

Project Description

SITE UPGRADES AND INTERIOR RENOVATION TO THE PROPERTY LOCATED AT 90 MAPLE GROVE ROAD IN KANATA, ONTARIO. THE SCOPE OF WORK INCLUDES BUT IS NOT LIMITED TO:

- THE REMOVAL AND INFILL OF EXISTING DOORS
- THE ADDITION OF NEW WINDOWS
- INTERIOR RENOVATIONS
- SITE LANDSCAPING AND GRADING TO INCLUDE A NEW LOADING AISLE AND DAYCARE PLAY AREA
- STAFF AMENITY AREA
- RELOCATED BIKE RACKS

Key Plan



Drawing List

- DP0.00 COVER SHEET
- DP0.01 CONTEXT PLANS AND PROJECT STATISTICS
- DP1.00 SITE SURVEY
- DP1.01 SITE PLAN
- DP1.02 SITE DETAILS
- G1 GRADING PLAN
- L1.01 LANDSCAPE PLAN

Municipal Address

90 MAPLE GROVE ROAD
KANATA, ONTARIO

Legal Address

MARCH CON 2 PT LOT 1 RP; 4R24734 PARTS 16 TO 20

Site Summary

ZONING:	LIGHT INDUSTRIAL (SUBZONE IL5)
MINIMUM LOT AREA:	2,000 m ² / 0.49 Ac
LOT AREA:	11,284 m ² / 2.79 Ac
MINIMUM LOT WIDTH:	No Minimum
LOT WIDTH:	94.3 m
MAXIMUM LOT COVERAGE:	65.0%
BUILDING FOOTPRINT:	1,700 m ² / 18,300 ft ²
PROPOSED LOT COVERAGE:	15.1%

NOTE: OUTDOOR PLAY AREAS ARE NOT INCLUDED AREA COUNT.

Proposed Development

DAY CARE FACILITY

BUILDING CLASSIFICATION AS PER ONTARIO BUILDING CODE:
GROUP A, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED

Day Care Facility: Children Statistics

INFANTS - UNDER 18 MONTHS	30
TODDLERS 18 MONTHS TO <30 MONTHS	75
PRE SCHOOL- 30 MONTHS TO YOUNGER THAN 6 YEARS	110
TOTAL	215

Building Summary

GROSS FLOOR AREA:	1,700 m ² / 18,300 ft ² (Existing)
MAX. FLOOR SPACE INDEX:	2
PROPOSED FLOOR SPACE INDEX:	0.15 (Existing)
MAX. HEIGHT:	22 m
BUILDING HEIGHT:	7.08 m (Existing)

Setbacks & Landscaping

NO SETBACKS PERTAIN TO THIS APPLICATION.

MINIMUM SETBACK AREAS

FRONT AND CORNER: 12.0 m

REAR:

- 15 m FROM A RESIDENTIAL OR INSTITUTIONAL ZONE
- 3.5 m FROM HYDRO OR RAILWAY R.O.W.
- 7.5 m FROM ANY OTHER ZONE

SIDE:

- 15 m FROM A RESIDENTIAL OR INSTITUTIONAL ZONE
- 7.5 m FROM ANY OTHER ZONE

NOTE:

37.5m FUTURE ROAD WIDENING RIGHT OF WAY LOCATED ALONG MAPLE GROVE RD.

3.0m UTILITY RIGHT OF WAY LOCATED IN PARCEL

7.5m VISIBILITY SETBACK LOCATED ON SOUTHWEST CORNER OF PARCEL

MINIMUM LANDSCAPING WIDTHS

- 3.0 m FROM A RESIDENTIAL OR INSTITUTIONAL ZONE (MAY BE REDUCED BY 1m IF A 1.4m HIGH OPAQUE SCREEN IS PROVIDED)
- 3.0 m ABUTTING A STREET
- NO MINIMUM IN ALL OTHER CASES

NOTE:

ALL LANDSCAPED AREAS ARE EXISTING TO REMAIN

Motor Vehicle Parking Requirements

TABLE 101- MINIMUM PARKING SPACE RATES N24 TO N34 (BY-LAW 2016-249) - AREA B ON SCHEDULE:
DAY CARE FACILITY: 2 STALLS PER 100 SM OF GROSS FLOOR AREA

KANATA GROSS FLOOR AREA: 1700 SM
MINIMUM STALLS REQUIRED: 34

TOTAL EXISTING STALLS: 85 STANDARD + 2 BARRIER-FREE
STALLS TO BE REMOVED: 16 STANDARD + 3 STANDARD TO ACCOMMODATE LOADING
TOTAL PROVIDED STALLS: 68 STANDARD + 2 BARRIER FREE

Bicycle Parking Requirements

AS PER OTTAWA ZONING BYLAW - SECTION 111:
DAY CARE INCLUDED WITHIN TABLE 111A(e) BICYCLE PARKING SPACE RATES

1 STALL REQUIRED PER 250SM GROSS FLOOR AREA

TOTAL STALLS REQUIRED: 7
TOTAL EXISTING STALLS: 5
TOTAL STALLS PROVIDED: 7

A MAXIMUM OF 50% OF THE REQUIRED BICYCLE PARKING SPACES OR 15 SPACES, WHICHEVER IS GREATER, MAY BE LOCATED IN A LANDSCAPED AREA. (BY-LAW 2011-124)

Loading Requirements

AS PER OTTAWA ZONING BYLAW - SECTION 113: MINIMUM NUMBER OF VEHICLE LOADING SPACES:

TABLE 113A, A: 1 STALL REQUIRED PER 1000 - 1999 SM OF GROSS FLOOR AREA

TOTAL STALLS REQUIRED: 1
TOTAL STALLS PROVIDED: 1

AS PER TABLE 113B: STANDARD SIZE SPACE: 3.5M X 7.0M



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CONTEXT PLANS AND PROJECT STATISTICS

KANATA BRIGHTPATH DAYCARE

90 MAPLE GROVE ROAD, KANATA, ONTARIO
BRIGHTPATH

219058



NOT FOR
CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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6 SPC RESPONSE	04.20.2020

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KANATA BRIGHTPATH DAYCARE
90 MAPLE GROVE ROAD, KANATA, ONTARIO
BRIGHTPATH



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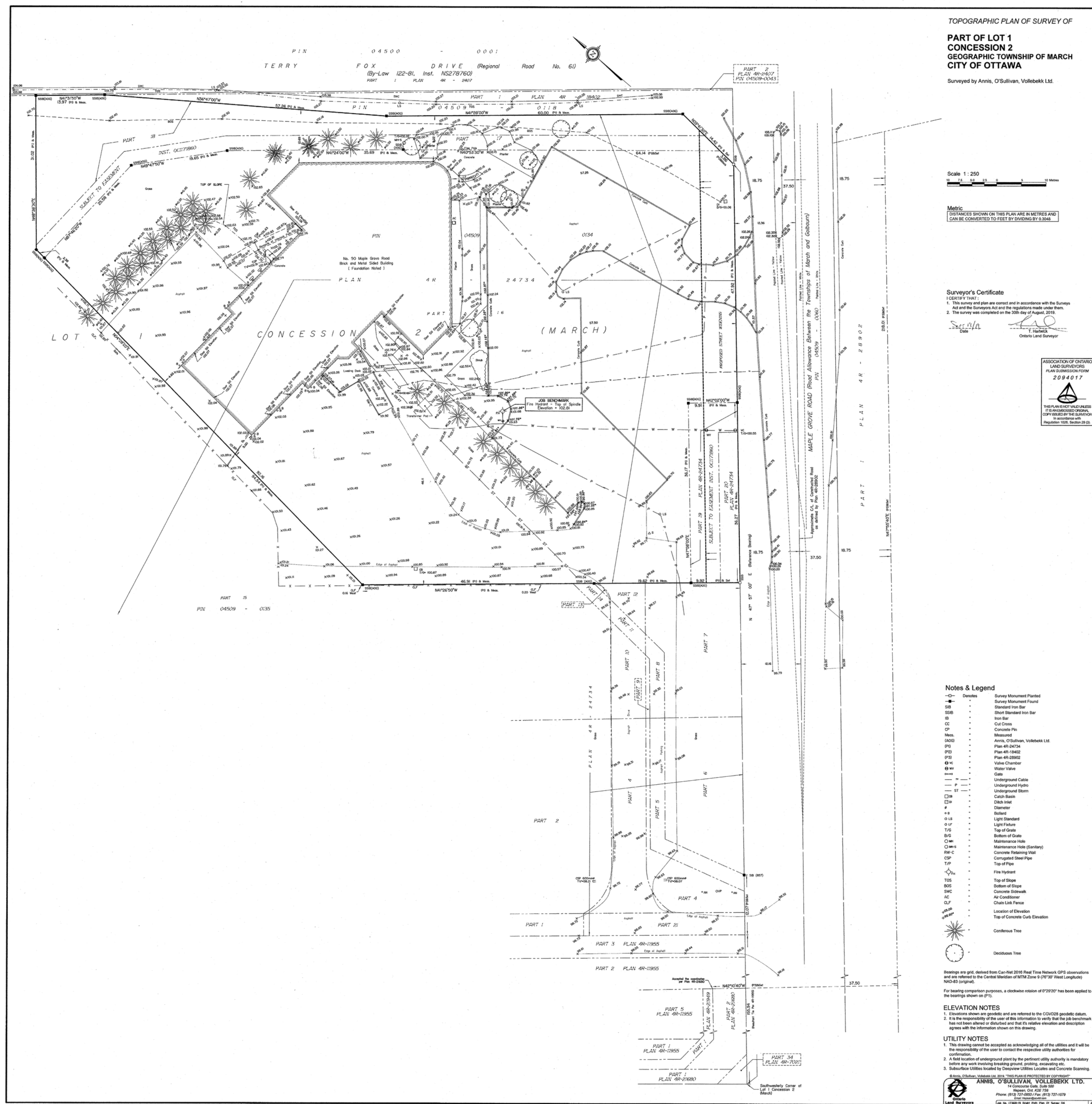
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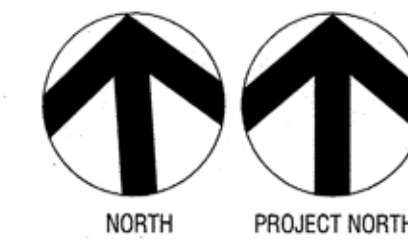
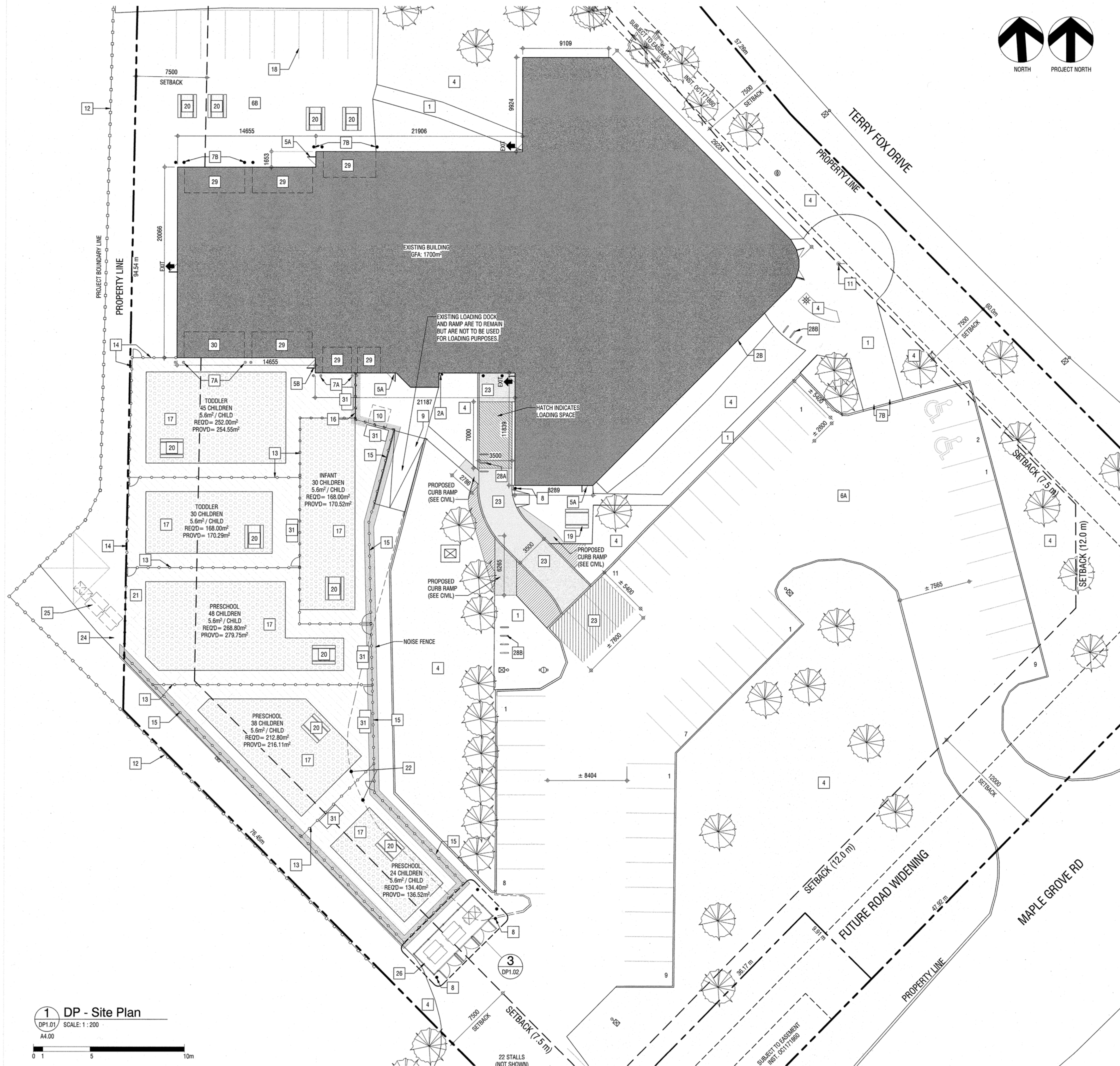
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Site Plan - General Notes

1. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
2. ALL AREAS NOT INDICATED AS GRASSED TO BE PAVED/HARD SURFACING

Site Plan - Code Legend

- | | |
|-----|--|
| 1 | EXISTING SIDEWALK TO REMAIN |
| 2A | EXISTING SIAMESE CONNECTION, TO BE RELOCATED |
| 2B | PROPOSED SIAMESE CONNECTION |
| 3 | EXISTING ROAD TO REMAIN |
| 4 | EXISTING LANDSCAPING TO REMAIN |
| 5A | EXISTING DOOR TO BE PERMANENTLY CLOSED |
| 5B | EXISTING DOOR TO BE PERMANENTLY CLOSED AND FILLED |
| 6A | EXISTING PARKING LOT TO REMAIN |
| 6B | PROPOSED EXTERIOR STAFF AMENITY AREA. EXISTING PAVING TO REMAIN. |
| 7A | EXISTING BOLLARD TO BE REMOVED. AREA TO BE REPAIRED WITH ASPHALT AND TO BE FLUSH WITH ADJACENT SURFACE |
| 7B | EXISTING BOLLARD TO REMAIN |
| 8 | PROPOSED BOLLARD - REFER TO DETAIL 8/DP1.02 |
| 9 | EXISTING CONCRETE LOADING DOCK AND RAMP TO REMAIN BUT ARE NOT TO BE USED FOR LOADING PURPOSES. |
| 10 | EXISTING LOADING DOCK METAL LIFT TO BE REMOVED - FILL AND MAKE GOOD |
| 11 | EXISTING FLAG TO REMAIN |
| 12 | EXISTING CHAINLINK FENCE |
| 13 | PROPOSED 1220mm HIGH VINYL-COATED CHAINLINK FENCE c/w GATES. REFER TO DETAIL 7/DP1.02 |
| 14 | PROPOSED 1830mm HIGH VINYL-COATED CHAINLINK FENCE c/w GATES. REFER TO DETAIL 6/DP1.02 |
| 15 | PROPOSED 1830mm HIGH STC 30 VINYL FENCE c/w VISION PANELS. REFER TO DETAIL 1/DP1.02 |
| 16 | PROPOSED 1830mm HIGH STC 30 VISION PANELS INSET IN VINYL FENCE FRAME. REFER TO DETAIL 2/DP1.02 |
| 17 | PROPOSED ARTIFICIAL TURF PLAY AREA |
| 18 | EXISTING PARKING LINES TO REMAIN. STALLS DO NOT COUNT TOWARDS PARKING COUNT |
| 19 | EXISTING PICNIC TABLES TO REMAIN |
| 20 | PROPOSED PICNIC TABLES. SUPPLIED AND INSTALLED BY OTHER. |
| 21 | EXISTING ASPHALT SURFACE - WITHIN PLAY AREA, TYPICAL |
| 22 | APPROXIMATE LIMIT OF DISTURBANCE INTO EXISTING LANDSCAPE AREA - REPAIR AS NOTED |
| 23 | PROPOSED LOCATION FOR LOADING STALL & AISLE. (SEE G1) |
| 24 | EXISTING PAINTED LINES |
| 25 | EXISTING WASTE BINS TO BE RELOCATED TO PROPOSED ENCLOSURE |
| 26 | PROPOSED RELOCATION OF WASTE & RECYCLING ENCLOSURE. REFER TO DETAILS 3-5/DP1.02. |
| 27 | PROPOSED DEPRESSED CURB IN EXISTING CONCRETE SIDEWALK. (SEE G1) |
| 28A | EXISTING BICYCLE PARKING STALLS TO BE REMOVED |
| 28B | PROPOSED BICYCLE PARKING STALLS (7 STALLS) |
| 29 | EXISTING OVERHEAD DOORS TO BE FILLED WITH LIKE MATERIAL. |
| 30 | EXISTING OVERHEAD DOOR TO BE REPLACED WITH A NEW OVERHEAD DOOR WITH VISION GLAZING PANEL |
| 31 | 8' x 4' OUTDOOR STORAGE SHEDS - OWNER SUPPLIED |

Site Plan - Symbol Legend

- | | |
|------------------------|--|
| [Solid Grey Box] | INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING |
| [Light Grey Box] | INDICATES EXTENT AND LOCATION OF GRADED LANDSCAPE FOR ASPHALT |
| [Patterned Box] | INDICATES EXTENT AND LOCATION OF ARTIFICIAL TURF |
| [Dotted Box] | INDICATES EXTENT AND LOCATION OF EXISTING ASPHALT IN PLAY AREA |
| [White Box] | INDICATES EXTENT AND LOCATION OF EXISTING LANDSCAPE AREA |
| [Dashed Line] | INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY) |
| [Long Dashed Line] | INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY) |
| [Line with Circles] | INDICATES LINE OF EXISTING FENCE |
| [Line with Squares] | INDICATES LINE OF 1800mm CHAINLINK FENCE |
| [Line with Triangles] | INDICATES LINE OF 1220mm CHAINLINK FENCE |
| [Line with Diamonds] | INDICATES LINE OF STC 30 VINYL FENCE |
| [Line with Stars] | INDICATES LINE OF STC 30 VINYL FENCE W/ VISION PANEL |
| [Circle with Cross] | INDICATES LOCATION OF EXISTING CATCH BASIN |
| [Circle with Dot] | INDICATES LOCATION OF EXISTING MAINHOLE |
| [Circle with Triangle] | INDICATES LOCATION OF EXISTING FIRE HYDRANT |
| [Circle with Square] | INDICATES LOCATION OF BUILDING SIAMESE CONNECTION |
| [Circle with X] | INDICATES LOCATION OF EXISTING TRANSFORMER / PEDESTAL |
| [Circle with Plus] | INDICATES LOCATION OF EXISTING LIGHT STANDARD |
| [Circle with Dot] | INDICATES EXISTING BOLLARD TO BE REMOVED |
| [Circle with Star] | INDICATES PROPOSED BOLLARD |
| [Circle with Circle] | INDICATES EXISTING BOLLARD TO REMAIN |



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SITE PLAN

KANATA BRIGHTPATH DAYCARE

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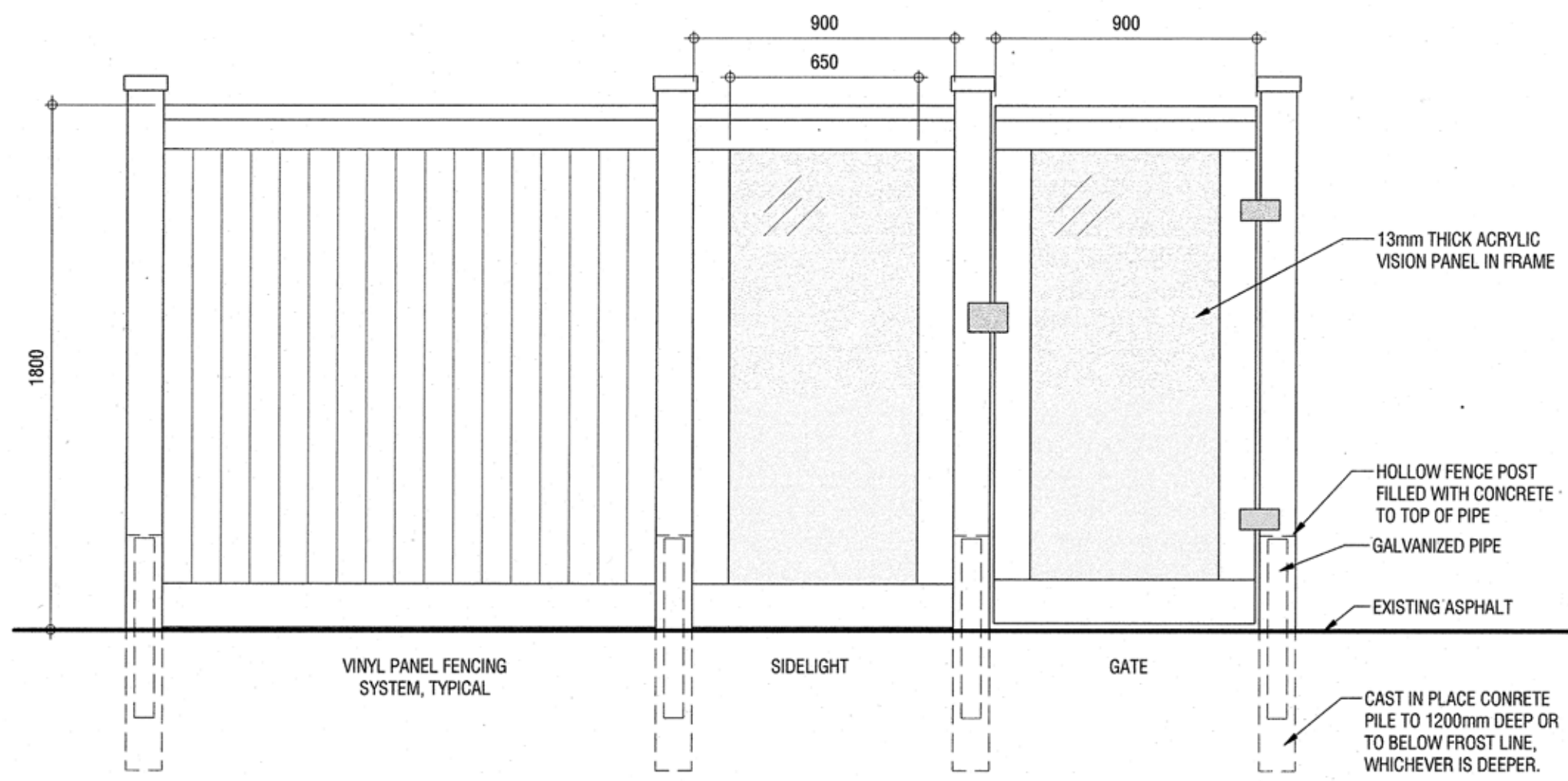
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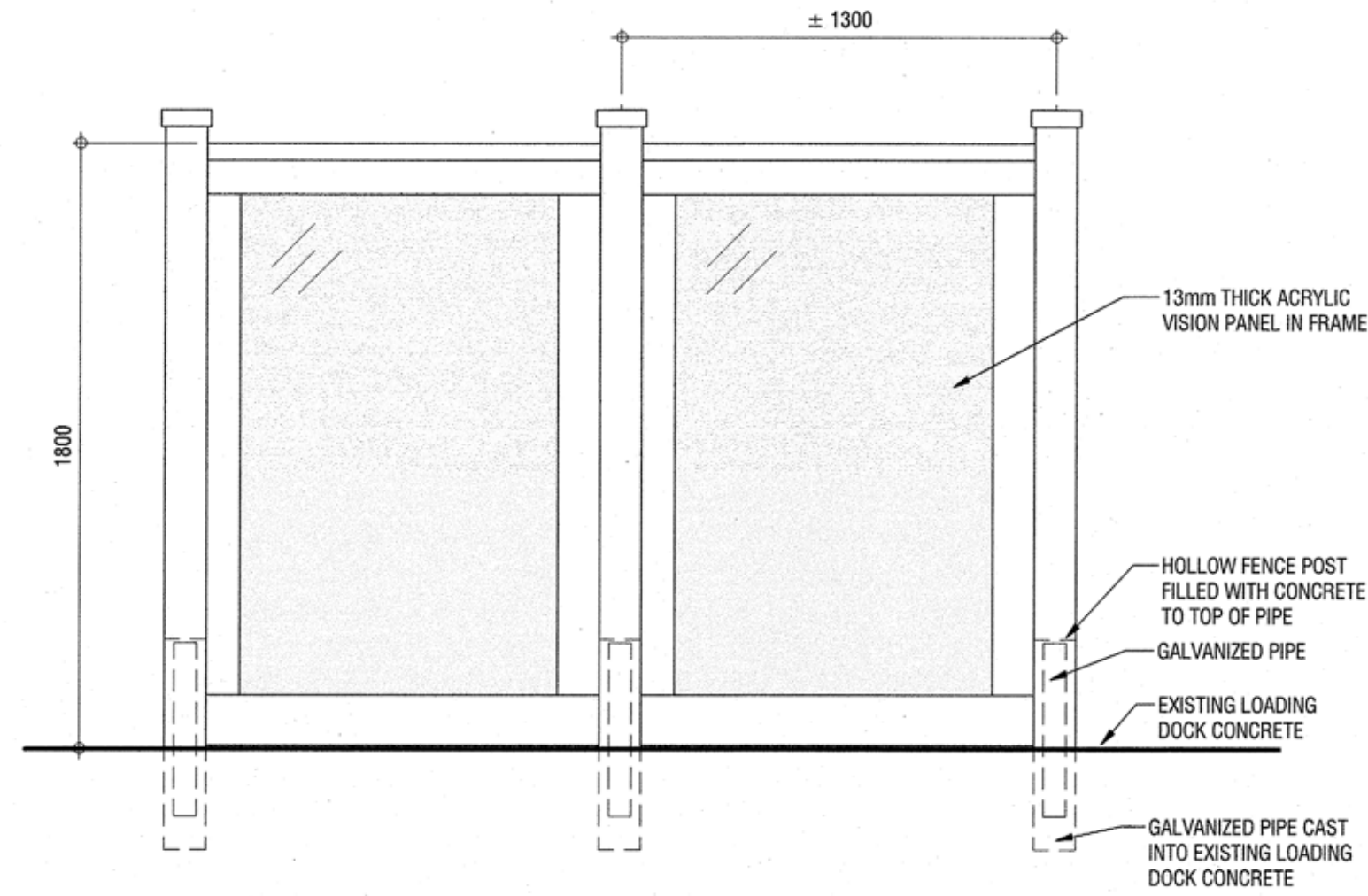
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1 Vinyl Fence Elevation
DP1.02 SCALE: 1 : 20



2 Vision Panel Fence Elevation
DP1.02 SCALE: 1 : 20



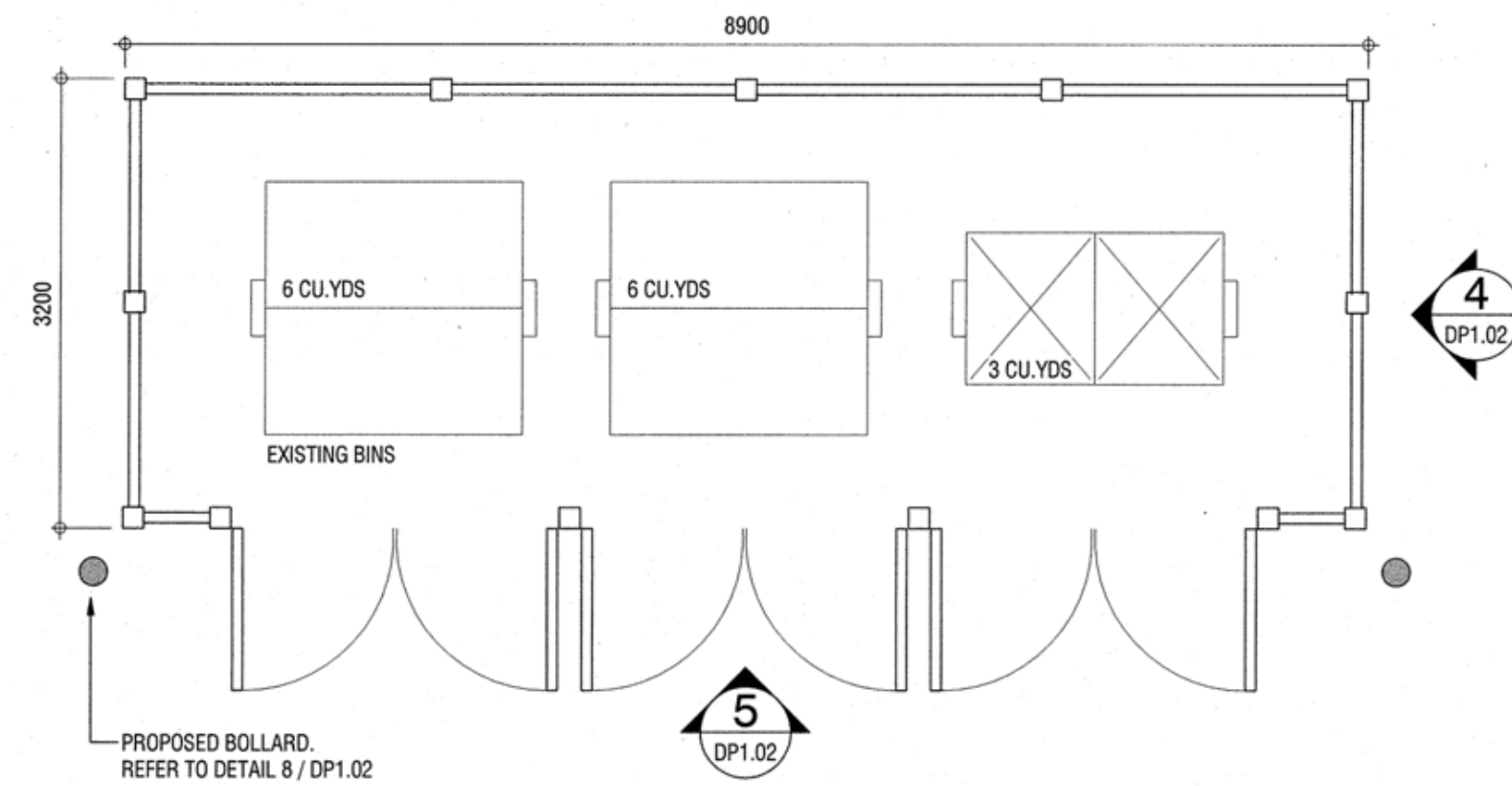
VINYL COATED CHAIN LINK FENCE TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

6 1.2m Chain Link Fence
DP1.02 SCALE: NTS

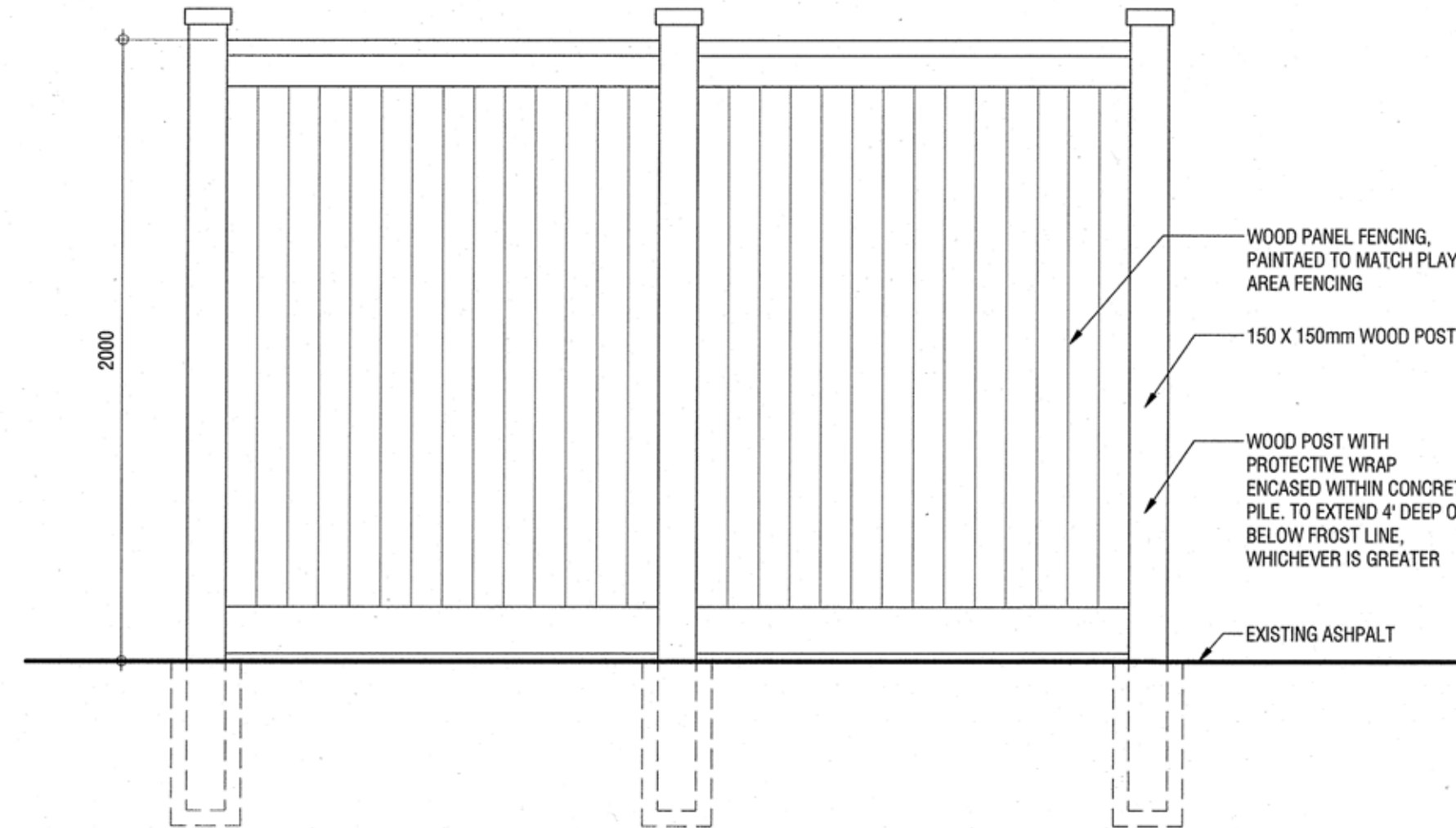


VINYL COATED CHAINLINK FENCE WITH PRIVACY SLATS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

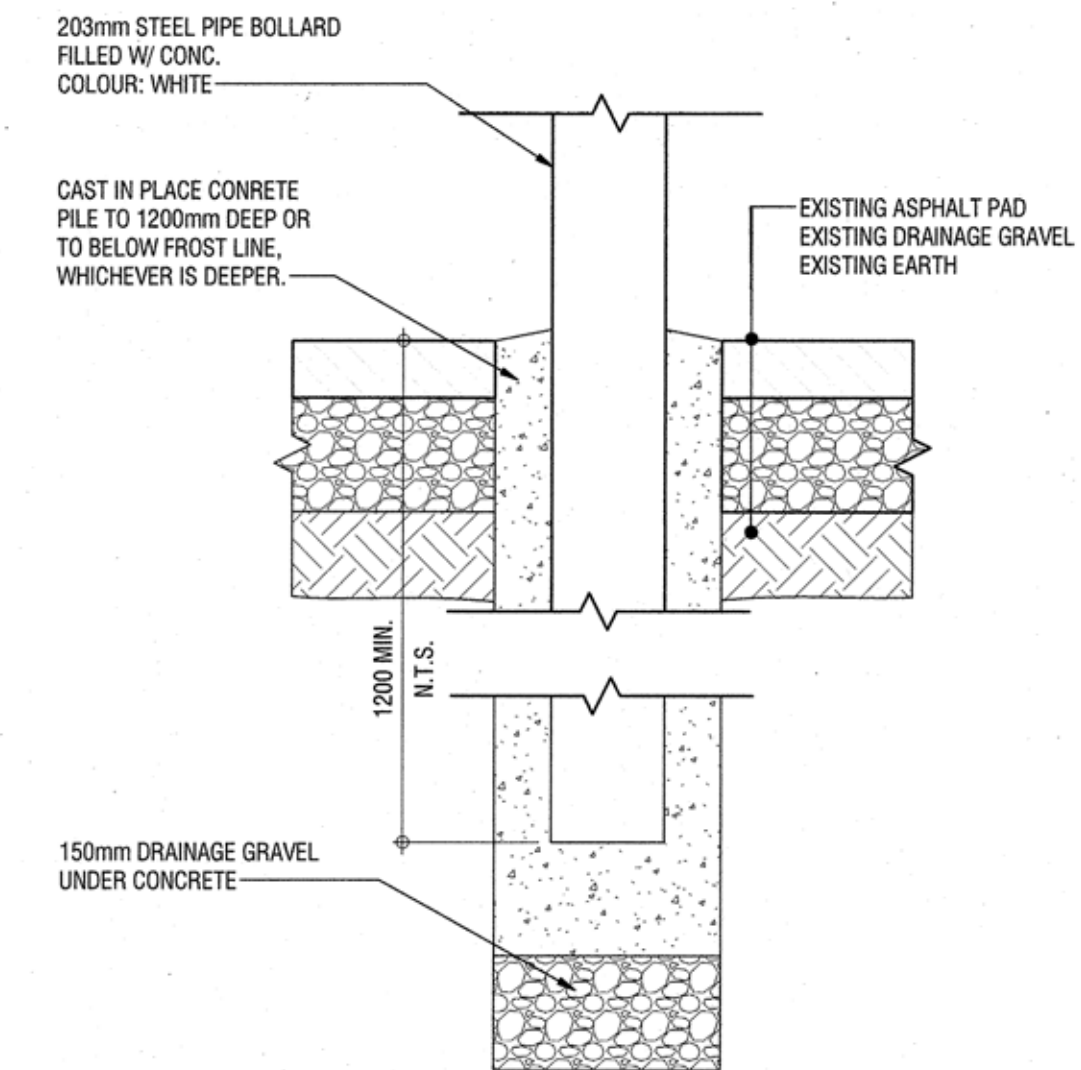
7 1.8m Chain Link Fence w/ Vinyl Slats
DP1.02 SCALE: NTS



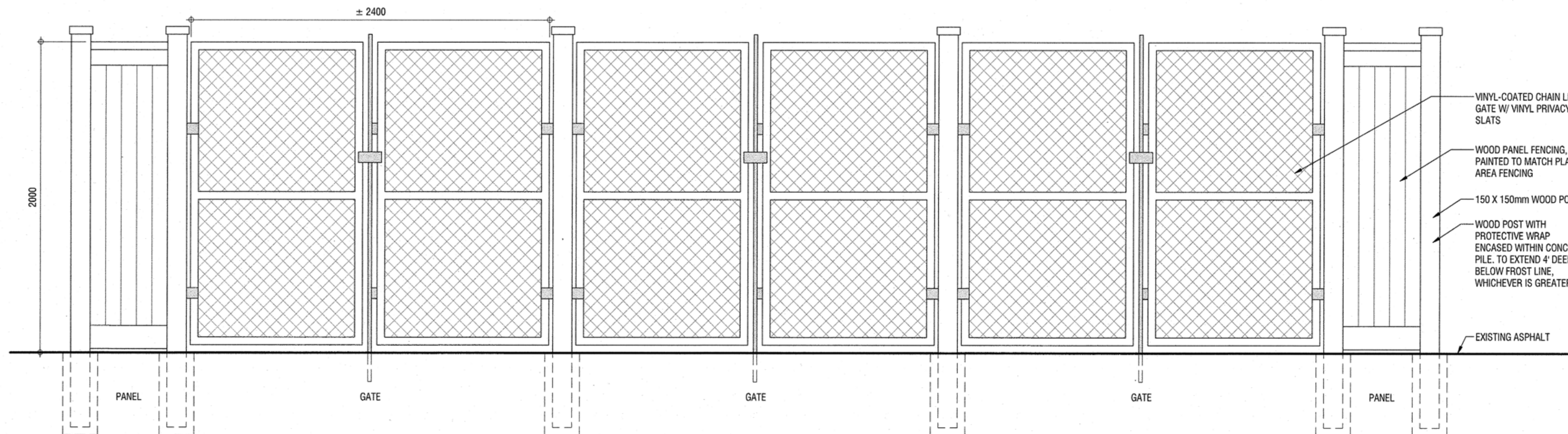
3 Waste & Recycling Enclosure Plan
DP1.02 SCALE: 1 : 50



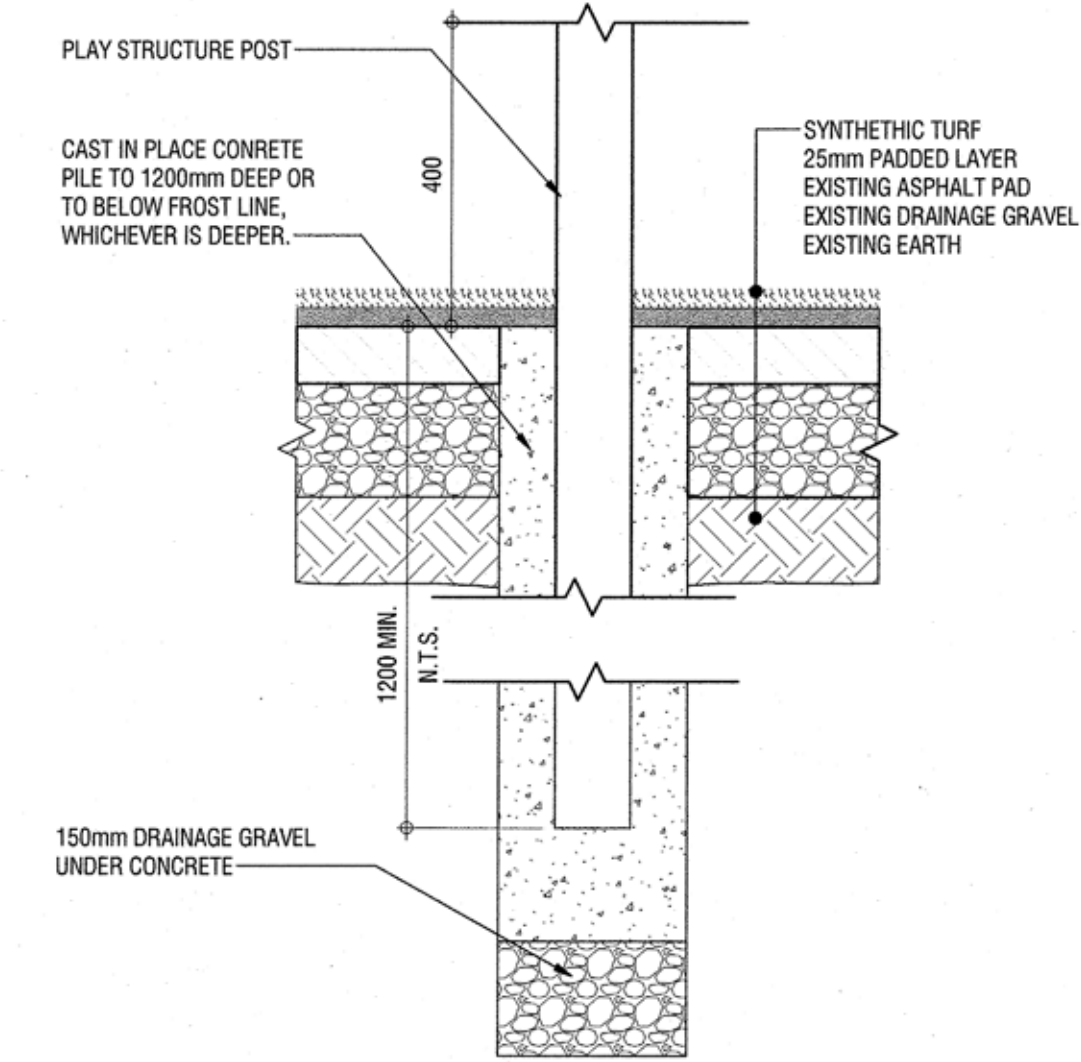
4 Waste Elevation
DP1.02 SCALE: 1 : 20



8 Typical Bollard Detail
DP1.02 SCALE: 1 : 10



5 Waste Gates Elevation
DP1.02 SCALE: 1 : 20



9 Typical Structure Support Detail
DP1.02 SCALE: 1 : 10

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