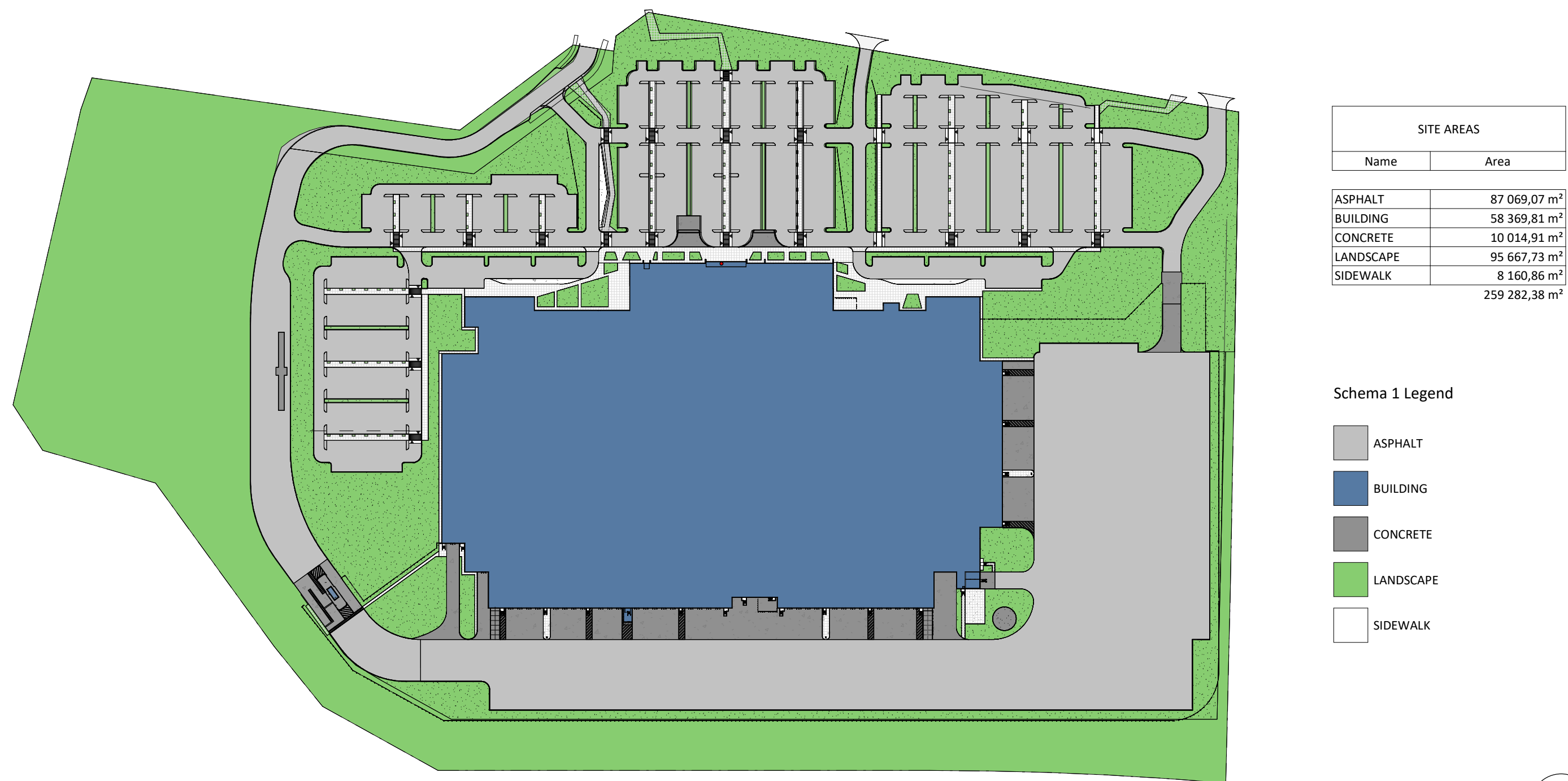
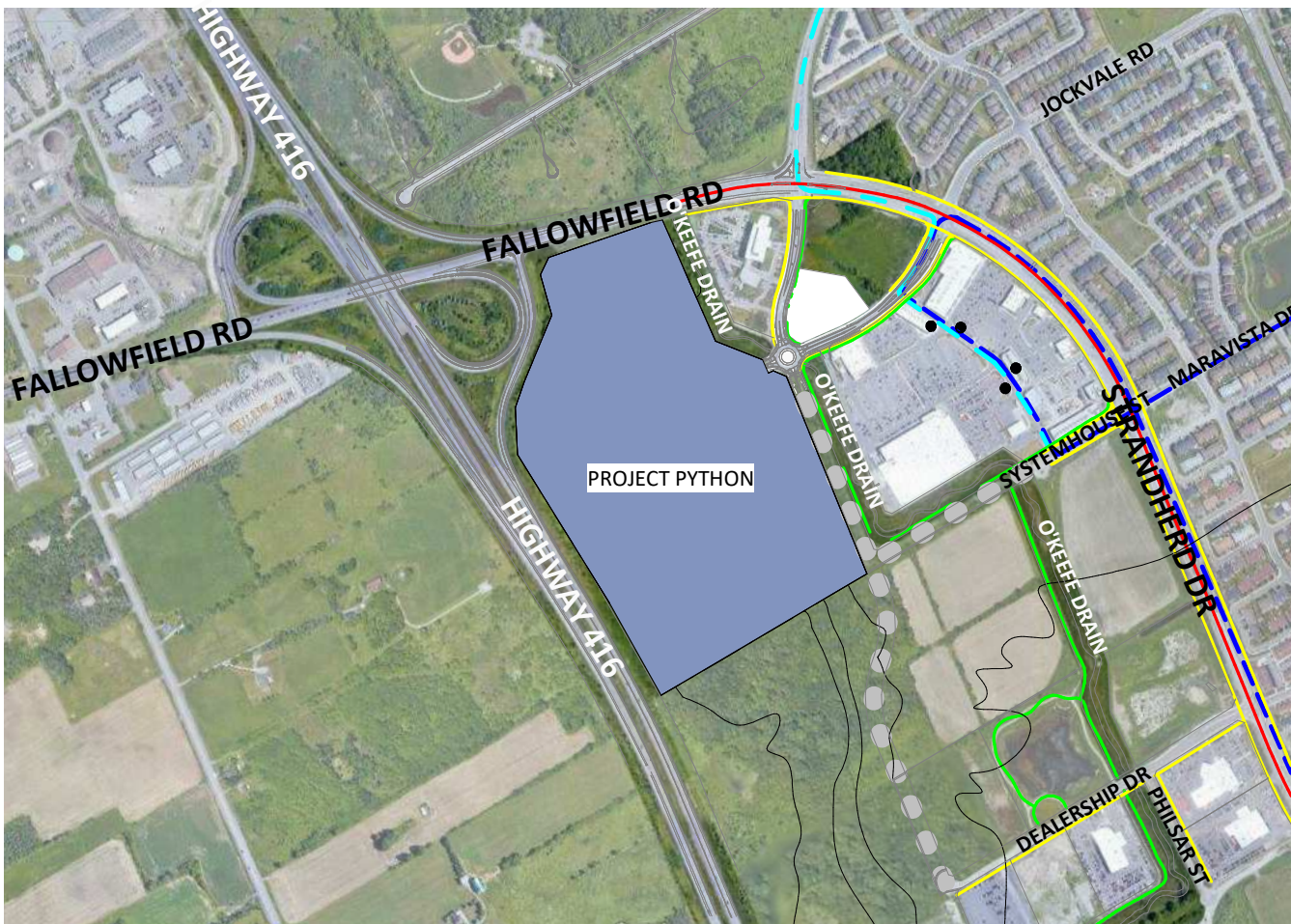




SITE AREA CALCULATION 2



LEGEND - SITE SYMBOLS

	ALD	ASPHALT PAVING, SEE CIVIL
	BG6	152 mm CONCRETE FILLED GALVANIZED ROLLAND C/W YELLOW PLASTIC SLEEVE
	BG8	203 mm CONCRETE FILLED GALVANIZED ROLLAND C/W YELLOW PLASTIC SLEEVE
	CC	CONCRETE CURB, SEE CIVIL
	CS	CONCRETE SLAB (DOLLY PAD), SEE CIVIL
	EV	CHARGER FOR ELECTRIC/HYBRID VEHICLES, 120 V/208 V, SEE ELECTRIC
	FF	FENCE "X" POST, REFER TO SITE DETAILS
	G	GRASS AND OTHER LANDSCAPING, SEE LANDSCAPE
	GS	GALVANIZED STAIR
	H	PARKING SIGN FOR HANDICAPPED ACCORDING TO CITY/MTD STANDARDS AND CLIENT STANDARDS
	LMP	LAMP, SEE ELECTRICAL PLAN
	MH	MAN HOLE, SEE CIVIL PLAN
	PL	PAINTED LINE - EXTERIOR YELLOW ON ASPHALT/ WHITE ON CONCRETE
	PV	UNISTONE
	RMP	HANDICAP RAMPS, SEE SPECIFICATIONS / CIVIL PLAN
	SDW	SIDEWALK TYPE: 1525 mm WIDE, EXPANSION JOINT @ 1525 mm O.C., SEE SPECIFICATIONS / CIVIL PLAN

SITE DEVELOPMENT STATISTICS

LOT AREA	±259 522 m ²	±64.129 ac.
LOT FRONTAGE	350.274m	1149.19ft
LOT DEPT IRREGULAR	± 328.64m	1078.22ft

SITE STATISTICS

LOT COVERAGE	22.5%
BUILDING HEIGHT	27m

BUILDING GROUND FLOOR AREA

TOTAL GROUND FLOOR AREA	±58 396 m ²	±628 569 ft ²
- GUARD HOUSE	±26 m ²	±279 ft ²
- GROUND FLOOR LEVELS	±58 370 m ²	±628 289 ft ²

BUILDING GROSS FLOOR AREA

-PRESTIGE OFFICES	±1 105 m ²	±11 895 ft ²
- LIGHT INDUSTRIAL	±250 752 m ²	±2 699 076 ft ²

PARKING CARS		REQ. : 2 033
Parking Type	# Stalls	
Car Space - 2 400 x 4 600	689	
Car Space - 2 600 x 5 200	322	
Car Space - 2 743 x 5 486	995	
Handicap - 4 420 x 5 486	28	
Grand total (NOTE: 302 tandem spaces(13%)	2034	

PARKING BICYCLE		REQ. : 171
Bicycle Space - 762 x 1830	176	

PARKING MOTORCYCLE		
Motorcycle	16	

ZONING PROVISIONS: LIGHT INDUSTRIAL ZONE

PROJECT DESCRIPTION

PROJECT :	PYTHON
ADDRESS :	222 CITIGATE DRIVE OTTAWA, ONTARIO
DEVELOPER :	PYTHON LP, C/O NOVATECH ENGINEERING CONSULTANTS, 240 MICHAEL COPELAND DR, KANATA, ON K2M1P6
APPLICANT :	NOVATECH ENGINEERING CONSULTANTS, 240 MICHAEL COPELAND DR, KANATA, ON K2M1P6
PROPERTY IDENTIFICATION :	BLOCK 13, PLAN 4M15538, CITY OF OTTAWA, BEING ALL OF PIN 04467-1618(17)

ZONE PERFORMANCE STANDARDS CITY OF OTTAWA ZONING BY-LAW 2008-250	IP6	
	REQUIRED	PROVIDED
MINIMUM LOT AREA (m ²)	10 000m ²	± 259 578 m ²
MINIMUM LOT WIDTH (m)	100 m	± 366.18 m
MAXIMUM LOT COVERAGE (%)	55%	23%
MINIMUM FRONT YARD SETBACK (m) EAST	3 m	± 132 m
MINIMUM CORNER YARD SETBACK (m) NORTH	3 m	± 110 m
MINIMUM INTERIOR YARD SETBACK (m) SOUTH	3 m	± 128 m
MINIMUM REAR YARD SETBACK (m) WEST	6 m	± 94 m
MAXIMUM BUILDING HEIGHT	45 m	27 m

PARKING AND LOADING (SEC. 100-114)

PERFORMANCE STANDARDS	PARKING RATE	AREA	REQUIRED	PROVIDED
MINIMUM PARKING SPACE RATES (OFFICE)	2.4 / 100 m ²	± 1 105 m ²	27	33
MINIMUM PARKING SPACE RATES (LIGHT INDUSTRIAL)	0.8 / 100 m ²	250 752 m ²	2006	2006
MINIMUM ACCESSIBLE PARKING SPACE RATES	500 AND OVER	N/A	6	28
MOTORCYCLE PARKING SPACE RATES (OFFICE)	-	-	N/A	16
MINIMUM BICYCLE PARKING SPACE RATES (OFFICE)	1 / 250 m ²	± 1 105 m ²	4	9
MINIMUM BICYCLE PARKING SPACE RATES (LIGHT INDUSTRIAL)	1 / 1 500 m ²	250 752 m ²	167	167
MINIMUM LOADING SPACE RATES (LIGHT INDUSTRIAL)	3 / 25 000 m ²	250 752 m ²	30	52

No.	Date	Revision	By
1	2020-04-06	SPA	
2020-04-09 12:31:01 AM			

PROJECT PYTHON

ARCHITECTURE

OVERALL SITE PLAN