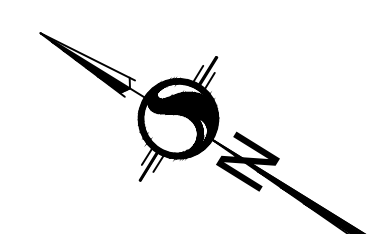
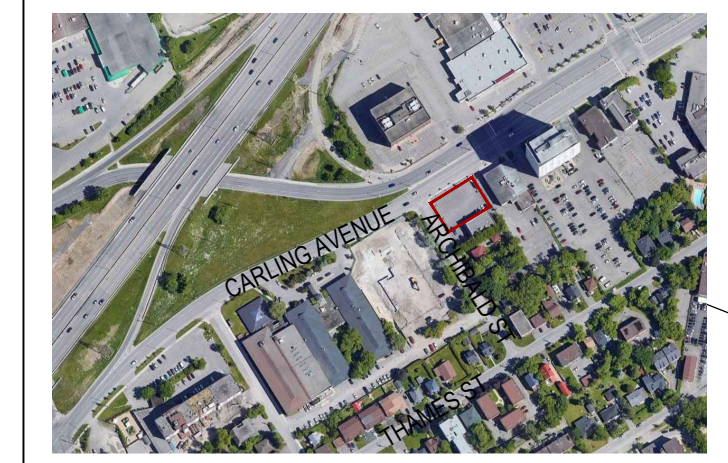


NOTE:
EXISTING AVERAGE GRADE = 74.07
PROPOSED AVERAGE GRADE =

PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY ANIS, O'SULLIVAN, VELLEBECK LTD. DATED MARCH 9, 2020.
REFER TO LANDSCAPE PLANS FOR LOCATION OF TREES & PLANTINGS.



KEY PLAN



PROPERTY DESCRIPTION

24-STORY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04002 0008
MUNICIPAL ADDRESS	1330 Carling Avenue
PART 1, PART OF BLOCK 8 REGISTERED PLAN 221 AND LOT 8 AND PART OF LOT 7 REGISTERED PLAN 529	
SITE INFORMATION	
LOT AREA:	1,968m ²
LOT FRONTAGE:	39.62m
LOT DEPTH:	49.68m

BUILDING INFORMATION

BUILDING AREA:	1,119m ²
BUILDING FLOOR AREA:	16,761m ²
PROPOSED USE:	MIXED-USE RESIDENTIAL, HIGH-RISE
UNIT BREAKDOWN:	
FLOORS 2:	9 UNITS 7-1BD, 2-2BD
FLOORS 3-5:	12 UNITS 1-STUDIO, 3-1 BD, 2-2BD
FLOOR 6:	4 UNITS 1-STUDIO, 1-1BD, 2-2BD
TYPICAL FLOORS 7-24:	7 UNITS 2-STUDIO, 1-1BD, 4-2BD
TOTAL:	175 UNITS 40-STUDIO, 53-1 BD, 82-2 BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
LOT AREA	No minimum	
LOT WIDTH	No minimum	
FRONT YARD SETBACK	0m	7.21m (as per road widening)
MINIMUM INTERIOR SIDE YARD SETBACK	0m	0.4m
MINIMUM REAR YARD SETBACK	3m for the first 20m from Archibald, 7.5m otherwise	13.9m
MAXIMUM BUILDING HEIGHT	Within 20m of R4 zone: 15m 20-30m from R4 zone: 20m 30-m from R4 zone: 30m (up to 9 storeys)	Commercial Ground Floor 1(5.8m) Residential 24(69m) Total 25(74.8m)
GROUND FLOOR HEIGHT/GLAZING	4.5m & min. 50% glazing on Carling and Archibald	4.5m ground floor height 74% glazing on Carling Avenue 52% glazing on Archibald Street
MAXIMUM FLOOR SPACE INDEX	N/A	
LANDSCAPED AREA	15% = 295m ² 3m buffer between parking lots and lot lines (10-99 parking spaces)	17.8% = 350.8m ²
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	Residential: 0.5 spaces/unit after first 12 units [175 x 0.5 = 88] Residential visitor: 0.1/unit after first 12 units [175 x 0.1 = 18] At-grade restaurant use (GFA<350m ²): 0 spaces At-grade non-residential use (GFA<500m ²): 0 spaces Other non-residential: 1-5 spaces/100m ² GFA	62 SPACES TOTAL VISITOR = 18 RESIDENTIAL = 36 COMMERCIAL = 8 PARKING AREA: 498m ² LANDSCAPE AREA: 92m ²
LOADING	1 space for 2,000-4,999m ² non-residential GFA	1 SPACE
AMENITY AREA REQUIREMENTS	6m ² per unit 50% communal and at least one area of min. 54m ² Total = 1,110m ²	COMMUNAL AMENITY: 525m ² BALCONIES: 878m ² TOTAL AMENITY: 1,403m ²
BICYCLE PARKING SPACES	0.5 per dwelling unit + 3 1/250m ² non-residential GFA	156 SPACES

LEGEND

	SOFT LANDSCAPING REFER TO LANDSCAPE		EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
	UNIT PAVERS REFER TO LANDSCAPE		NEW TREE (REFER TO LANDSCAPE DRAWINGS)
	ASPHALT PAVING		NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
	CONCRETE		NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
	EXISTING BUILDING ELEMENT TO BE REMOVED		FIRE DEPARTMENT CONNECTION
	EXISTING FENCE		EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
	NEW BOARD FENCE REFER TO LANDSCAPE		NEW GROUND ELEVATION REFER TO CIVIL
	LOT LINE		
	SETBACK LINE		
	DESIGNATED BUILDING ENTRANCE / EXIT		
	FIRE HYDRANT. REFER TO CIVIL		
	CATCH BASIN		
	MANHOLE		
	FLOOR DRAIN		
	UTILITY POLE		
	OVERHEAD UTILITY WIRES		
	LIGHT STANDARD		
	DEPRESSED CURB		

<p>No. Date: 04002-0008</p> <p>1 2020-01-24 PRECONSULTATION</p> <p>2 2020-02-26 COORDINATION</p> <p>3 2020-03-26 COORDINATION</p> <p>4 2020-04-17 SITE PLAN CONTROL</p>	
<p>PROPOSED SITE</p>	
<p>PROPERTY DESCRIPTION</p> <p>24-STORY RESIDENTIAL BUILDING</p> <p>CITY OF OTTAWA PIN NUMBER 04002 0008</p> <p>MUNICIPAL ADDRESS 1330 Carling Avenue</p> <p>PART 1, PART OF BLOCK 8 REGISTERED PLAN 221 AND LOT 8 AND PART OF LOT 7 REGISTERED PLAN 529</p>	
<p>SITE INFORMATION</p> <p>LOT AREA: 1,968m²</p> <p>LOT FRONTAGE: 39.62m</p> <p>LOT DEPTH: 49.68m</p>	
<p>BUILDING INFORMATION</p> <p>BUILDING AREA: 1,119m²</p> <p>BUILDING FLOOR AREA: 16,761m²</p> <p>PROPOSED USE: MIXED-USE RESIDENTIAL, HIGH-RISE</p>	
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<p>ZONING TABLE</p> <p>CITY OF OTTAWA ZONING BY-LAW No. 2008-250</p> <p>REQUIRED PROPOSED</p>	
<p>VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)</p> <p>Residential: 0.5 spaces/unit after first 12 units [175 x 0.5 = 88] Residential visitor: 0.1/unit after first 12 units [175 x 0.1 = 18] At-grade restaurant use (GFA<350m²): 0 spaces At-grade non-residential use (GFA<500m²): 0 spaces Other non-residential: 1-5 spaces/100m² GFA</p> <p>62 SPACES TOTAL VISITOR = 18 RESIDENTIAL = 36 COMMERCIAL = 8 PARKING AREA: 498m² LANDSCAPE AREA: 92m²</p>	
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<p>BICYCLE PARKING SPACES</p> <p>0.5 per dwelling unit + 3 1/250m² non-residential GFA</p> <p>156 SPACES</p>	
<p>LEGEND</p>	
<p>ARCHITECT / ARCHITECT COLLECTIVE</p> <p>fig. 1 3500, Saint-Anne O. Monreal QC HNC 140 T. 514 881 9122</p> <p>fig. 2 190 Somerset St W #206 Ottawa ON K2P 5J4 T. 613 954 4122</p> <p>www.figur.ca</p>	
<p>CLIENT / CLIENT</p>	
<p>DRIVER / DRIVER</p> <p>Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.</p>	
<p>SCOPE / SCOPE</p>	
<p>PROJECT / PROJECT</p> <p>MIXED-USE RESIDENTIAL BUILDING</p> <p>1330 Carling Avenue Ottawa, ON</p>	
<p>TITLE / TITLE</p> <p>SITE PLAN</p>	
<p>Designé par / Drawn by: MD No. projet / Project number: 1956</p> <p>Vérifié par / Verified by: RC No. dessin / Drawing number: Revision / Revision:</p> <p>Échelle / Scale: AS SHOWN</p> <p>Date de création du dessin / Drawing creation date: 2020-01-06</p>	