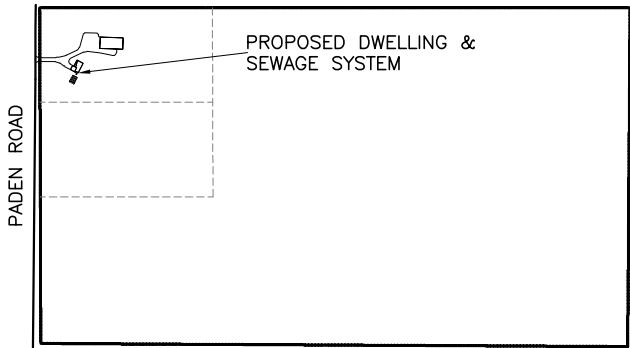


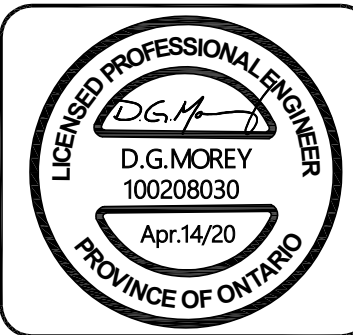
- NOTES:**
- All dimensions and elevations are in metres, unless otherwise indicated. Do not scale drawing.
 - TBM = Two nails in existing tree, located as shown on drawing, local elevation 100.00 metres. Morey Associates Ltd. accepts no responsibility for any third party use of the above mentioned TBM.
 - Property boundary information shown on drawing is from City of Ottawa geomaps website and information provided by client regarding property boundary and as such should be considered approximate. The legal survey for the subject site was not provided to us at the time of preparation of this drawing. The size of the proposed dwelling shown on drawing is from foundation layout drawing titled "Foundation Plans & Details", dated Feb. 8, 2020, prepared by AMCT Ltd., provided to us by client by email dated February 11, 2020 and based on discussion with client. The proposed dwelling location shown on drawing is based on stakes/flagging noted in the field by the client and based on draft drawing reviewed and approved by the client. The original topography/ground elevations and existing site features shown on this plan are supplied for design and approval purposes only and assumed to be accurate. It shall be the responsibility of the contractor to verify the accuracy of all information obtained from plans for construction purposes.
 - This drawing is not a legal survey plan. The drawing is not a site control plan. This drawing is not a sewage system design. This drawing is not a landscape plan.
 - The intent of this grading plan drawing is to show surface water drainage directed away from the proposed dwelling and sewage system. The grading plan drawing shows surface water drainage directed away from the proposed dwelling and sewage system and as such no surface water ponding should occur in close proximity to (ie: adjacent to) those structures during typical rain events, however, surface water ponding may occur at the subject site out beyond those structures.
 - All dimensions to be verified on site by contractor prior to construction.
 - Boundary information and dimensions shown on this drawing have been provided to us or derived from information provided to us by others. As such Morey Associates Ltd. should be contacted if dimensions verified on site by contractor differ from this drawing as this may require design changes.
 - Design and location of all utilities, such as but not limited to, hydro wires, telephone wires, cable wires, gas lines, underground services, etc., and easements are outside the scope of this design drawing. Contractor is responsible for location and protection of all existing and proposed utilities and easements.
 - Client is responsible for acquiring all necessary permits. This drawing is not for construction until all necessary permits have been acquired.
 - Top of foundation (TOF) and underside of footing (USF) elevations for proposed dwelling is as shown on drawing and is based on the above mentioned foundation plan and discussion/correspondence with client indicating a 2.74 metre high poured foundation wall and a 0.2 metre thick footing. TOF and USF elevations for proposed detached garage are based on the provision of an assumed 1.5 metre difference between the proposed USF level and the proposed finished grade level for footing subgrade frost protection purposes and on an assumed 0.2 metre difference between the proposed finished grade level and TOF level. It is pointed out that at the time of preparation of this drawing the finalized house and detached garage plans were not completed and/or provided to us. Footings/foundation walls are to be "stepped" as per finalized and approved foundation design (by others). Where less than 1.5 metres of earth cover above underside of footings is provided rigid insulation for footing subgrade frost protection may be required.
 - The underside of footing elevation and finished grade at the proposed building have been set based on the information available and may not have accounted for actual groundwater and/or soil/bedrock conditions at the proposed building location and should be verified as acceptable by a qualified geotechnical engineer upon completion of the excavation.
 - Finished grades and drainage slopes around proposed building to be as shown. Finished grade to slope downwards and away from proposed building everywhere, whether or not indicated on this drawing.
 - Maximum allowable landscape (overburden) slope on site is 3H:1V. Finished grade adjacent to proposed building to slope downwards and away from proposed building at all sides at a minimum of 2% and a maximum of 7% out beyond building a minimum 0.6 metres. Beyond 0.6 metres the finished grade slope downwards and away from proposed building may be increased up to 3H:1V.
 - The proposed grades have been set for subject site grading and drainage only. All grading and drainage control beyond the subject site property boundaries and within the City of Ottawa roadway right-of-way is outside the scope of this grading plan and is the responsibility of the property owners and the City of Ottawa, respectively.
 - No excess drainage, during and after construction should be directed towards the neighbours' properties and no alteration to existing grade and drainage pattern on or beyond property lines is to take place, as per City of Ottawa requirements.
 - Exact eavestrough downspout locations are to be determined at time of construction by contractor. Contractor is to ensure eavestrough drainage outletting at downspouts is not directed onto neighbouring properties. Contractor to ensure that proposed eavestroughs and downspouts are adequate to convey the proposed building roof drainage.
 - This drawing has been prepared for the exclusive use of Jennifer Lavoie for the purposes of obtaining a City of Ottawa building permit. This drawing has not been prepared for the purposes of contractors bidding on the construction of the proposed grading and drainage works. Contractors bidding on or undertaking the grading and drainage works should examine the information shown on this drawing, satisfy themselves as to the adequacy of the information for construction, and make their own interpretation of the information shown on the drawing as it affects their construction techniques, schedule, safety, equipment capabilities and costs. See Notes 18 to 21.
 - By use of these drawings for construction of the project, the client/owner confirms that they have reviewed and approved the drawings and the contractor confirms that they have visited the site, familiarized themselves with the local conditions, verified field dimensions and correlated their observations with the requirements of the drawings.
 - This drawing provides a limited illustration of the work to be done to construct the proposed grading and drainage works. Morey Associates Ltd. is not responsible for the means, methods, techniques, sequences and/or procedures used to carry out the work, or the safety aspects of construction, and nothing on these drawings expressed or implied changes this condition. Contractor shall determine all conditions at the site and shall be responsible for knowing how they affect the work.
 - The engineer waives any and all responsibility and liability for problems which arise from failure to follow these plans, specifications and the design intent they convey, or for problems which arise from others' failure to obtain and/or follow the engineer's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.
 - Any changes to this design/drawing must be verified and approved by Morey Associates Ltd. If any changes to this design/drawing are made without obtaining Morey Associates Ltd. written consent, the client and/or contractor shall assume full responsibility for the results of such changes and the client and contractor agrees to waive any claim against Morey Associates Ltd. and to release Morey Associates Ltd. from any liability arising directly or indirectly from such unauthorized changes. In addition, the client and contractor agrees, to the fullest extent permitted by law, to indemnify and hold harmless Morey Associates Ltd. from any damages, liabilities or cost, including reasonable attorney's fees and cost of defence, arising from such unauthorized changes.

SPECIAL NOTE

The notes on this drawing form an integral part of this grading plan and should be read by the user.



SCALE 1:12000



DRAWING

SITE GRADING PLAN

REV.	DRAWN BY	DATE	DESCRIPTION
1	DGM	Apr. 14/20	Revised as per client request

LOCATION

3120 PADEN ROAD
RIDEAU-GOULBOURN WARD
CITY OF OTTAWA, ONTARIO

PROJECT

PROPOSED SINGLE FAMILY DWELLING

CLIENT

JENNIFER LAVOIE

DATE

February 11, 2020

DRAWING No.

1 of 1

DRAWN BY

DGM

SCALE

As Shown

FILE NO.

020022



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