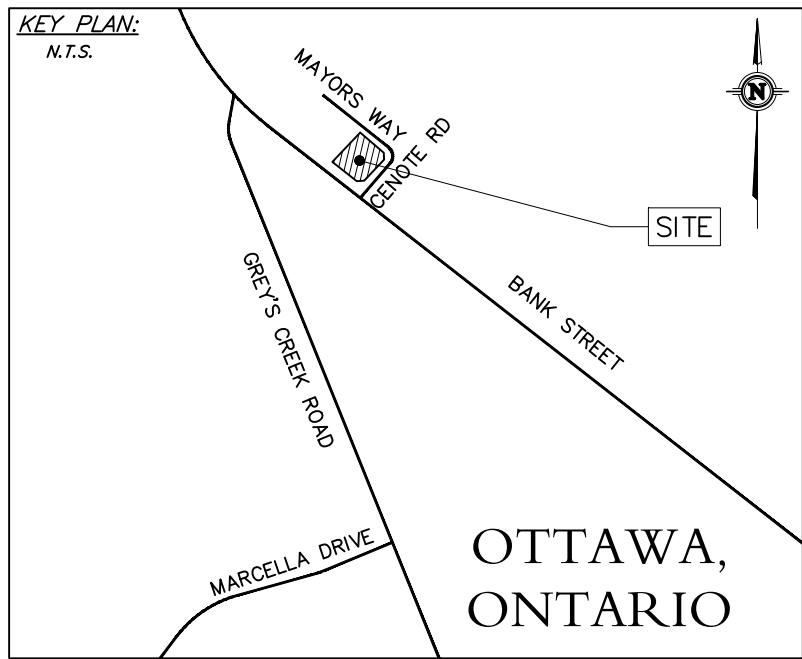
1. SUPPLY AND CONSTRUCT ALL SEWERS AND APPURTENANCES IN ACCORDANCE WITH THE CITY OF OTTAWA STANDARDS AND SPECIFICATIONS AND ONTARIO PROVINCIAL STANDARDS FOR ROADS AND PUBLIC WORKS.
2. SPECIFICATIONS:

ITEM	SPEC. No.	CITY STD DWG No.
CATCH BASIN (600mm x 600mm)	OPSD 705.010	S2
STORM/SANITARY MANHOLE (1200)	OPSD 701.010	
CATCH BASIN & MANHOLE ADJUSTMENTS	OPSD 704.010	
STORM MANHOLE FRAME & COVER	OPSD 401.010	S24.1 & S25
CATCH BASIN FRAME & COVER	OPSD 400.020	S19, S22 & S23
DITCHED PIPE STORM SEWER		S9
3. INSULATE ALL STORM PIPES THAT HAVE LESS THAN 1.5m COVER WITH THERMAL INSULATION. PROVIDE 150mm CLEARANCE BETWEEN PIPE AND INSULATION.
4. PIPE BEDDING, COVER AND BACKFILL ARE TO BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
5. STORM MANHOLES, CATCH BASINS AND CBHRS ARE TO HAVE 600mm SUMPS (AS PER SUMP DETAIL ON OPSD 701.010), UNLESS OTHERWISE INDICATED.
6. BUILDING CONTRACTOR TO PROVIDE TEMPORARY ADDITIONAL GRANULAR BACKFILL ABOVE SHALLOW CULVERTS AND STORM SEWERS TO SUPPORT HEAVY CONSTRUCTION EQUIPMENT.
7. CONTRACTOR TO TELEVIEW (CCTV) ALL PROPOSED SEWERS, 200mm OR GREATER PRIOR TO BASE COURSE ASPHALT. UPON COMPLETION OF CONTRACT, THE CONTRACTOR IS RESPONSIBLE TO FLUSH AND CLEAN ALL SEWERS & APPURTENANCES TO MUNICIPAL SATISFACTION.

SERVICING, GRADING & EROSION CONTROL PLAN

SCALE = 1:250

DRAWING NUMBER: 180138-SGEC



SCALE: 0 1 2 3 4 5 10 15 20
1:250 METRES

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(613) 860-0923
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KEMPVILLE, ONTARIO
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CLIENT:
CAPITAL TRUCK SALES
7409 CENOTE ROAD
OTTAWA, ONTARIO
K0A 2P0

PROJECT:
PROPOSED ADDITION

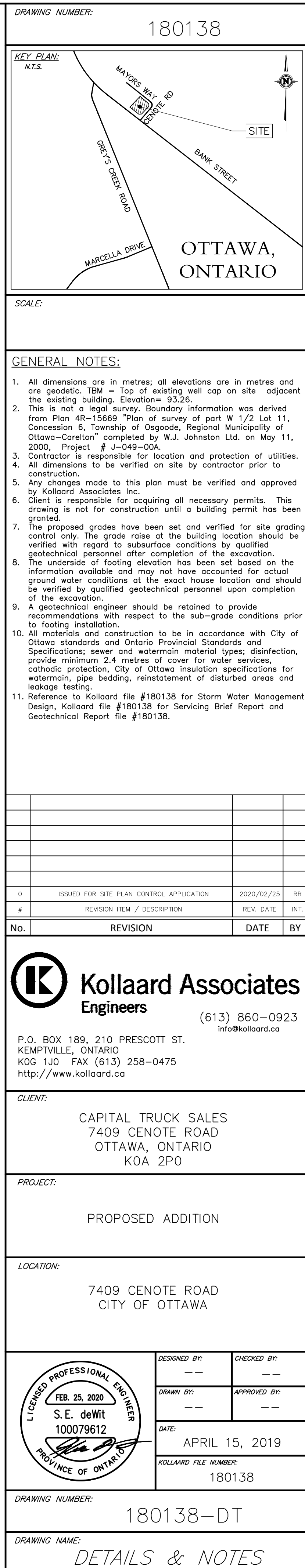
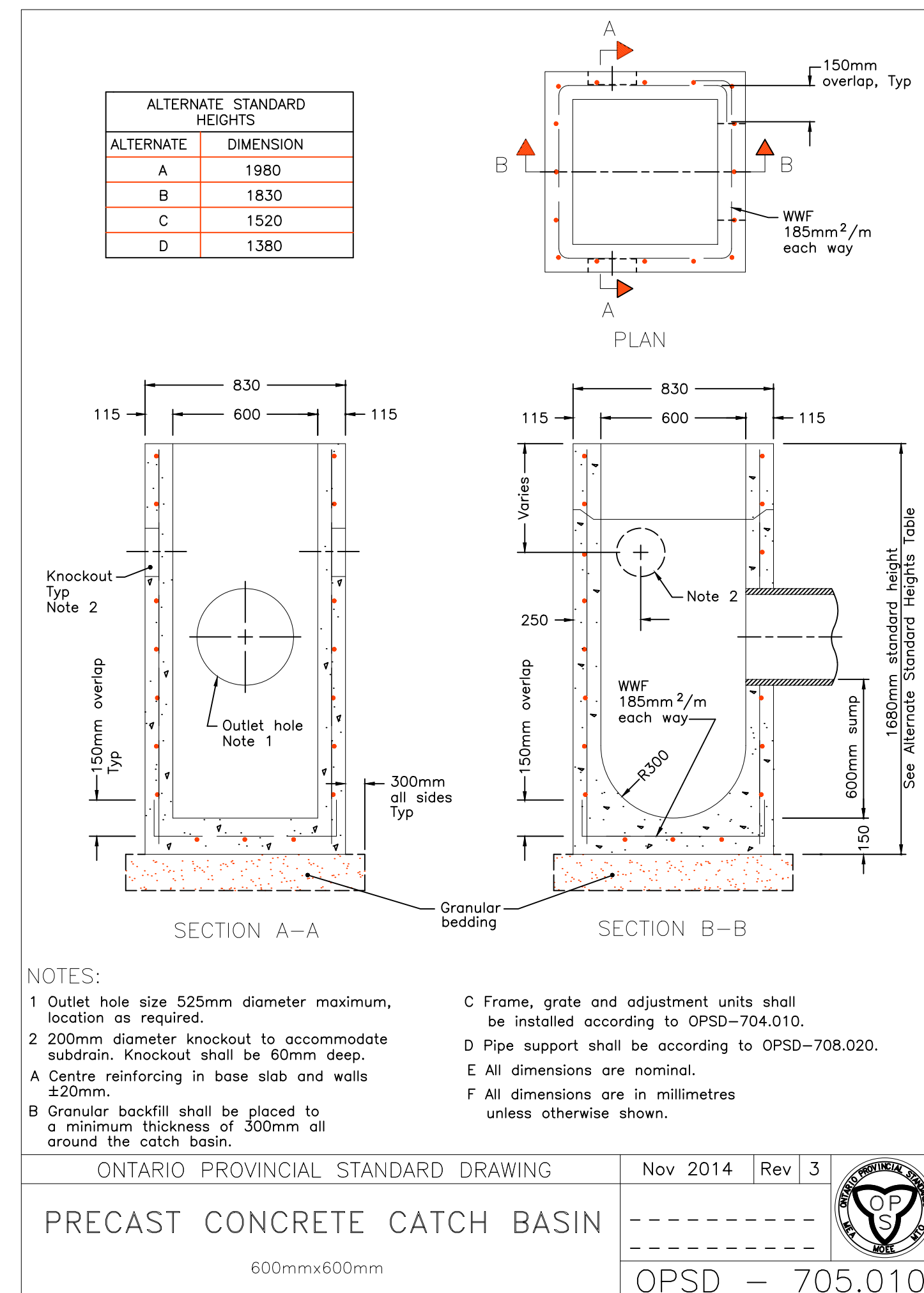
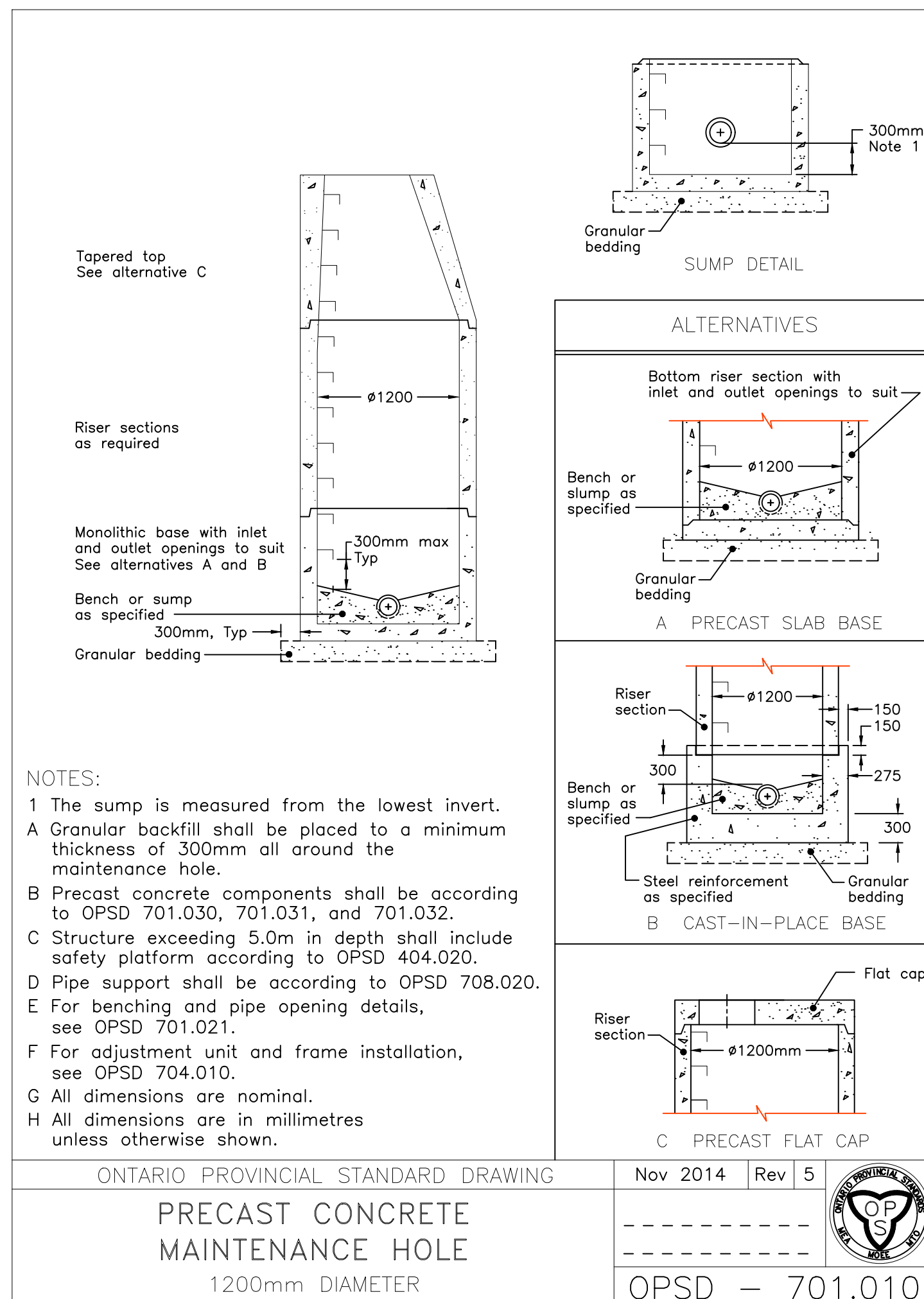
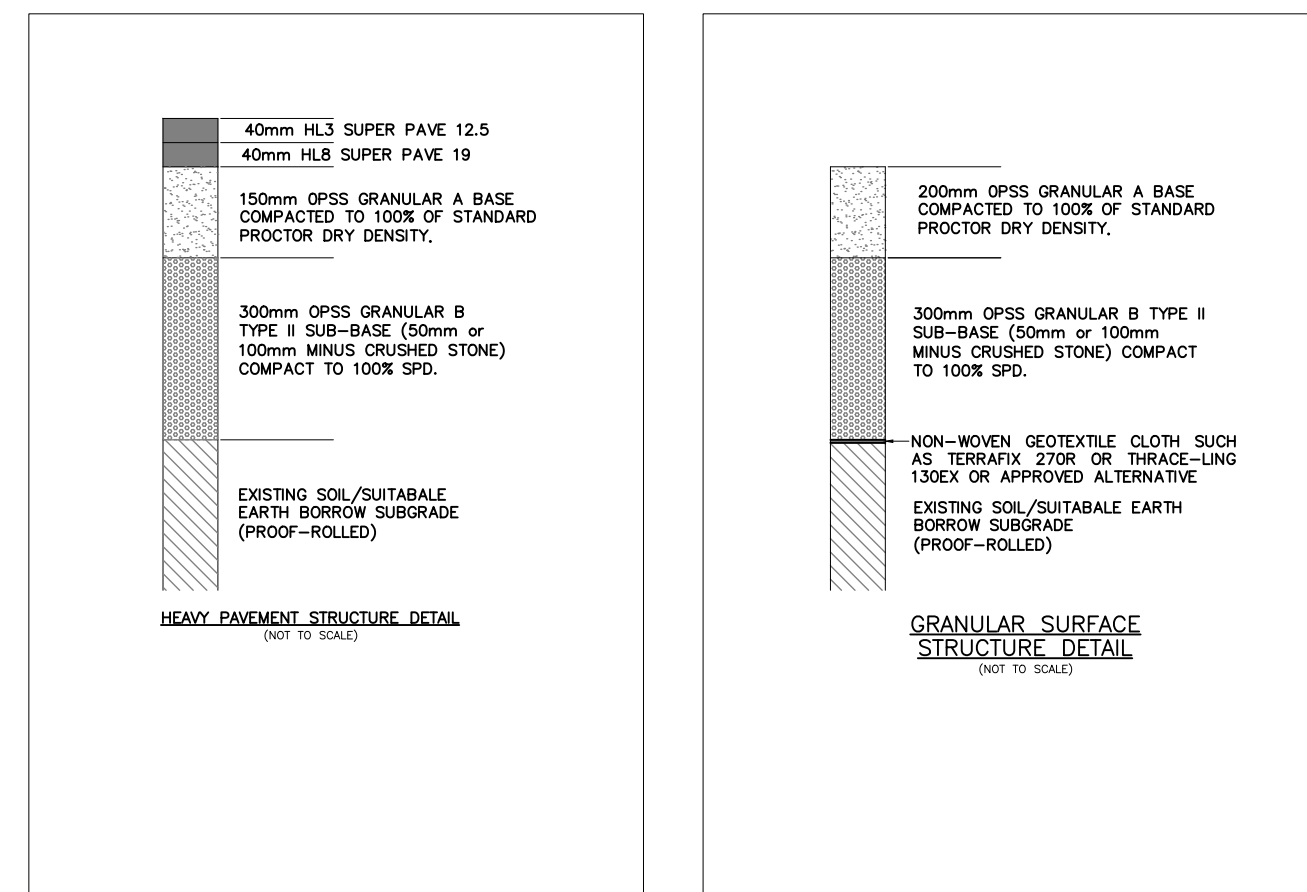
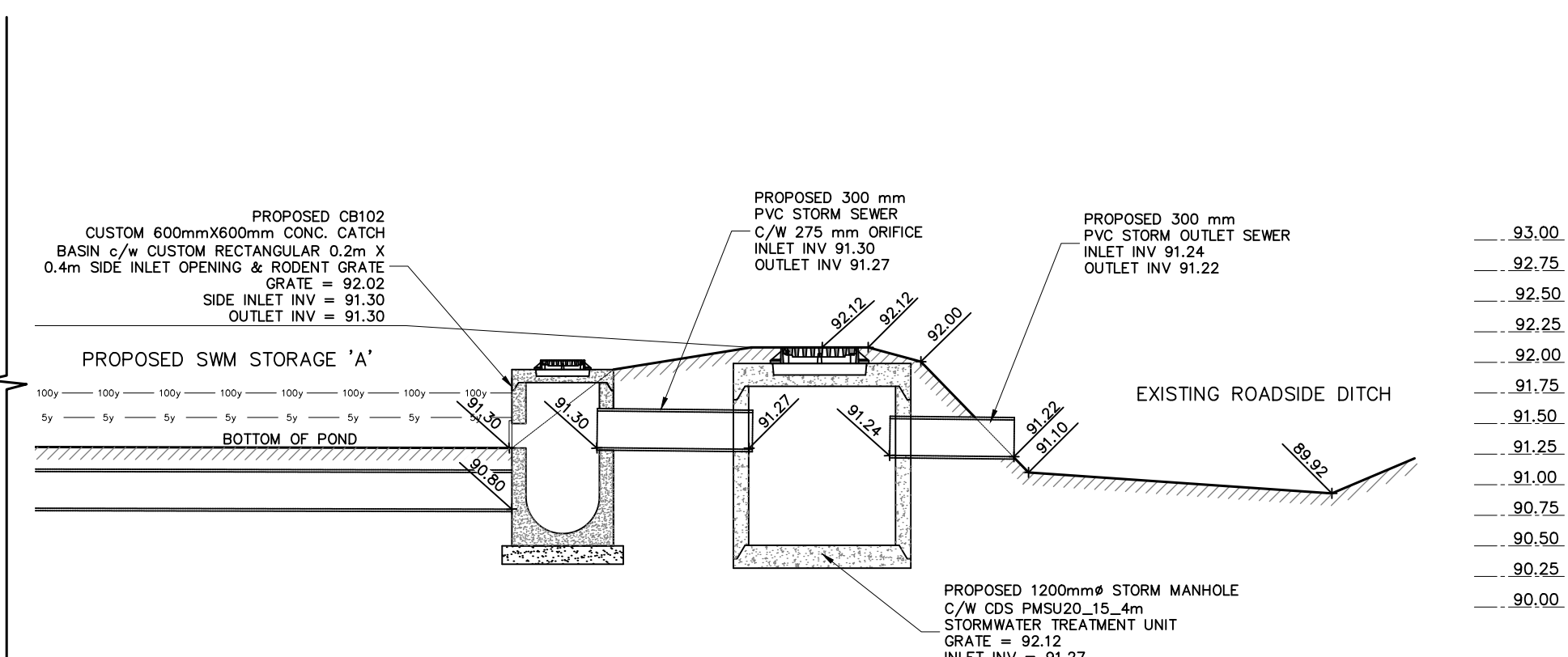
LOCATION:
7409 CENOTE ROAD
CITY OF OTTAWA

DESIGNED BY: SD
CHECKED BY: SD
DRAWN BY: RR
APPROVED BY: SD
DATE: JULY 9, 2019
KOLLAARD FILE NUMBER: 180138

DRAWING NUMBER: 180138-SGEC

DRAWING NAME: SERVICING, GRADING & EROSION CONTROL PLAN

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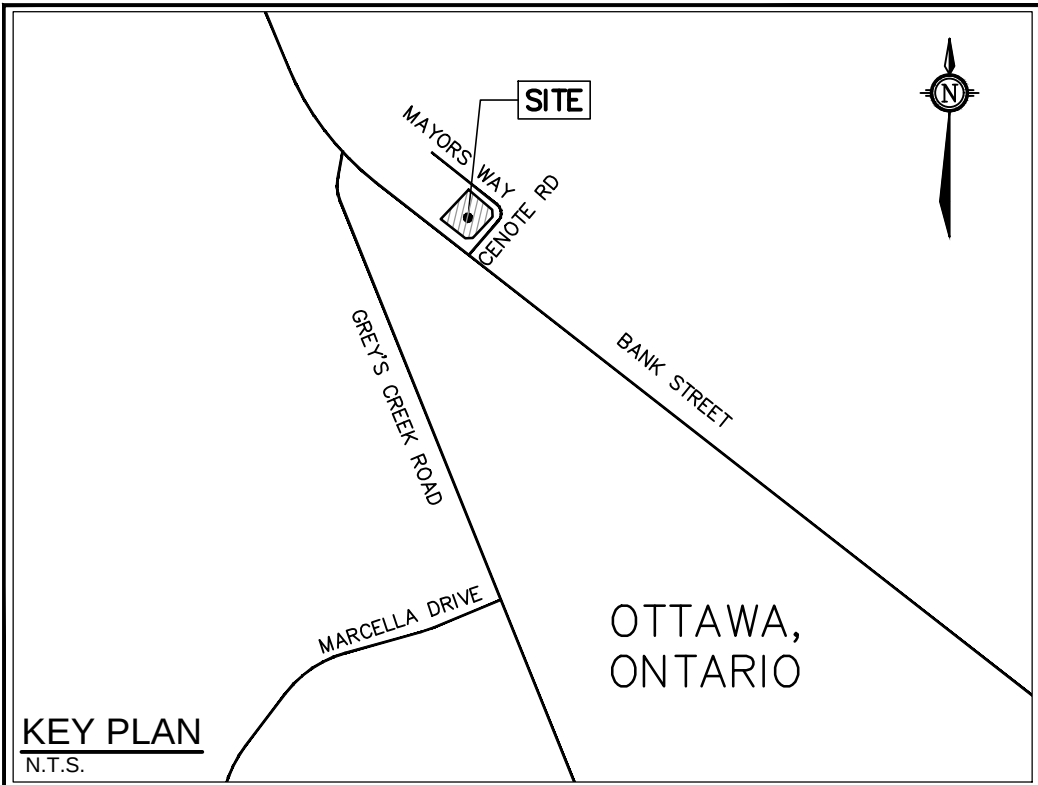
PRELIMINARY

SCALE		DESIGN
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		CHECKED
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		DRAWN
		MEL
		CHECKED
		SC
		APPROVED
		RGJ

NOVATECH
Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6
Telephone (613) 254-9644
Facsimile (613) 254-5867
Website www.novatech-eng.com

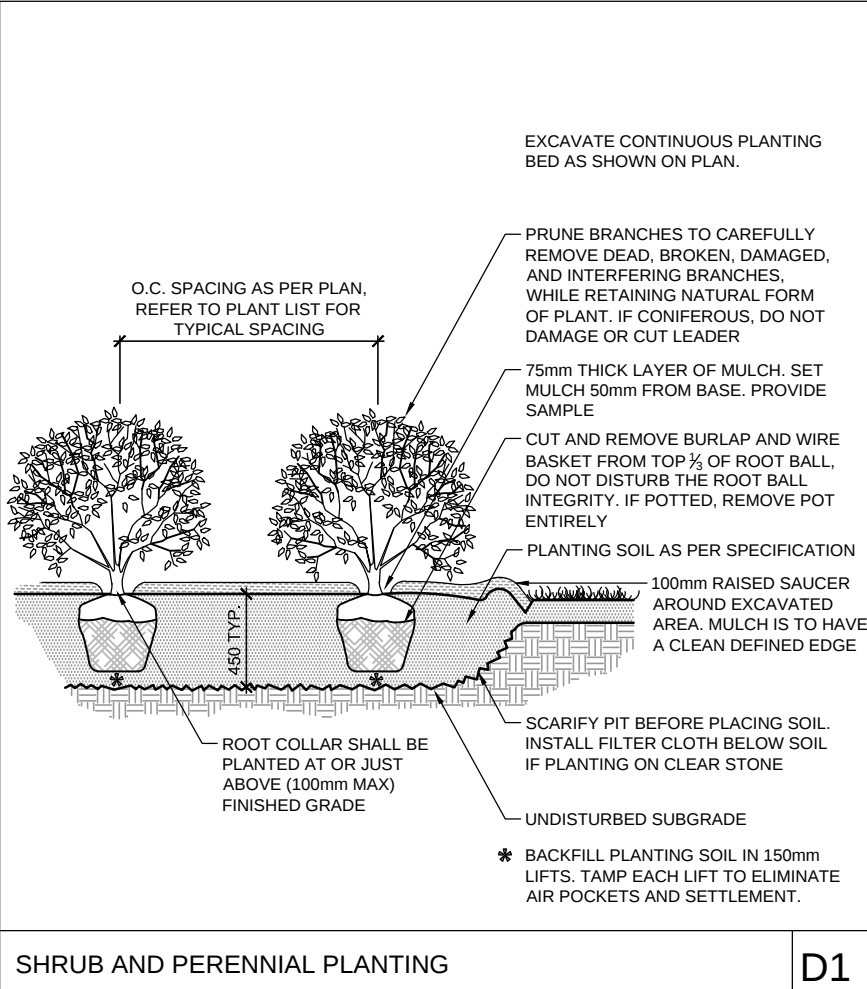
LOCATION CITY OF OTTAWA CAPITAL TRUCK CENTRE	
DRAWING NAME LANDSCAPE PLAN	PROJECT No. 120060-00
	REV REV #
	DRAWING No.

PLANA1.DWG - 841m x 594m



1. This drawing shall be read in conjunction with all relevant Architectural, Engineering, and related drawings and documents.
2. Refer to Engineering Drawings for Grading. Provide drainage as indicated in grading plan. Round all tops and toes of slopes, smoothly. Compact all areas to 95% Standard Proctor Density unless otherwise noted.
3. Refer to **Engineering Drawings for site layout.**
4. Refer to Engineering Drawings for site servicing.
5. Contractor must contact utility companies for locates prior to excavation or planting. It is essential to use the plans and details in conjunction with the specifications and notes.
6. Existing trees to be retained shall be protected according to the contract detail and specifications.
7. Plant material shall be No. 1 Grade and shall comply with Canadian Standards for Nursery Stock (latest edition) published by the Canadian Nursery Landscape Association.
8. Use plant material with strong fibrous root system free of disease, defects or injuries, and structurally sound. Use trees with straight trunks, well and characteristically branched for species. Obtain approval from consultant of plant material at source prior to digging. All trees and shrubs shall be container grown, potted, W/B or B/B, as indicated on Plant List. B/B or root pruning shall only be acceptable for certain species and as approved by the Landscape Architect.
9. Plant material substitutions shall not be permitted without the written approval from the consultant, **with 48 hours notice**, prior to shipping plant material.
10. Plant locations are schematic / approximate only. **Contractor shall stake out locations on site for approval by the Landscape Architect prior to installation.** The illustrated number of plants shown in the Planting Plan supersedes the estimated number in the Plant List. In the event of any discrepancy between the Planting Plan and the Plant List, the Planting Plan shall prevail. The contractor shall be responsible for the installation. Contractor will assume full responsibility if the Landscape Architect is not notified.
11. Shrubs, Perennials, Vines, and Groundcovers shall be planted in continuous planting bed of **450mm** depth with approved topsoil covered with **75mm** depth shredded bark mulch.
12. Ensure trees are thoroughly watered following planting. Monitor material and ensure adequate moisture until acceptance.
13. In heavy clay or poorly drained soils, set root ball with root collar 75-100mm higher than finished grade.
14. Sod and/or seed areas to receive **100mm** depth topsoil as specified. Sod shall be No. 1 Kentucky Bluegrass Sod grown from minimum mixture of 3 Kentucky Bluegrass cultivars. Quality and source shall comply with Canadian Standards for Nursery Stock, Section 17, (latest edition) published by the Canadian Nursery Landscape Nursery Landscape Association. Unless otherwise specified, turf is to be maintained by the contractor until it is accepted by the Landscape Architect.
15. Apply the following mineral fertilizer unless soil tests show other requirements: Sodded areas - (8-32-16) 8% Nitrogen, 32% Phosphorus, 16% Potash at a rate of 350kg/ha. Planting Beds - (8-32-16) 8% Nitrogen, 32% Phosphorus, 16% Potash as per manufacturer specifications.
16. Reinstall all areas damaged or disturbed beyond the Limit of Work.
17. Refer to specifications:
 - NOVA 8020 Imported Topsoil
 - NOVA 8030 Sod
 - NOVA 8040 Seed and Cover (Hydraulic Seeding)
 - NOVA 8060 Trees, Shrubs and Groundcover Planting
 - NOVA 8061 Maintenance of Planting

120606 L-1 Plant List						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING
Deciduous Shrubs						
Axi	27	<i>Aronia x Low Spacing</i> [UCCONNM165]	Low Spacing Mound Chokeberry	50cm Hb	PT	As Shown
Dia	14	<i>Davilla x Kodai</i> [Shi] [SMDOR50]	Kodai Black Honeysuckle	50cm Hb	PT	As Shown
Lxx	22	<i>Lonicera xylosteum</i> 'Emerald Mound'	Emerald Mound Honeysuckle	40cm Hb	PT	As Shown
Perennials						
dc	25	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	1g	PT	75cm O C
scb	25	<i>Scythachium scoparium</i> 'The Blues'	The Blues Little Bluestem	1g	PT	75cm O C



SITE PHOTOS



Existing building on site



Looking west towards the Cenote Road access to the property



Looking to the east along the north side of Cenote Road. Existing access shown.



Existing vegetation at the south east corner of the site