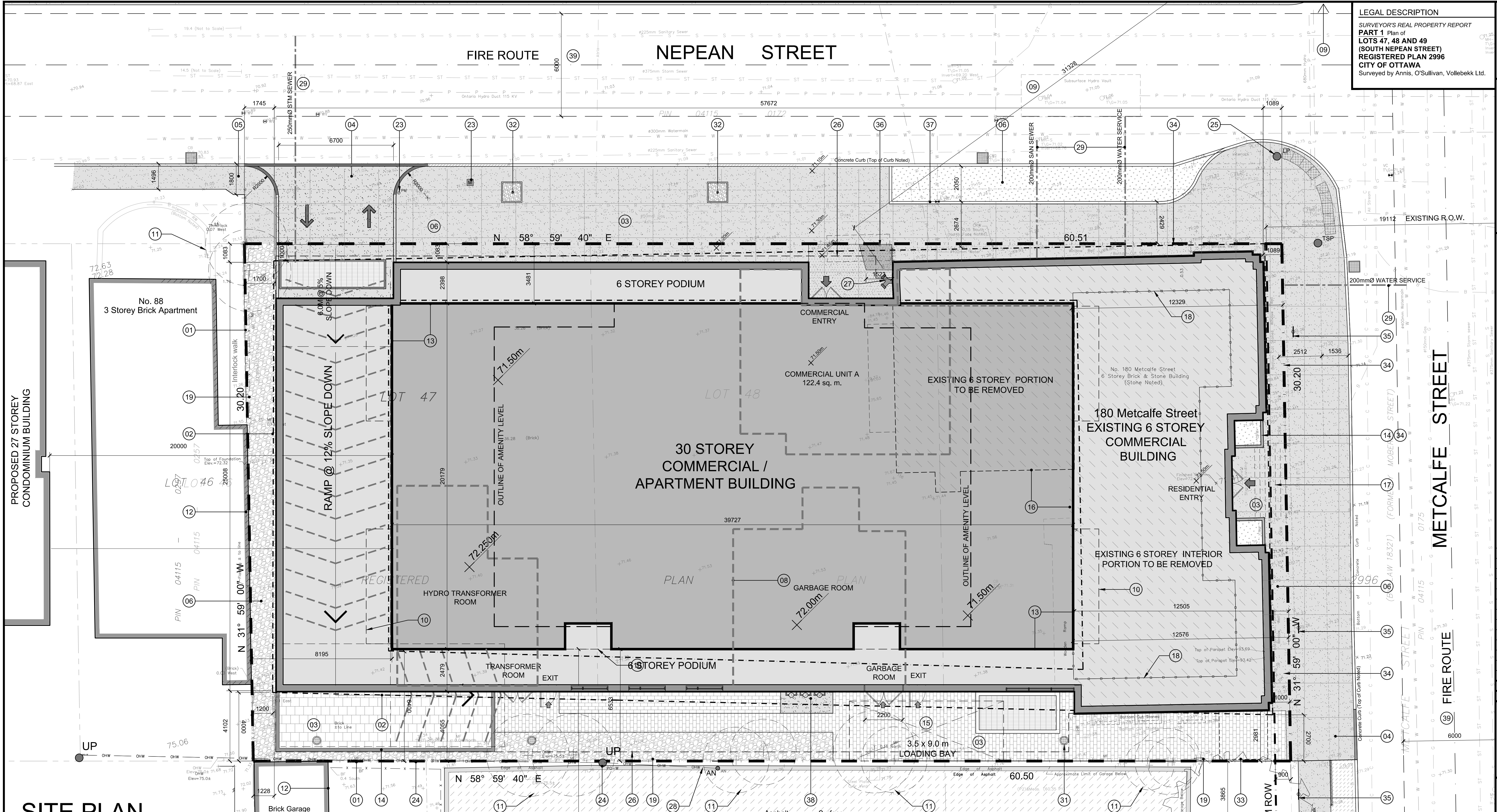




LEGAL DESCRIPTION
SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOTS 47, 48 AND 49
(SOUTH NEPEAN STREET)
REGISTERED PLAN 2996
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- (00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (00) INDICATES ASSEMBLY TYPE: REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- (00) INDICATES WINDOW TYPE: REFER TO WINDOW ELEVATIONS AND DETAILS ON A800 SERIES.
- (000) INDICATES DOOR TYPE: REFER TO DOOR SCHEDULE AND DETAILS ON A800 SERIES.
- (000) - DETAIL NUMBER
- (000) - TITLE
- (000) - SCALE
- (000) - DETAIL REFERENCE PAGE
- (000) - DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- (A) REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- (B) FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON A800 SERIES.
- (C) ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
- (D) ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- (E) ALL EXTERIOR WALLS ARE TO BE TYPE "W1" UNLESS NOTED OTHER WISE.
- (F) ALL INTERIOR PARTITIONS ARE TO BE TYPE "P1" UNLESS NOTED OTHER WISE.

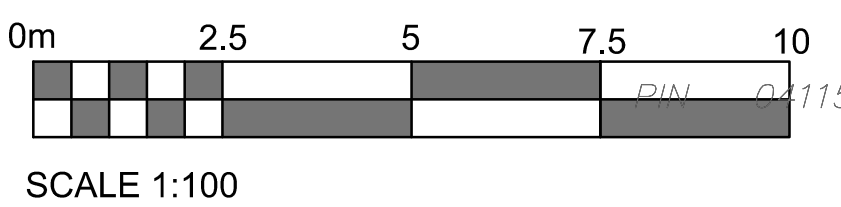
ISSUED FOR ZONING AMENDMENT APPLICATION	Apr. 17, 20
ISSUED FOR BUILDING PERMIT APPLICATION	June 19, 19
REVISED AS PER SPC COMMENT 3rd ROUND	Mar 25, 19
REVISED AS PER SPC COMMENT 2nd ROUND	Dec 17, 18
UPDATED AS PER SPC COMMENT LETTER Nov. 9	Nov 26, 18
ISSUED FOR SITE PLAN CONTROL APPLICATION	Aug 17, 18
ISSUED FOR CONSULTANT REVIEW	July 17, 18
ISSUED FOR ZONING AMENDMENT	Jan 11, 11

ARCHITECT SEAL: NORTH ARROW:

SEAL DATE: STAMP DATE

CLIENT:

SITE PLAN



DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACKS, SEE SCHEDULE 345
- HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
- DEPRESSED CURB TO CITY OF OTTAWA STANDARD DETAIL
- REPLACE EXISTING CONCRETE STREET CURB AND SIDEWALK TO CITY STANDARDS
- SOFT LANDSCAPING, SEE LANDSCAPE PLAN
- REPLACE ASPHALT BOULEVARD WITH SOFT LANDSCAPING
- GARBAGE ROOM
- EXISTING FIRE HYDRANT
- OUTLINE OF PRIVATE TERRACE ABOVE
- EXISTING TREE TO BE REMOVED
- EXISTING BUILDINGS ON ADJACENT PROPERTY
- OUTLINE OF TOWER ABOVE
- LOW PLANTER / RETAINING WALL
- LOADING SPACE 3.5 X 9.0 M
- OUTLINE OF EXISTING BUILDING
- EXISTING CONCRETE ENTRY STEPS TO BE REMOVED
- 7th FLOOR ROOF TERRACE
- EXISTING FENCE TO BE REMOVED
- EXISTING TREE TO BE PRESERVED
- PROPOSED SERVICES
- CATCH BASIN
- EXISTING PARKING METER, TO BE RELOCATED BY CITY OF OTTAWA
- EXISTING UTILITY POLE AND LINES TO BE REMOVED AS REQUIRED
- EXISTING UTILITY POLE TO REMAIN
- OUTLINE OF UNDERGROUND PARKING LEVEL
- SIAMSE CONNECTION
- EXISTING UTILITY POLE GUIDE WIRE TO BE REMOVED
- PROPOSED BUILDING SERVICES, SEE CIVIL
- BICYCLE RACK, SEE LANDSCAPE
- DECK DRAIN, SEE CIVIL
- PLANTER WITH TREE
- REMOVE 1 STOREY ADDITION
- REMOVE EXISTING METAL GUARD RAILING AND CONCRETE WINDOW WELL
- EXISTING BOLLARD STYLE BIKE RACK
- RAISED ENTRANCE WALK WITH DEPRESS AREA 1:10 SLOPE, TO CONFORM TO OBC 3.8.3.2 (2)
- 150mm WIDE FLUSH CONCRETE CURB EDGER
- GAS EQUIPMENT / BLOW OFF STATION
- 6.0m WIDE FIRE ACCESS ROUTE ON CITY STREET

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- PROPOSED CONCRETE SURFACE
- EXISTING HERITAGE BUILDING
- ASPHALT SURFACE
- RIVER STONE
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- UNIT BALCONY DOOR / FIRE EXIT
- PROPERTY LINE
- ZONING SETBACKS
- EXISTING TREE TO BE REMOVED
- DECK DRAIN

PROJECT INFORMATION

ZONING R58(2264) Schedule 345 (CITY OF OTTAWA DEFINITION)

SITE AREA 1,826.82 sq. m. (19,664 sq. ft.)

BUILDING HEIGHT As Per COA Decisions D08-02-18/A-00395 84.5 M

FRONT YARD SETBACK 1.0 M

CORNER SIDE YARD SETBACK 0.0 M

INTERIOR YARD SETBACK 2.7 M

REAR YARD SETBACK 1.2 M

LANDSCAPE AREA AS PER COA DECISION D08-02-18/A-00395 11.8%

PROJECT STATISTICS

BUILDING HEIGHT	94.2 M
FRONT YARD SETBACK (EXISTING)	1.0 M
CORNER SIDE YARD SETBACK	1.5 M
INTERIOR YARD SETBACK	2.7 M
REAR YARD SETBACK	1.2 M

BUILDING STATISTICS

GROSS BUILDING - AREAS (CITY OF OTTAWA DEFINITION)

PARKING LEVEL - P1 & TYPICAL	0.0 sq. m.
GROUND FLOOR	210.2 sq. m.
2nd FLOOR	2,263 sq. ft.
3rd to 8th FLOOR	4 x 1,164.6 sq. m. 4,658.5 sq. m.
7th FLOOR	4 x 12,536 sq. ft. 50,144 sq. ft.
8th to 28th FLOOR	22 x 632.5 sq. m. 13,914.6 sq. m.
AMENITY LEVEL	914.3 sq. m. 9,842 sq. ft.
MECHANICAL PENTHOUSE	0.0 sq. ft.
TOTAL AREA	20,241.0 sq. m. 217,872 sq. ft.

UNIT STATISTICS

SUITES	31
1 BEDROOM	121
1 BEDROOM + STUDY	81
2 BEDROOM UNIT	70
TOTAL	311
COMMERCIAL RETAIL	122.36 sq. m. 1,317 sq. ft.

CAR PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT (311 UNITS)	150
VISITOR	- 0.1 PER UNIT (AFTER 12 UNITS)	30
COMMERCIAL RETAIL	- COMBINED WITH VISITOR	0
TOTAL		180

PROVIDED

RESIDENCE	- 0.50 PER UNIT (311 UNITS)	158
VISITOR	- 0.1 PER UNIT (AFTER 12 UNITS)	30
COMMERCIAL RETAIL	- COMBINED WITH VISITOR	0
TOTAL		188

BICYCLE PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT (311 UNITS)	158
COMMERCIAL	- 1.0 PER 250m ² OF G.F.A.	1
TOTAL		157

PROVIDED

INTERIOR		201
----------	--	-----

LANDSCAPE OPEN AREA

BUILDING FOOTPRINT = 1,442.04 sq. m. 78.97%
DRIVING SURFACE = 168.06 sq. m. 9.18%
LANDSCAPE SURFACE = 216.72 sq. m. 11.85%
TOTAL = 1,826.82 sq. m. 100.00%

AMENITY SPACE

PRIVATE PATIOS / BALCONIES = 1,299.0 sq. m.
COMMUNAL INTERNAL AMENITY - 1st LEVEL = 219.3 sq. m.
COMMUNAL INTERNAL AMENITY - 1st LEVEL = 220.0 sq. m.
COMMUNAL EXTERIOR PATIO - 7th LEVEL = 193.5 sq. m.
COMMUNAL INTERIOR AMENITY - 7th LEVEL = 100.4 sq. m.
COMMUNAL INTERIOR AMENITY - 30th LEVEL = 368.7 sq. m.
COMMUNAL ROOF TOP PATIO = 68.0 sq. m.
AT GRADE INTERIOR SIDE YARD = 128.0 sq. m.
TOTAL = 2,587.9 sq. m.
TOTAL COMMUNAL = 1,298.9 sq. m.

REQUIRED - 6.0M² PER UNIT (311) = 1,866 sq. m.
REQUIRED COMMUNAL @ 50% = 933 sq. m.

PROJECT DEVELOPER

Jadco Group
345 Boulevard Samson, Suite 100
Laval, QC, H7X 2Z7
Tel: (613) 791-1970
E-Mail: slabelle@jadcogroup.com

LEGAL DESCRIPTION

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOTS 47, 48 AND 49
(SOUTH NEPEAN STREET)
REGISTERED PLAN 2996
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

JADCO GROUP

345 Boulevard Samson, Laval, QC H7X 2Z7

ARCHITECT:
RODERICK LAHEY
ARCHITECT INC
1501 CARLING AVENUE, SUITE 200 OTTAWA, ONTARIO K1Z 7M1
t. 613.724.9932 f. 613.724.1209 www.roderricklahey.ca

180 METCALFE STREET

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN

DRAWN: RV
SCALE: 1:100
PROJECT No: 1808

CHECKED: J.S.
SHEET No:
SP-1