

PROJECT INFORMATION:

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGN TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP D, SPRINKLERED, FIVE STOREY (3.2.2.51)

BUILDING STATISTICS:

BUILDING AREA (FOOTPRINT): ±1910 sq.m.
FLOOR AREA: 1859 sq.m.
GROSS FLOOR AREA: 9296 sq.m.
NUMBER OF STOREYS: 5
BUILDING SPRINKLERED: YES
OF STREET ACCESS ROUTES: 1
CONSTRUCTION TYPE: NON-COMB.
FLOOR ASSEMBLY & F.R.R.: 1 HOUR

TOPOGRAPHICAL PLAN INFORMATION:

SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 7

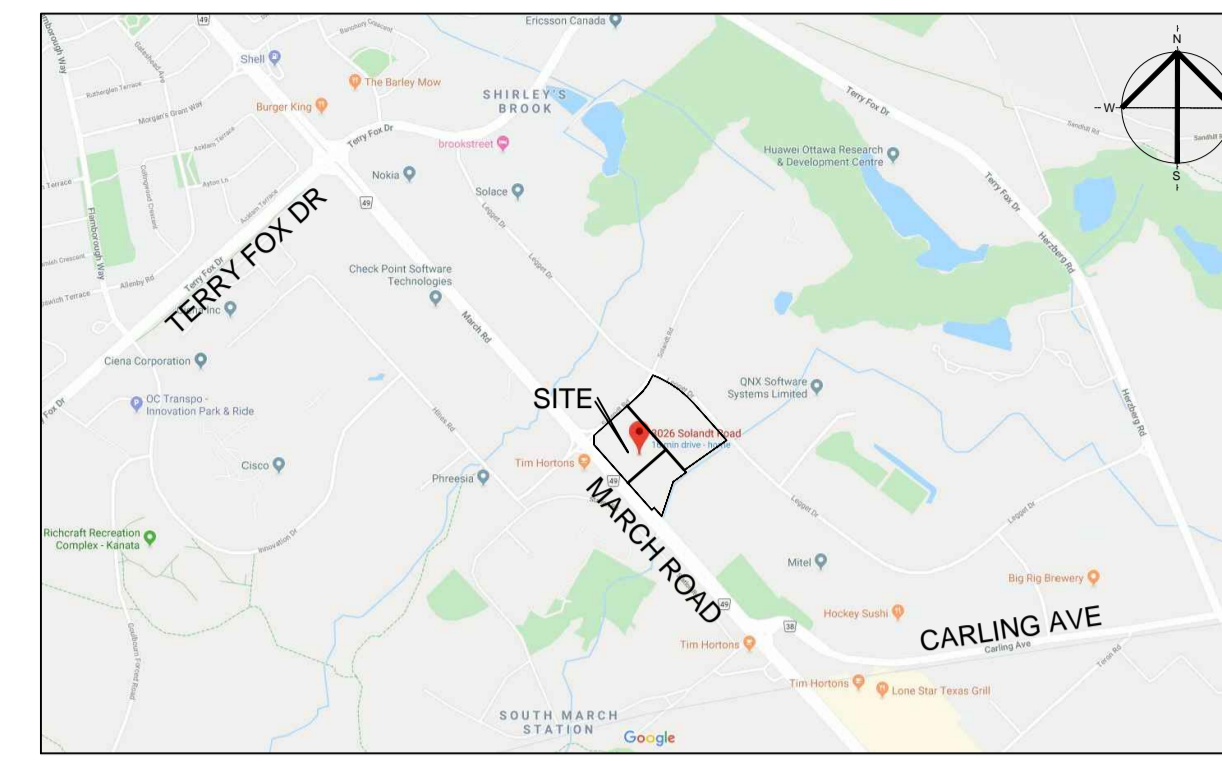
CONCESSION 4
Geographic Township of March
CITY OF OTTAWA
PREPARED BY Annis, O'Sullivan, Vollebakk Ltd., on the 9th day of December, 2019.

- LEGEND**
- PROPERTY LINE
 - - - YARD SETBACK
 - NEW BUILDING
 - ▨ PAVAR PATIO
 - SOFT LANDSCAPED AREA
 - ▶ MAIN ENTRANCE
 - GARBAGE ENCLOSURE SEE A-002
 - STANDARD PARKING SPACE 2.6 m x 5.2 m
 - REDUCED PARKING SPACE 2.4 m x 5.2 m
 - ▨ LINE PAINT AREA
 - ▨ LINE PAINT CROSS WALK
 - DC NEW DEPRESSED CURB - SEE LANDSCAPE
 - NEW CURB
 - ⊕ EXHYD EXISTING FIRE HYDRANT
 - ⊕ NYHD NEW FIRE HYDRANT
 - ⊕ SC SIAMESE CONNECTION
 - ⊕ EXT EXISTING TREES TO REMAIN
 - BIKE RACK, SEE LANDSCAPE
 - TWSI - TACTILE WALKING SURFACE INDICATORS

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

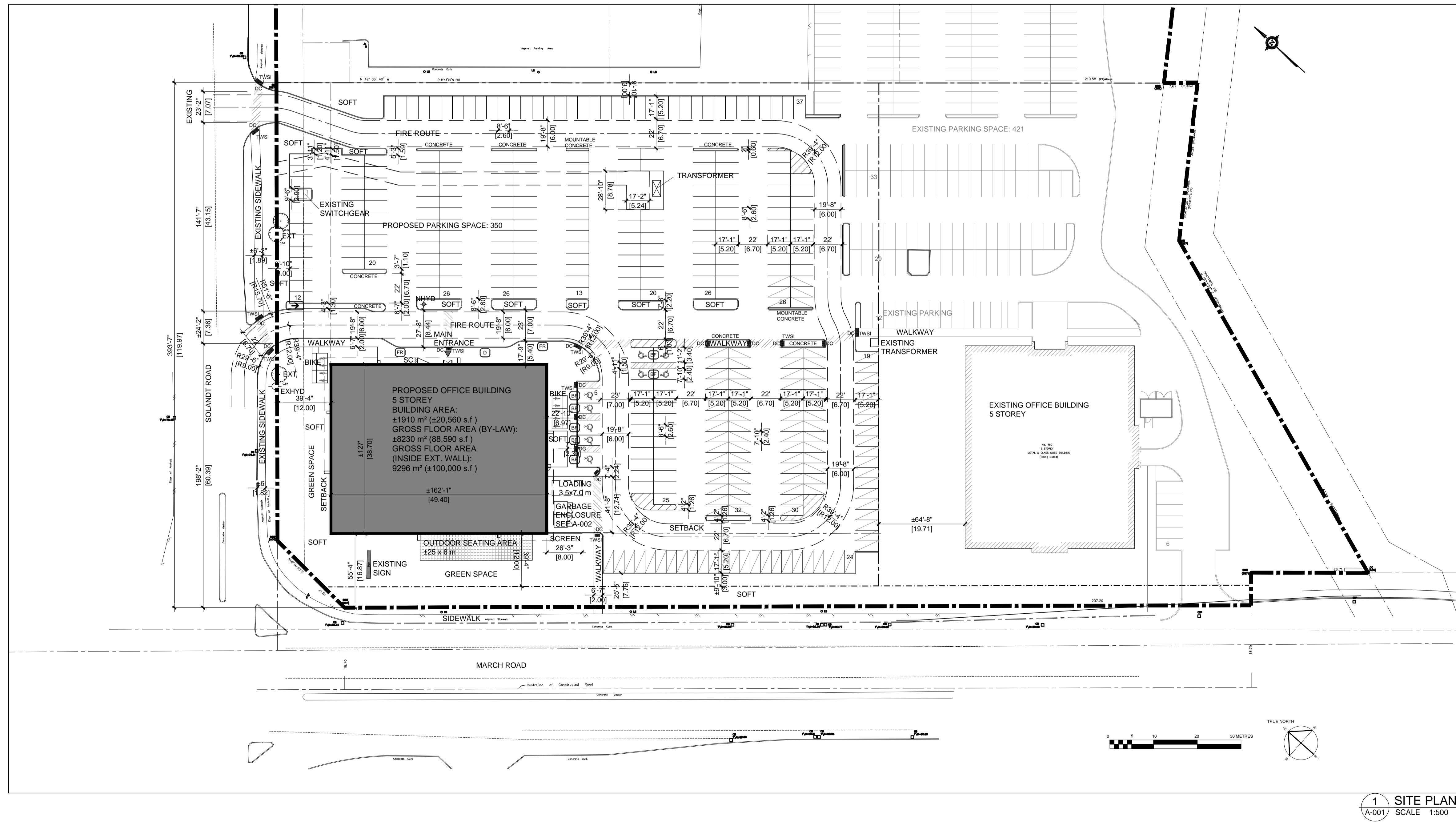
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	3026 SOLANDT ROAD	
DEFINITION	IG 6 GENERAL INDUSTRIAL ZONE	OFFICE
MIN. LOT WIDTH	45 m	
MIN. LOT AREA	4000 m ²	±17116 m ²
MIN. FRONT / CORNER SIDE YARD SETBACK	12 m	12 m
MIN. INT. SIDE YARD SETBACK	7.5 m	> 7.5 m
MIN. REAR YARD SETBACK	7.5 m	> 7.5 m
MAX. LOT COVERAGE	45 %	±11 %
MAX. BUILDING HEIGHT	22 m	± 19.0 m
MIN. WIDTH OF LANDSCAPING	3 m ABUTTING A STREET	3 m
STANDARD PARKING SPACE	2.6m x 5.2m	68 %
REDUCED PARKING SPACE	2.4m x 5.2m (MAX. 50 %)	32 %
ACCESSIBLE PARKING SPACE	3.4m x 5.2m TYPE A 2.4m x 5.2m TYPE B	3.4m x 5.2m 2.4m x 5.2m
PARKING REQUIREMENTS AREA C: SUBURBAN	198 2.4 / 100 m ² G.F.A. (BY-LAW)	350 PARKING RATE: 3.50 / 1000 s.f
BARRIER-FREE PARKING	9	g (5 x TYPE A) 4 (x TYPE B)
LOADING SPACES	1 (3.5m x 7.0m)	1 (3.5m x 7.0m)
BICYCLE PARKING RATE	33 (1 / 250 m ² of G.F.A.)	33
BUILDING AREA		±1910 m ² (20,560 s.f)
GROSS FLOOR AREA (BY-LAW)		±8230 m ² (88,590 s.f)
GROSS FLOOR AREA (INSIDE EXT. WALL)		9296 m ² (100,000 s.f)



KEY PLAN

SIGNAGE LEGEND:

- FR FIRE ROUTE
- BF BF PARKING
- D DROP OFF ONLY/NO PARKING
- ➔ ONE WAY



no.	revision	date
4		
3		
2	ISSUED FOR RE-SUBMISSION	27 MAR. 2020
1	ISSUED FOR SITE PLAN APPLICATION	17 JAN. 2020

N45 ARCHITECTURE INC.
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project
SOLANDT ROAD OFFICE BUILDING
3026 SOLANDT ROAD, KANATA, ONTARIO

construction north
true north

seal
CANADIAN ASSOCIATION OF ARCHITECTS
ROBERT C. MATTHEWS
LICENCE 2966

drawing title
SITE PLAN

scale AS SHOWN	drawn by J. J
date Dec. 2019	checked by R.M
project number 19-458	drawing number A-001

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

revision