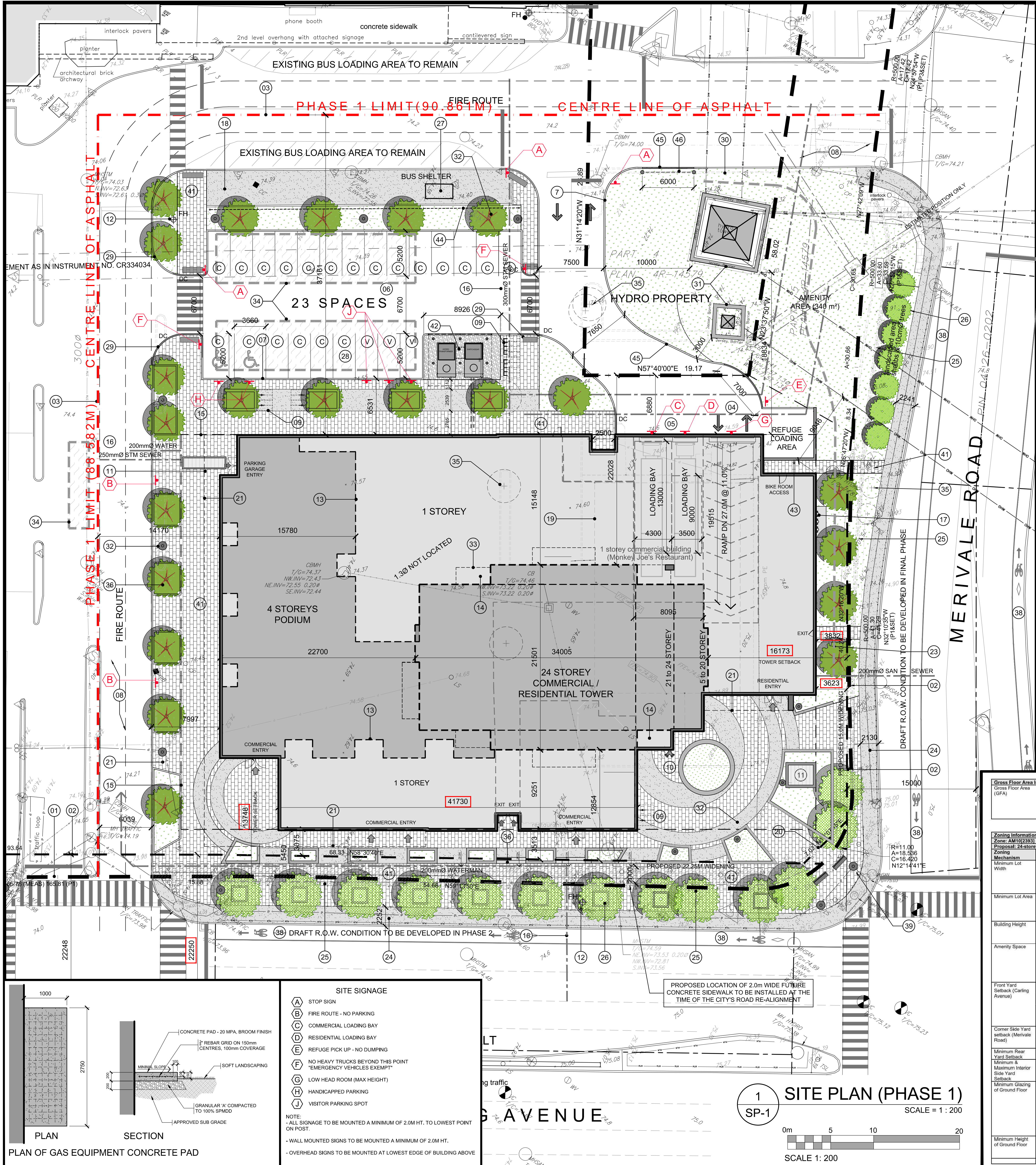




KEY MAP

LEGAL DESCRIPTION
TOPOGRAPHIC PLAN of
LOTS 45, 46, 50 TO 57 INCLUSIVE AND
PART OF LOT 49
REGISTERED PLAN NO. 348 AND PART OF
LOT 48, NO. 311 AND PART OF LOTS 22 & 23
CONCESSION 1 (OTTAWA FRONT)
(GEOGRAPHIC TOWNSHIP OF NEPEAN)
CITY OF OTTAWA

PROJECT DEVELOPER
RioCan
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- DRAWING NOTES**
- PROPERTY LINE
 - PROPOSED ROAD WIDENING
 - PHASING LINE
 - PARKING GARAGE ENTRY DRIVEWAY / RAMP WITH TRENCH DRAIN
 - GARAGE / LOADING BAY ENTRY
 - COMMERCIAL / VISITOR ASPHALT PARKING LOT
 - 150mm BARRIER CURB
 - EXISTING SITE ENTRY TO REMAIN
 - BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK
 - SIAMSE CONNECTION
 - AIR INTAKE / EXHAUST GRILL
 - FIRE HYDRANT
 - OUTLINE OF PODIUM LEVELS ABOVE
 - OUTLINE OF TOWER LEVELS ABOVE
 - OUTLINE OF UNDERGROUND PARKING LEVELS
 - PROPOSED LOCATION OF UNDERGROUND UTILITIES
 - GAS REGULATOR / METER EQUIPMENT AREA
 - EX. CONCRETE SIDEWALK WITH STREET CURB TO BE REBUILT
 - EXISTING 1 STOREY BUILDING TO BE REMOVED
 - 5.0 x 5.0m SITE TRIANGLE
 - CANOPY ABOVE GROUND FLOOR
 - SITE FURNITURE - SEE LANDSCAPE PLAN
 - SWALE - SEE CIVIL PLAN
 - EXISTING CITY SIDEWALK
 - EXISTING WALL / FENCE TO BE REMOVED
 - EXISTING CITY TREES TO REMAIN
 - EXISTING BUS STOP / SHELTER TO REMAIN
 - STANDARD PARKING SPACE 2.6 x 5.2 m
 - DEPRESSED CURB WITH TWSI AS REQUIRED
 - EXISTING PARKING LOT / CURBS / ISLANDS / LIGHTS POLES. TO BE REMOVED
 - EXISTING HYDRO TOWER WITH CONCRETE BARRIERS AT BASE
 - LIGHT STANDARD
 - BALCONY ABOVE
 - STORM WATER STORAGE SYSTEM
 - EXISTING TREE TO BE REMOVED
 - LOW STEP, MAXIMUM HEIGHT 190mm
 - EXISTING BLACK METAL CITY BENCH
 - BICYCLE LANE
 - STREET / SIDEWALK LIGHTING
 - DISABLED PARKING SPACE 3.66 x 5.2 m
 - 2.0M WIDE PEDESTRIAN - HARD SURFACE WALK
 - HYDRO TRANSFORMER / EQUIPMENT
 - RETAINING WALL, UNDER 0.6 m
 - 1.2 m HT. BLACK METAL PICKET FENCE
 - DEPRESSED CURB
 - BOLLARD WITH BAR STYLE GATE

PROJECT INFORMATION

ZONING
AM10(2393) S368

SITE AREA
36,896 sq. m.
(397,145) sq. ft.

BUILDING HEIGHT
AREA 'A' = 24 STOREYS
AREA 'B' = 36 STOREYS

AMENITY AREA - 6m² PER UNIT
1,216 sq. m.

PROJECT STATISTICS - PHASE 1 ONLY

SITE AREA
7,191.2 sq. m.
(77,405) sq. ft.

BUILDING HEIGHT
(78.0 M) 24 STOREYS

AVERAGE MEAN GRADE
(GEO. ELEV.) 74.80

GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

PARKING LEVELS (2 LEVELS U/G)	0.0 sq. m. (000) sq. ft.
GROUND FLOOR	1,804.1 sq. m. (19,419) sq. ft.
2nd to 4th FLOOR	3 x 1,045.0 sq. m. 3 x 11,240 sq. ft.
5th FLOOR	0.0 sq. m. (0) sq. ft.
6th to 10th FLOOR	5 x 510.9 sq. m. 5 x (5,496) sq. ft.
11th to 20th FLOOR	10 x 515.05 sq. m. 10 x (5,544) sq. ft.
21st & 22nd FLOOR	2 x 460.8 sq. m. 2 x (4,968) sq. ft.
23rd & 24th FLOOR	2 x 393.8 sq. m. 2 x (4,239) sq. ft.
MECHANICAL FLOOR	0.0 sq. m. (000) sq. ft.
TOTAL AREA	14,532.8 sq. m. (154,492) sq. ft.

UNIT STATISTICS

STUDIO UNIT	13
1 BEDROOM UNIT	135
2 BEDROOM UNIT	65
TOTAL	213
COMMERCIAL RETAIL	1,612.3 sq. m. (17,358) sq. ft.
COMMERCIAL RESTAURANT	191.8 sq. m. (2,065) sq. ft.

AMENITY AREA

EXTERIOR COMMUNAL AT GRADE	340.0 sq. m. 3,660 sq. ft.
5th FLOOR COMMUNAL AMENITY ROOM	460.9 sq. m. 4,943 sq. ft.
5th FLOOR COMMUNAL ROOF TOP PATIO	645.0 sq. m. 6,943 sq. ft.
PRIVATE BALCONIES	1,505.0 sq. m. 16,200 sq. ft.
TOTAL =	2,951.9 sq. m. 31,750 sq. ft.
REQUIRED - 6.0M ² PER UNIT (213) =	1,278.0 sq. m. 13,796 sq. ft.
REQUIRED COMMUNAL @ 50% =	639.0 sq. m. 6,878 sq. ft.
TOTAL =	7,191.2 sq. m. 77,405 sq. ft.

LOT COVERAGE

PAVED SURFACE =	1,849.9 sq. m.	25.7%
BUILDING FOOTPRINT =	2,830.0 sq. m.	39.3%
LANDSCAPE OPEN SPACE =	2,512.3 sq. m.	35.0%
TOTAL =	7,191.2 sq. m.	100.0%

CAR PARKING - PROVIDED

RESIDENTIAL UNITS	0.61 per UNIT	124
RESIDENTIAL VISITOR	0.1 per UNIT	20
COMMERCIAL RETAIL	3.24 per 1,000 sq. ft.	64
COMMERCIAL CAFÉ		0
TOTAL		208
STANDARD PARKING SPACE	2.6 x 5.2 m	185
SMALL CAR PARKING SPACE	2.4 x 4.6 m	18
HANDICAPPED SPACE	3.66 x 5.2 m	5

NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

ISSUED FOR REVIEW	May 6, 20
REVISED HYDRO CLEARANCES	Apr. 8, 20
ISSUED FOR CONSTRUCTION	Mar. 5, 20
ISSUED FOR TENDER # 4	Jan. 17, 20
ISSUED FOR PUBLIC MEETING	Oct. 31, 19
ISSUED FOR CONCRETE & REBAR TENDER	Oct. 18, 19
GENERAL REVISION - NOT ISSUED	Oct. 9, 19
ISSUED FOR SPC ROUND #4 COMMENTS	Sept. 10, 19
ISSUED FOR BUILDING PERMIT	Sept. 3, 19
ISSUED FOR EXCAVATION PERMIT	Aug. 22, 19
ISSUED FOR EXC. / ELEV. / R.A. TENDER	Aug. 22, 19
HYDRO CHANGES	Aug. 15, 19
ISSUED FOR SPC ROUND #3 COMMENTS	July 17, 19
ISSUED FOR 33% REVIEW	June 7, 19
ISSUED ZONING STAT SHEETS	June 3, 19
ISSUED FOR SPC ROUND #1 COMMENTS	Mar. 22, 19
ISSUED FOR HYDRO EM STUDY	Mar. 14, 19
ISSUED FOR CONSULTANT COORDINATION	Feb. 28, 19
ISSUED FOR COMMUNITY MEETING	Jan. 09, 19
ISSUED FOR SITE PLAN CONTROL	Oct. 31, 18
ISSUED FOR ZONING AMENDMENT	Dec. 21, 15

ARCHITECT SEAL:
ARCHITECT:
SEAL DATE: STAMP DATE

CLIENT:

ARCHITECT:
Rodrick Lahey Architecture Inc.
56 beech street, ottawa, ontario K1S 3J6
1.613.724.9932 1.613.724.1209 rla@architecture.ca

PROJECT TITLE:
WESTGATE
1309 CARLING AVENUE

SHEET TITLE:
SITE PLAN
PHASE 1
WESTGATE LANDS

DRAWN:	CHECKED:
RV	R.V.
SCALE:	SHEET No.
1:200	SP-1
PROJECT No.	
1807	