

NOVATECH

Engineers, Planners & Landscape Architects

Engineering

Land / Site
Development

Municipal
Infrastructure

Environmental /
Water Resources

Traffic /
Transportation

Structural

Recreational

Planning

Land / Site
Development

Planning Application
Management

Municipal Planning
Documents &
Studies

Expert Witness
(OMB)

Wireless Industry

Landscape Architecture

Urban Design &
Streetscapes

Open Space, Parks &
Recreation Planning

Community &
Residential
Developments

Commercial &
Institutional Sites

Environmental
Restoration



300 Somme Street, Ottawa, ON

**Planning Rationale in Support of Rural Site Plan
Control Application**

Engineering excellence. Planning precision. Inspired landscapes.

300 Somme Street
Ottawa, Ontario

Planning Rationale
in support of a
Rural Site Plan Control Application

Prepared By:

NOVATECH
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario
K2M 1P6

May / 28 / 2020

Novatech File: 119181
Ref: R-2020-074

May 28, 2020

City of Ottawa
Planning Infrastructure and Economic Development Department
110 Laurier Avenue West, 4th Floor
Ottawa, ON
K1P 1J1

Attention: Seana Turkington, Planner I, Planning Services

Dear Ms. Turkington:

**Reference: Rural Site Plan Control Application
300 Somme Street
Our File No.: 119181**

The following Planning Rationale has been prepared in support of a Site Plan Control application to facilitate the development of the property at 300 Somme Street (the "Subject Property"). 300 Somme Street is legally described as Block 6, Plan 4M-1388, except parts 3 and 4 Plan 4R-26208, City of Ottawa (PIN: 043260656).

The Subject Property is designated Rural Employment Area on Schedule A of the City of Ottawa Official Plan. The property is zoned Rural Heavy Industrial (RH) in the City of Ottawa's Zoning By-law 2008-250.

It is proposed to develop the Subject Property to accommodate a storage yard for the outdoor storage of vehicles. An accessory office and warehouse building will support the operation of the storage yard. A parking lot including 33 parking spaces and 2 accessible parking spaces will be located behind the office and warehouse building. A drop lot area will facilitate delivery of vehicles to the site. An opaque metal fence located 15 metres from all street lot lines will provide screening and security for the storage yard. All provided yards will be landscaped with soft landscaping and will include trees along all street frontages.

This Planning Rationale examines the location and context of the Subject Property, the proposed development, the planning policy and regulatory framework of the site, and makes recommendations on the proposed development.

Should you have any questions regarding any aspect of this application please do not hesitate to contact me at your earliest convenience.

Yours truly,

NOVATECH



Ryan Poulton, M.PL.
Planner

Table of Contents

1.0 INTRODUCTION1

 1.1 Description of Subject Property1

 1.2 Site Location and Community Context.....2

 1.3 Linkages and Transportation Framework4

2.0 PROPOSED DEVELOPMENT5

3.0 PLANNING POLICY AND REGULATORY FRAMEWORK6

 3.1 City of Ottawa Official Plan6

 3.1.1 *Rural Employment Area*.....7

 3.1.2 *Mineral Aggregate Resources*8

 3.1.3 *Review of Development Applications*.....10

 3.2 City of Ottawa Zoning By-law 2008-25011

4.0 CONCLUSION.....13

Appendices

Appendix A. Site Plan.....

Figures

Figure 1. Aerial Photo of Subject Property1

Figure 2. Shrublands Lands North of Rideau Road2

Figure 3. Renewi Canada Ltd. Organics Composting Facility2

Figure 4. Cannabis Production Facility west of Ramsayville Road3

Figure 5. Land Uses near Subject Property3

Figure 6. Official Plan Schedule G Markup4

Figure 7. Truck Routes4

Figure 8. Site Plan Excerpt.....5

Figure 9. Site Plan Enlargement Excerpt6

Figure 10. Official Plan Schedule 'A' Excerpt.....7

Figure 11. Bedrock Resource Areas9

1.0 INTRODUCTION

The following Planning Rationale has been prepared in support of a Rural Site Plan Control application to facilitate the development of the property at 300 Somme Street (the “Subject Property”). The Subject Property is designated Rural Employment Area on Schedule A (Rural Policy Plan) of the City of Ottawa Official Plan (OP). The property is zoned Rural Heavy Industrial (RH) in the City of Ottawa’s Zoning By-law 2008-250. The Rural Site Plan Control application will facilitate the development of a storage yard and accessory office and warehouse building on the Subject Property.

This Planning Rationale will demonstrate the proposed development will:

- conform to the policies of the City of Ottawa Official Plan (up to and including Official Plan Amendment 230);
- be consistent with the purpose of the Rural Heavy Industrial Zone;
- be compatible with surrounding uses.

1.1 Description of Subject Property

300 Somme Street is located in Ward 20 (Osgoode) of the City of Ottawa. The Subject Property is legally described as Block 6, Plan 4M-1388 Except Parts 3 and 4 on Plan 4R-26208 (PIN 04326-0656). The property has approximately 390 metres of frontage along Sappers Ridge, 1,350 metres of frontage along Somme Street, and an approximate area of 17.8 hectares (44 acres). There is a 30cm reserve registered along all frontages of this property. A Lifting 30cm Reserve application has been filed and will proceed concurrently with the Site Plan Control application. The Subject Property is vacant and located within a largely vacant industrial park.

Figure 1. Aerial Photo of Subject Property



There are 4 easements registered on the property. Please see Topographic Plan submitted in support of the Site Plan Control application for a complete description of each easement. There are two instrument numbers registered to each easement. Instrument number OC1253753 is registered to Hydro Ottawa Limited. Instrument number OC1253757 is registered to Bell Canada.

1.2 Site Location and Community Context

North: North of 300 Somme Street is vacant industrial lands. North of Rideau Road is vacant shrublands, with some lands used for agriculture. There are residential properties located along Hawthorne Road and Ramsayville Road.

Figure 2. Shrublands Lands North of Rideau Road



South: South of the Subject Property is a u-shaped stormwater management pond and the Renewi Canada Ltd. Organics Composting Facility. Further south are lands used for mineral extraction, woodlots, and lands used for agriculture.

Figure 3. Renewi Canada Ltd. Organics Composting Facility



East: East of the Subject Property are agricultural lands. There is a cannabis production facility including greenhouses and accessory structures east of the Subject Property on the west side Ramsayville Road.

Figure 4. Cannabis Production Facility west of Ramsayville Road



West: West of the Subject Property are lands used for mineral extraction and rural employment uses.

Figure 5. Land Uses near Subject Property



1.3 Linkages and Transportation Framework

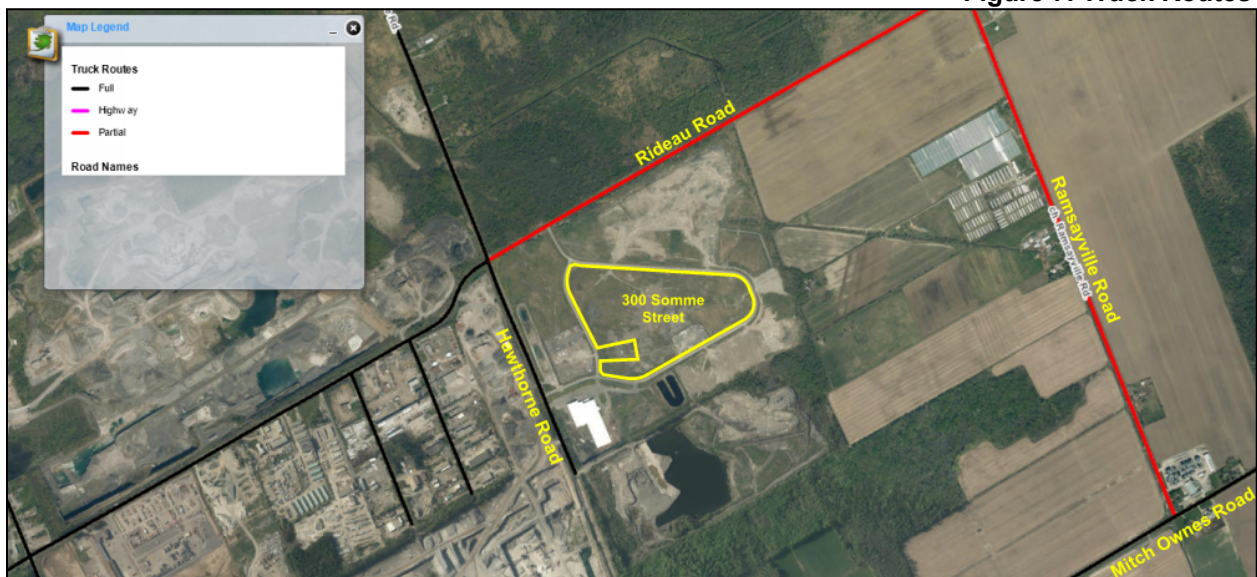
300 Somme Street has frontage along Sappers Ridge and Somme Street. Neither Sappers Ridge nor Somme Street are shown on Schedule G of the Official Plan (see Figure 6). The Subject Property is southeast of the intersection of Hawthorne Road and Rideau Road. Rideau Road is designated a Collector Road. Hawthorn Road is designated a Local Road south of Rideau Road, and designated a Collector Road north of Rideau Road. Both of these roads can be accessed from Somme Street. Mitch Ownes Road south of the Subject Property is designated an Arterial Road.

Figure 6. Official Plan Schedule G Markup



Hawthorne Road is a north-south road and is designated a full truck route (see Figure 7). Rideau Road and Ramsayville Road are designated partial truck routes and connect to Mitch Ownes Road southeast of the Subject Property. Mitch Ownes Road is an east-west road and is designated a full truck route. The Subject Property has easy access to both north-south and east-west full truck routes.

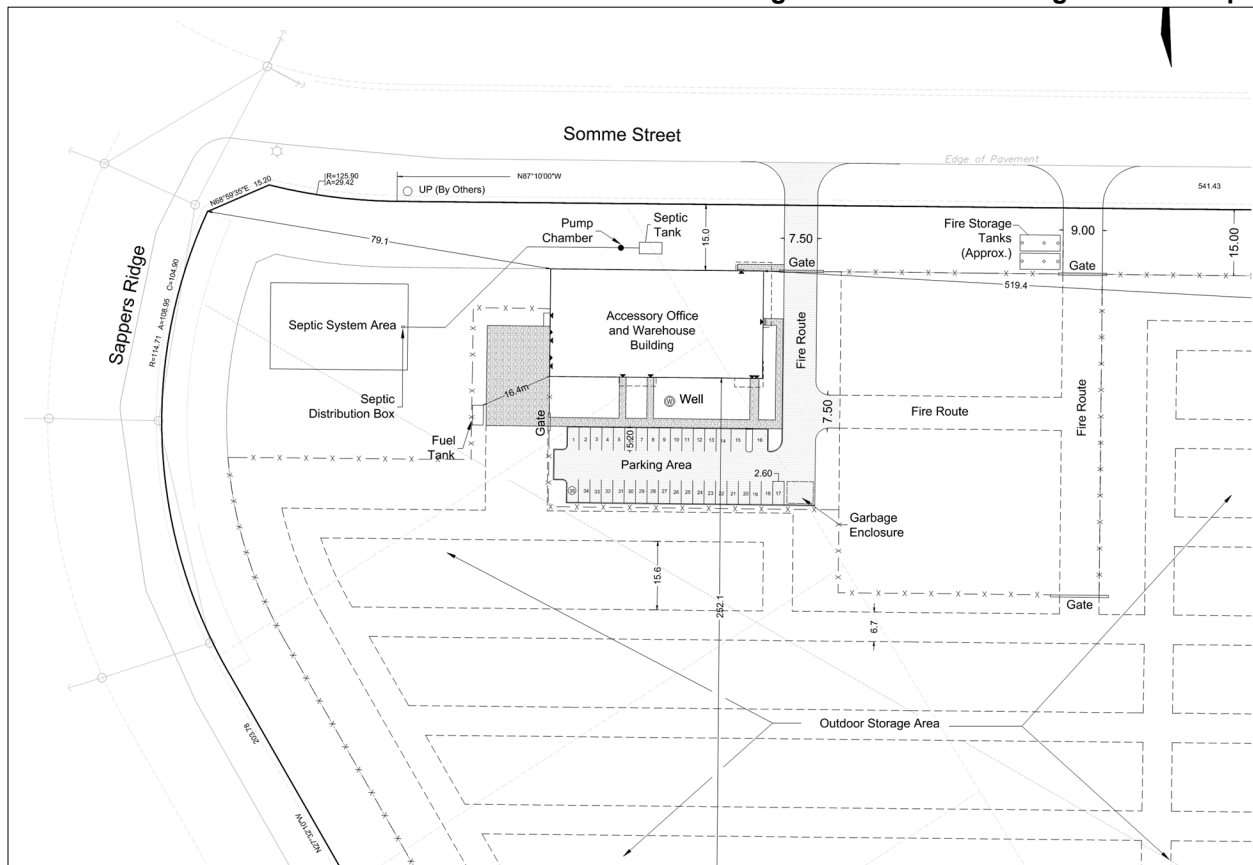
Figure 7. Truck Routes



A parking lot including 33 parking spaces and 2 accessible parking spaces will be located behind the office and warehouse building. The parking lot will be accessed via a driveway off Somme Street. A second driveway is proposed off Somme Street to access a drop-lot area. The drop lot area will be used by transport truck drivers to deliver vehicles to the property. The parking lot and drop lot area will be fenced for security purposes. Sliding gates will be located across both driveways (see Figure 9).

An opaque metal security fence is proposed to provide screening and security for the storage yard. The fence is set back 15 metres from all street lot lines, and 3 metres from all interior lot lines. The storage yard will be monitored at all times by CCTV cameras. The area between Somme Street and Sappers Ridge, and the security fence will be landscaped with grass. Deciduous trees are proposed along all frontages. Additional trees and plantings are provided near the office and warehouse building, and parking lot.

Figure 9. Site Plan Enlargement Excerpt



3.0 PLANNING POLICY AND REGULATORY FRAMEWORK

3.1 City of Ottawa Official Plan

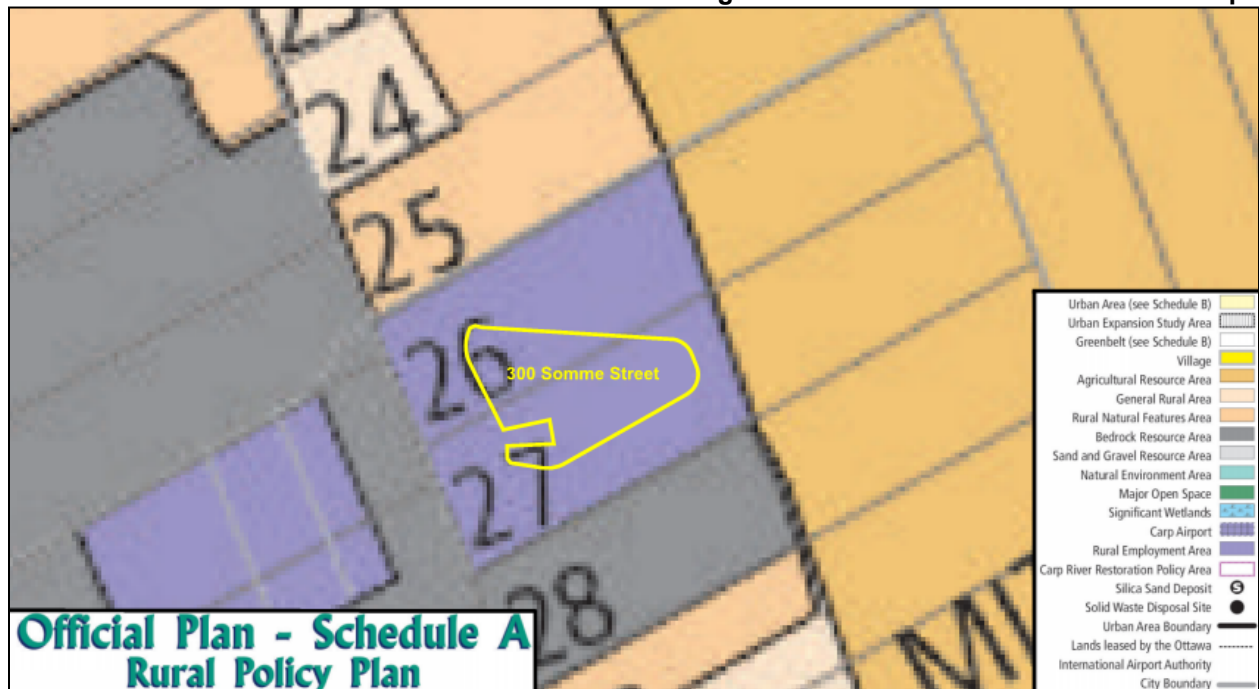
The City of Ottawa Official Plan was adopted by City Council on May 14, 2003 and modified by the Minister of Municipal Affairs on November 10, 2003. There have been numerous modifications and amendments approved by City Council and the Ontario Municipal Board/Local Planning

Appeal Tribunal. For the purposes of this Planning Rationale, the Official Plan Consolidation up to and including Official Plan Amendment No. 234 (the “Official Plan”) was used for reference.

3.1.1 Rural Employment Area

300 Somme Street is located in the rural area of the City of Ottawa. The Subject Property is designated Rural Employment Area on Schedule A of the Official Plan (OP) (see Figure 10). Section 3.7.5 of the OP sets out policies for development within the Rural Employment Area designation.

Figure 10. Official Plan Schedule ‘A’ Excerpt



Section 3.7.5 of the OP states: “*Rural Employment Areas are intended to support and encourage clustering of primarily industrial uses not suitable in the Urban Area or General Rural Area.*” Policy 1 of Section 3.7.5 of the OP states: “*The Rural Employment Areas are designated on Schedule A with the intent to reserve the land for rural industrial and ancillary commercial uses.*” The proposed storage yard will accommodate the outdoor storage of vehicles on the majority of the 17.8-hectare property. Vehicles are brought to the property to be stored for 60 to 90 days. All vehicles are bought and sold on an online platform. Purchasers arrange their own shipping of vehicles from the site. Purchasers do not travel to the site, and no commercial traffic is generated by the proposed storage yard. The proposed storage yard is considered an industrial use. The proposed development is consistent with the intent of the Rural Employment Area designation.

Policy 2 of Section 3.7.5 states (*emphasis added*):

“*Uses permitted within rural employment areas include:*

- b. New transportation, warehouse and storage operations; these uses are encouraged to locate on site in close proximity to Arterial roads and Highway interchanges.*”

The Site Plan Control application proposes to locate a storage yard on the Subject Property. The Subject Property has easy access to a north-south truck route (Hawthorne Road), and an east-west truck route (Mitch Ownes Road). Both Hawthorne Road (via Hunt Club Road) and Mitch Ownes Road provide access to interchanges on Highway 417. Mitch Owens Road is designated an arterial road. The proposed storage yard is a permitted use in the Rural Employment Area designation.

Policy 3 in Section 3.7.5 of the OP states:

“Development will be subject to Site Plan Control and particular attention will be given to the physical design of the building and site including signage, buffering, landscaping and fencing. In particular, the City shall require that suitable screening and landscaping is provided for any new external storage areas for goods, material and equipment that abut a highway or arterial road.”

All new development must be supportable on individual well and septic systems unless the City agrees to the development of a number of sites on the basis of a small water and wastewater works as described in Section 4.4.2.4.”

Fully landscaped front and corner side yards are provided along Sappers Ridge and Somme Street. Deciduous trees are proposed at regular intervals along all frontages. A 2.4m (8ft) painted interlocking steel panel security fence is proposed around the property at the required yard setbacks. All areas of outdoor storage of vehicles will be fully screened from view from public streets. The proposed storage yard will be serviced with a private well and a private septic system.

3.1.2 Mineral Aggregate Resources

Section 3.7.4 of the Official Plan sets out policies for lands designated Mineral Aggregate Resources. Section 3.7.4 of the OP states: *“The City will protect their continued operation and expansion by preventing any new development in their vicinity that would preclude or hinder aggregate extraction.”*

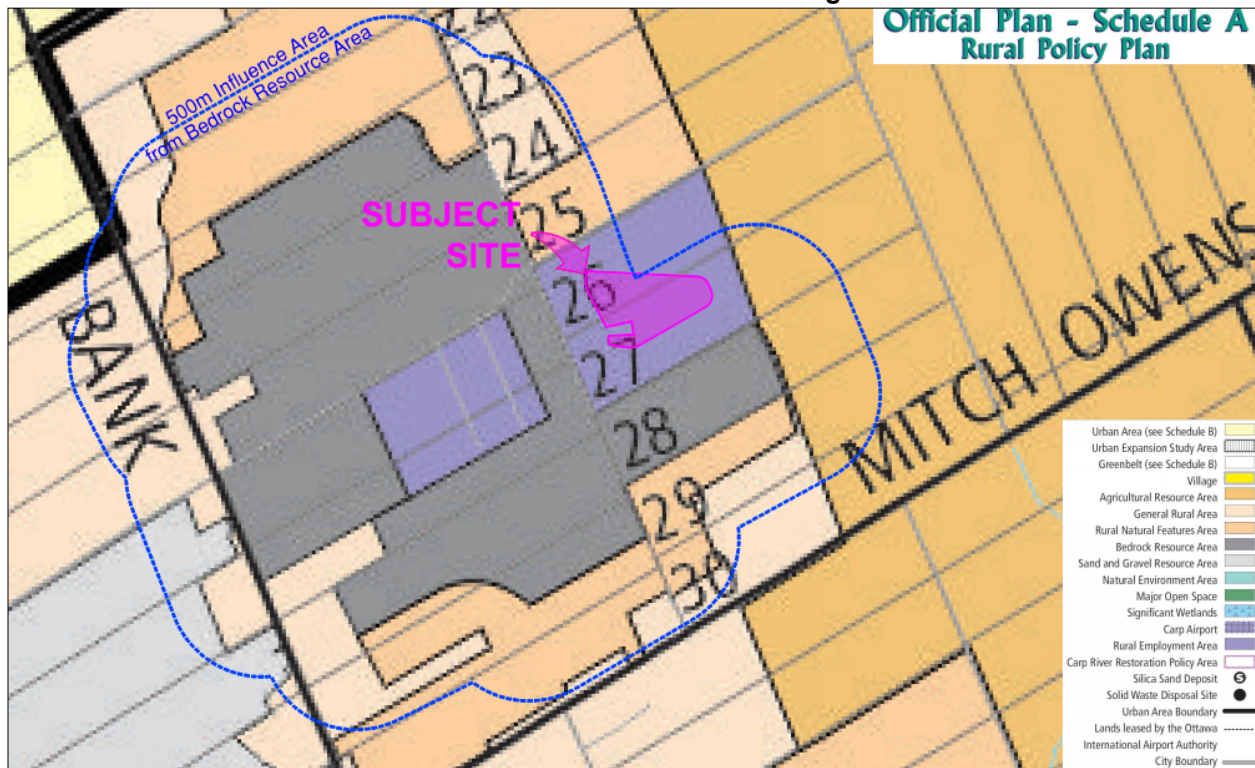
There are lands designated Bedrock Resource Area near the Subject Property. Policy 10 of Section 3.7.4 of the OP states:

“New development will not be approved within 500 metres of a Bedrock Resource Area or within 300 metres of a Sand and Gravel Resource Area, unless it can be demonstrated that such development will not conflict with future mineral aggregate extraction. Examples of conflicting land uses are new sensitive land uses that conflict with mineral aggregate extraction. These include but are not necessarily limited to:

- a. the creation of new lots;*
- b. rezoning to permit dwellings or lodging places (motels, camp grounds, nursing homes, etc.); and*
- c. farming or small-scale business uses where animals, equipment or employees are affected by pit or quarry activities.”*

The Subject Property is within 500 metres of lands designated Bedrock Resource Area south of the Subject Property, and lands west of Hawthorne Road (see Figure 11).

Figure 11. Bedrock Resource Areas



Nether a severance application nor a Zoning By-law Amendment application are required in support of the proposed development. No farming nor small-scale businesses are proposed on the Subject Property. The proposed storage yard is a large-scale industrial operation for the temporary outdoor storage of vehicles. All sales of vehicles occur online. No in-person sale of vehicles will occur on-site. The proposed storage yard is not considered a sensitive land use for the purposes of mineral extraction.

Policy 11 of Section 3.7.4 of the OP states:

“New development may be approved within 500 metres of an existing licensed bedrock quarry or within 300 metres of an existing sand and gravel pit if it can be demonstrated that the existing mineral aggregate operation, and potential future expansion of the operation in depth or extent, will not be affected by the development.”

The proposed development is not considered a sensitive use. Existing and future mineral aggregate operations near the Subject Property are not anticipated to have negative impacts on the operation of the storage yard with regard to noise, traffic, dust, vibration, or groundwater. The development of a storage yard on the Subject Property is not anticipated to preclude or hinder existing or future mineral aggregate operations.

3.1.3 Review of Development Applications

Section 4 of the City of Ottawa's Official Plan outlines the policies used to review development applications. These policies ensure that development applications meet the objectives contained in the Official Plan. The appropriate policies and related studies and plans were identified through a Formal Pre-consultation Application meeting with the City at the beginning of the design and review process.

Required studies and plans were identified as relevant and have been prepared in support of the Site Plan Control application. Detailed and technical information can be obtained by reviewing the respective documents.

Relating to Section 4.3 – Walking, Cycling, Transit, Road and Parking Lots:

Section 4.3 states that when reviewing development applications, the City will assess the adequacy of the transportation network to meet the needs of the proposed development. A Transportation Impact Assessment Screening Form was submitted to City staff. This project was screened out of the Transportation Impact Assessment process. No Transportation Impact Assessment is required in support of a complete Site Plan Control application.

Relating to Section 4.4 – Water and Wastewater Servicing:

Policy 1 in Section 4.4.2 of the OP states:

“Anywhere development is proposed on the basis of private individual services and requires an application for an Official Plan or Zoning By-law amendment or involves a plan of subdivision, plan of condominium, severance or site plan approval, the City will require sufficient information with the application to assess the likelihood that:

- a. Sufficient quantity of groundwater exists on site to service the development;*
- b. A water well can be constructed on the proposed lot(s) that will not be impacted by identified potential sources of groundwater contamination in the area;*
- c. The quality of the groundwater meets or exceeds the Ontario Drinking Water Standards, Objectives and Guidelines;*
- d. The operation of the on-site wastewater system on the new lot(s) will not adversely impact on a well to be constructed on the proposed lot(s) and on the wells of neighbouring properties;*
- e. The development is within the reserve capacity of the municipal sewage system for hauled sewage.”*

A Servicing & Stormwater Management Report, including an Overall Grading, Erosion, Sediment Control and Servicing Plan has been prepared by Novatech, dated May 27, 2020, for the Subject Property. Section 6.0 of the Servicing & Stormwater Management Report includes a list of conclusions on site servicing. The Servicing & Stormwater Management Report and Overall Grading, Erosion, Sediment Control and Servicing Plan are consistent with the relevant policies in Section 4.4.2 of the OP.

Relating to Section 4.6 – Cultural Heritage Resources:

Portions of the Subject Property are identified as having areas of Archaeological potential. An Archaeological Resource Assessment Screening Form is required in support of the Site Plan Control application. The Archaeological Resource Assessment Screening Form prepared by Novatech screens out the proposed development from further assessment.

Relating to Section 4.7 – Environmental Protection:

Policy 1 of Section 4.7.2 of the OP requires applications for Site Plan Approval will be supported by a Landscape Plan. Landscape Plans have been prepared by Novatech, dated May 28, 2020.

Section 4.7.6 of the OP states the City will require that stormwater site management plans be submitted in accordance with the guidance set out in the environmental management, subwatershed and watershed management plans. A Servicing & Stormwater Management Report, including an Overall Grading, Erosion, Sediment Control and Servicing Plan has been prepared by Novatech, dated May 27, 2020, for the Subject Property. Section 6.0 of the Servicing & Stormwater Management Report includes a list of conclusions on stormwater management. The Servicing & Stormwater Management Report and Overall Grading, Erosion, Sediment Control and Servicing Plan are consistent with the relevant policies in Section 4.7.6 of the OP.

Relating to Section 4.8 – Protection of Public Health and Safety:

Policy 1 in Section 4.8.3 of the OP states that Site Plan Control applications shall be supported by a geotechnical study to demonstrate that the soils on site are suitable for development. In support of the Site Plan Control application, a Geotechnical Investigation has been prepared by GEMTEC, dated April 24, 2020.

The proposed Site Plan Control application conforms to the policies of the City of Ottawa Official Plan.

3.2 City of Ottawa Zoning By-law 2008-250

300 Somme Street is zoned Rural Heavy Industrial (RH) in the City of Ottawa Zoning By-law 2008-250 (the 'Zoning By-law'). Sections 221 and 222 set out provisions for the RH zone. The purpose of the Rural Heavy Industrial Zone is to:

- “(1) permit the development of heavy industrial uses in areas mainly designated as General Rural Area, Village and Carp Road Corridor Rural Employment in the Official Plan;*
- (2) accommodate a range of heavy industrial uses and limited service commercial uses at locations which are neither environmentally sensitive nor in close proximity to incompatible land uses; and,*
- (3) regulate development in a manner that respects adjacent land uses and will have a minimal impact on the rural area.”*

As discussed in Section 3.1 of this Rationale the Subject Property is designated Rural Employment Area. A variety of industrial uses are permitted on lands designated Rural Employment Area, including a storage yard use. The proposed storage yard is considered an industrial use.

The Subject Property is not designated part of the natural heritage features system, and is not considered an environmentally sensitive site. The proposed storage yard is compatible with the surrounding vacant employment lands.

Section 221 (1) of the Zoning By-law lists “storage yard” as a permitted use in the RH zone. The proposed a storage yard is a permitted use of the Subject Property.

Table 221 sets out performance standards in the RH zone. The proposed development conforms to the minimum lot width, minimum lot area, maximum building height, and minimum yard setback provisions of the RH zone.

Table 221 Row i) states:

- “(a) *outside storage is not permitted within any required front yard or corner side yard;*
- “(b) *outside storage must be screened from abutting residential uses and public streets by an opaque screen at least 1.8 metres in height from finished grade”*

The minimum front and corner side yard setback on the property is 15 metres. A 2.4m (8ft) painted interlocking steel panel security fence is proposed along all frontages on Somme Street and Sappers Ridge. The opaque fence is setback 15 metres along all front and corner side lot lines.

The Subject Property is located in Area D on Schedule 1A of the Zoning By-law. Row N88 of Table 101 of the Zoning By-law requires the provision of 1 parking space for 100 square metres of gross floor area for a storage yard use in Area D of Schedule 1A. The Zoning By-law defines ‘Gross Floor Area’ as “*the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, ...*”

Section 20 of the Zoning By-law states (**emphasis added**):

“Except in the case of determining the number of required parking spaces for a storage yard use, where a use does not take place within a building but a regulation imposes a requirement premised on that use being in a building, the requirement applies as though the actual area occupied by the use is in a building, so that the true spirit, intent and meaning of the by-law is implemented.”

Based on Section 20 of the Zoning By-law, gross floor area does not apply to areas of outdoor storage associated with a storage yard for the purposes of determining required parking spaces. No parking is required for the proposed storage yard.

An accessory office and warehouse building is proposed on the Subject Property. Row N59 of Table 101 of the Zoning By-law requires the provision of 2.4 parking spaces for 100 square metres

of gross floor area for an office use in Area D of Schedule 1A. The gross floor area of the office use within the building is 740 square metres. 17.8 parking spaces are required for the office use in the accessory building.

Row N95 of Table 101 of the Zoning By-law requires the provision of 0.8 parking spaces for 100 square metres of gross floor area for a warehouse use in Area D of Schedule 1A. The gross floor area of the warehouse use within the building 454 square metres. 3.6 parking spaces are required for the warehouse use in the accessory building.

A total of 21 parking spaces are required for the accessory building. A total of 35 parking spaces are proposed on the Subject property.

The proposed development conforms to the provisions of the City of Ottawa Zoning By-law.

4.0 CONCLUSION

This Planning Rationale has been prepared in support of a Rural Site Plan Control application to facilitate the development of 300 Somme Street. The proposed storage yard includes outdoor storage of vehicles, an accessory office and warehouse building, a drop lot area, and a parking lot containing 35 parking spaces.

The proposed development conforms with the policies of the City of Ottawa's Official Plan. This Planning Rationale demonstrates the proposed development conforms with the policies of the Rural Employment Area designation, and is compatible with surrounding uses including existing and future mineral aggregate operations. The proposed storage yard conforms to the City of Ottawa Zoning By-law.

The proposed Site Plan Control application is appropriate for the development of the Subject Property and represents good land use planning.

NOVATECH

Prepared by:


Ryan Poulton, M. PL.
Planner

Reviewed by:


Murray Chown, RPP, MCIP
Director | Planning & Development

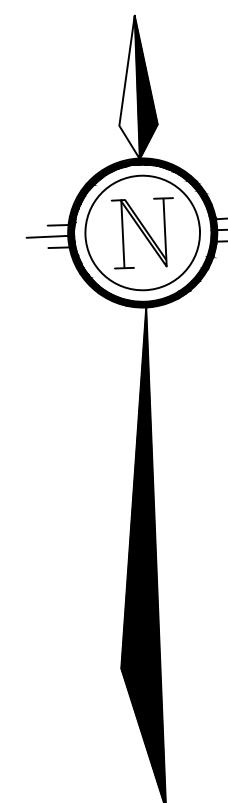
Appendix A:

Site Plan

LEGEND

- Property Line
- Zoning Setback Line
- - - Proposed Curb
- x - x - x - Proposed Security Fence
- Proposed Gate
- ▼ Proposed Building Entrance
- ⊙ Proposed Well
- UP Proposed Utility Guy Pole (By Others)
- ⊕ Existing Utility Pole c/w Guy Wire
- LS Existing Streetlight

APPROVED REFUSED
 THIS ___ DAY OF _____, 20__
 ADAM BROWN, MANAGER
 DEVELOPMENT REVIEW RURAL,
 PLANNING, INFRASTRUCTURE AND ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



KEYPLAN
NOT TO SCALE

SITE PLAN 1

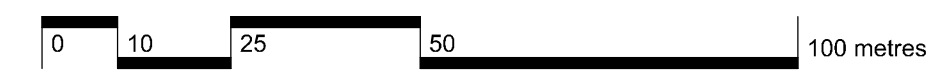
OVERALL SITE

300 SOMME STREET

BLOCK 6, RPLAN 4M-1388
CITY OF OTTAWA



14185 Dallas Parkway
Suite 300
Dallas, Texas 75254



SCALE 1:1000

No.	REVISION	DATE	BY
2	ISSUED FOR SITE PLAN CONTROL APPLICATION	MAY 28, 20	RP
1	ISSUED TO CLIENT FOR REVIEW	MAY 07, 20	RP



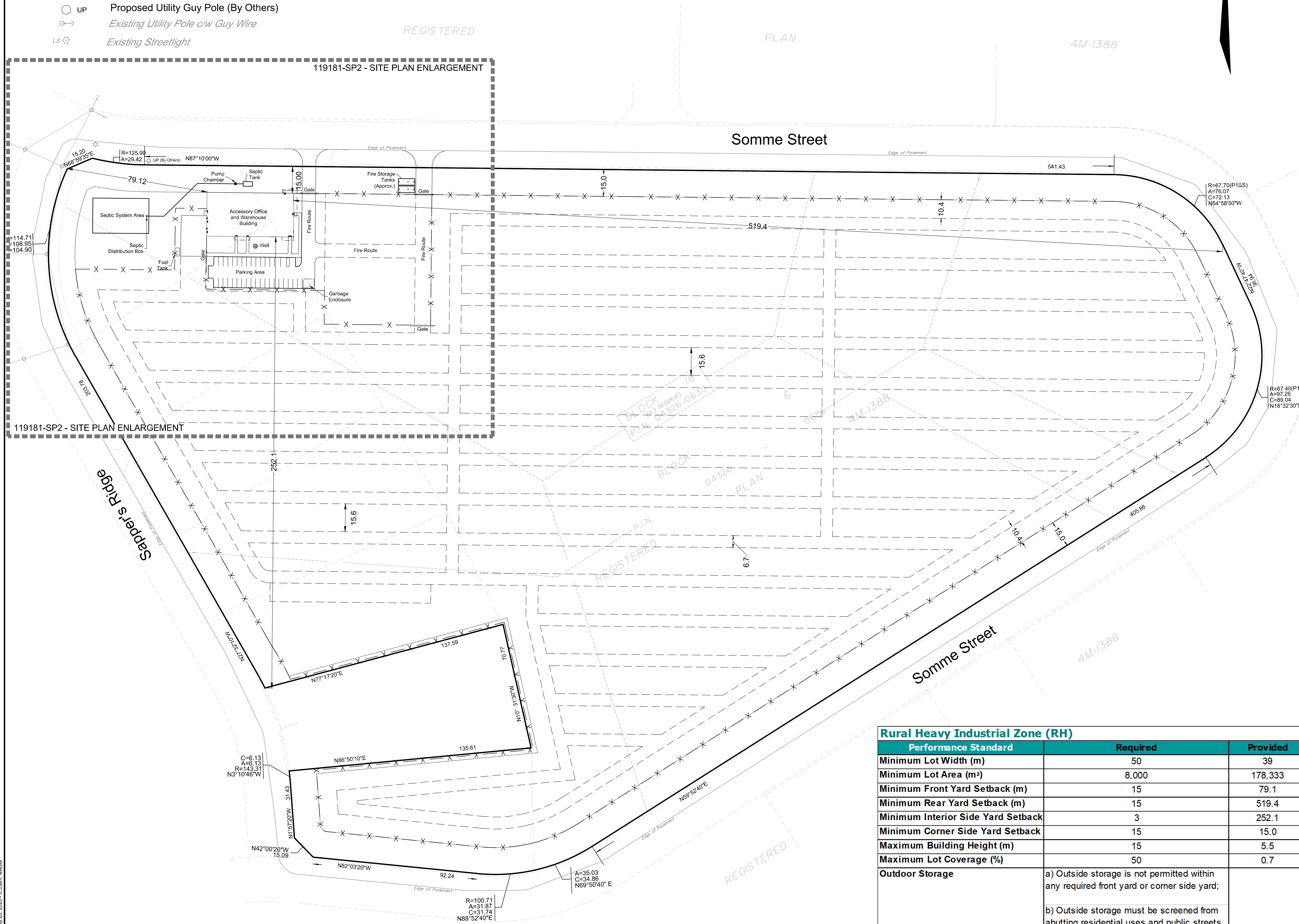
Engineers, Planners & Landscape Architects
 Suite 200, 240 Michael Cowpland Drive
 Ottawa, Ontario, Canada K2M 1P6
 Telephone (613) 254-9643
 Facsimile (613) 254-5867
 Website www.novatech-eng.com

ISSUED
MAY, 2020

PROJECT No.
119181

DRAWING No.
119181-SP1

Rural Heavy Industrial Zone (RH)		
Performance Standard	Required	Provided
Minimum Lot Width (m)	50	39
Minimum Lot Area (m ²)	8,000	178,333
Minimum Front Yard Setback (m)	15	79.1
Minimum Rear Yard Setback (m)	15	519.4
Minimum Interior Side Yard Setback	3	252.1
Minimum Corner Side Yard Setback	15	15.0
Maximum Building Height (m)	15	5.5
Maximum Lot Coverage (%)	50	0.7
Outdoor Storage	a) Outside storage is not permitted within any required front yard or corner side yard; b) Outside storage must be screened from abutting residential uses and public streets by an opaque screen at least 1.8m in height from finished grade.	
Parking	740 m ² gfa Office @ 2.4/100m ² gfa = 17.8 454 m ² gfa Warehouse @ 0.8/100m ² gfa = 3.6 Total = 21	
Parking Spaces	35	
Loading Spaces	740 m ² gfa Office = 0 454 m ² gfa Warehouse = 0 Total = 0	



NOTE:
 THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM
 H. A. KEN SHIPMAN SURVEYING LTD., ONTARIO LAND SURVEYORS
 PLAN OF SURVEY, DATED JANUARY 24, 2020.
 REF No. GL-513, FILE No. 20-12056

M:\2019\119181\119181-SP1\119181-SP1.dwg, SP-1, May 28, 2020 - 8:55am, vobias