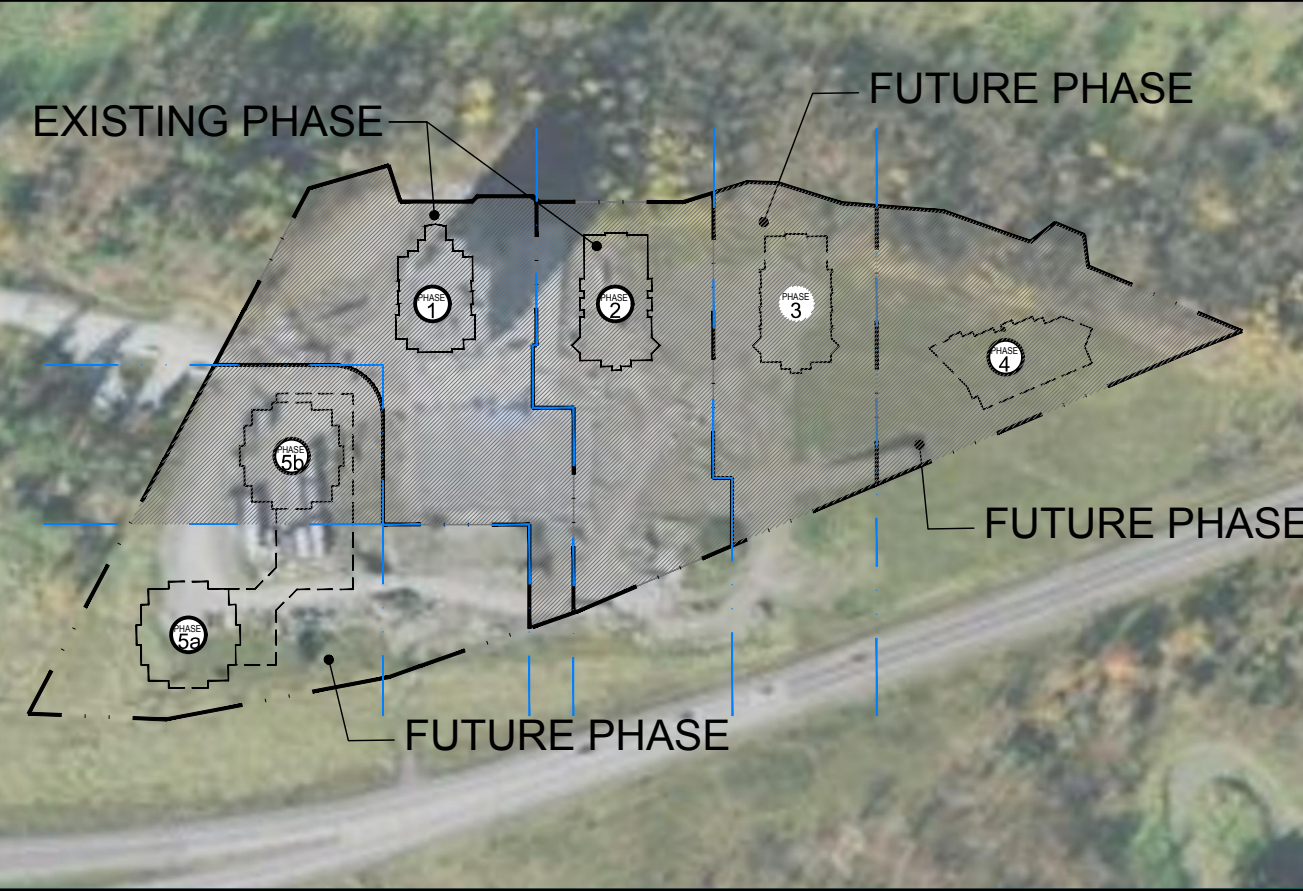
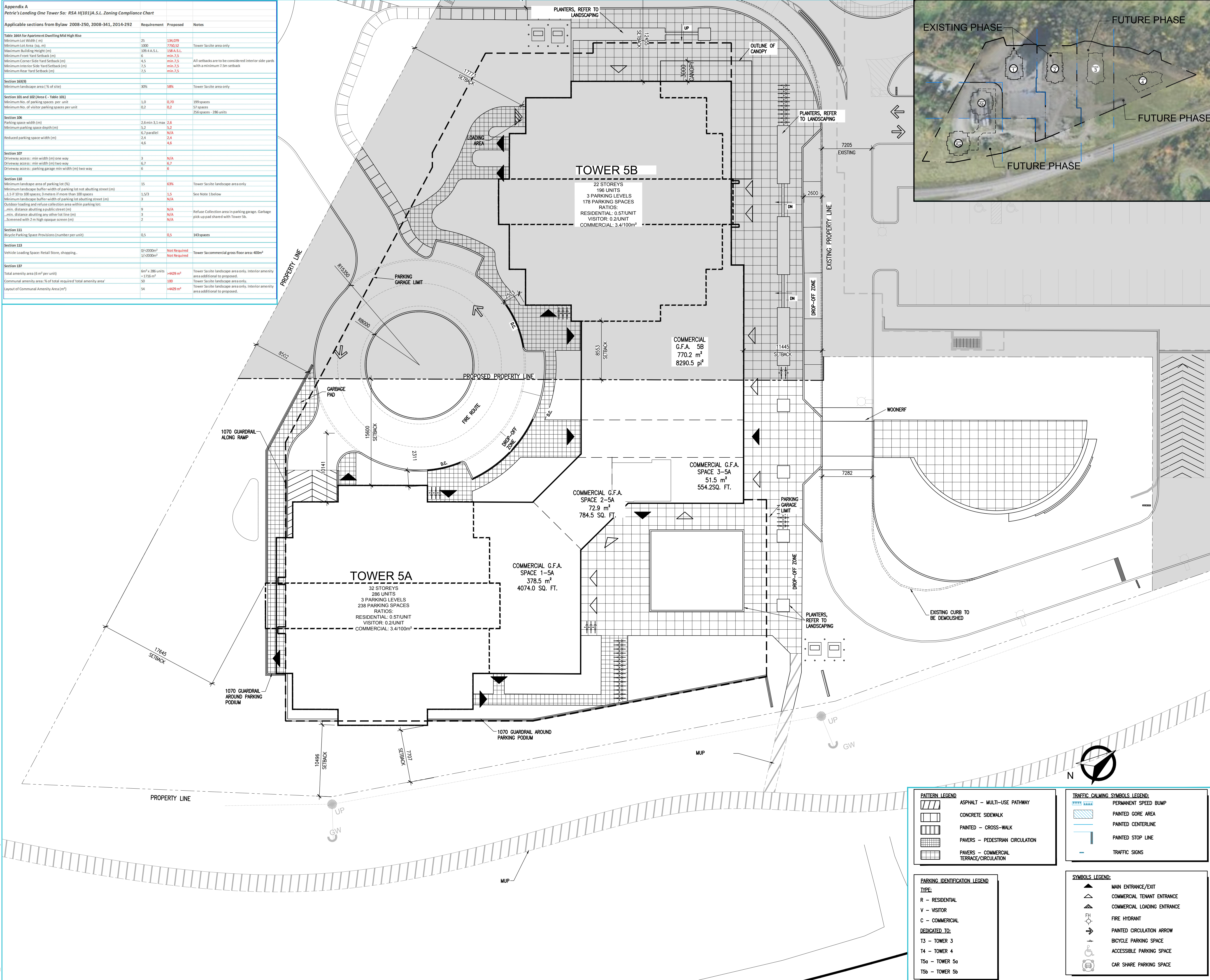


| Appendix A<br>Petrie's Landing One Tower 5a: RSA H(101)A.S.L. Zoning Compliance Chart |                                                           |              |                                                                                     |
|---------------------------------------------------------------------------------------|-----------------------------------------------------------|--------------|-------------------------------------------------------------------------------------|
| Applicable sections from Bylaw 2008-250, 2008-341, 2014-292                           | Requirement                                               | Proposed     | Notes                                                                               |
| Table 1604 for Apartment Dwellings Mid High Rise                                      |                                                           |              |                                                                                     |
| Minimum Lot Width (m)                                                                 | 25                                                        | 134.079      | Tower 5a site area only                                                             |
| Minimum Lot Area (sq. m)                                                              | 1003                                                      | 7750.92      |                                                                                     |
| Minimum Building Height (m)                                                           | 109.4 A.S.L.                                              | 138 A.S.L.   |                                                                                     |
| Minimum Front Yard Setback (m)                                                        | 6                                                         | min 7.5      |                                                                                     |
| Minimum Corner Side Yard Setback (m)                                                  | 4.5                                                       | min 7.5      |                                                                                     |
| Minimum Interior Side Yard Setback (m)                                                | 7.5                                                       | min 7.5      | All setbacks are to be considered interior side yards with a minimum 7.5m setback   |
| Minimum Rear Yard Setback (m)                                                         | 7.5                                                       | min 7.5      |                                                                                     |
| Section 160(9)                                                                        |                                                           |              |                                                                                     |
| Minimum landscape area (% of site)                                                    | 30%                                                       | 58%          | Tower 5a site area only                                                             |
| Section 101 and 102 (Area C - Table 101)                                              |                                                           |              |                                                                                     |
| Minimum No. of parking spaces per unit                                                | 1.0                                                       | 0.70         | 199 spaces                                                                          |
| Minimum No. of visitor parking spaces per unit                                        | 0.2                                                       | 0.2          | 37 spaces                                                                           |
| Section 106                                                                           |                                                           |              |                                                                                     |
| Parking space width (m)                                                               | 2.6 min 3.1 max                                           | 2.8          | 256 spaces - 286 units                                                              |
| Minimum parking space depth (m)                                                       | 5.2                                                       | 5.2          |                                                                                     |
| Reduced parking space width (m)                                                       | 6.7 parallel                                              | N/A          |                                                                                     |
|                                                                                       | 2.4                                                       | 2.8          |                                                                                     |
|                                                                                       | 4.6                                                       | 4.6          |                                                                                     |
| Section 107                                                                           |                                                           |              |                                                                                     |
| Driveway access : min width (m) one way                                               | 3                                                         | N/A          |                                                                                     |
| Driveway access : min width (m) two way                                               | 6.7                                                       | 6.7          |                                                                                     |
| Driveway access : parking garage min width (m) two way                                | 6                                                         | 6            |                                                                                     |
| Section 110                                                                           |                                                           |              |                                                                                     |
| Minimum landscape area of parking lot (%)                                             | 15                                                        | 62%          | Tower 5a site landscape area only                                                   |
| Minimum landscape buffer width of parking lot not abutting street (m)                 | 1.5 if 10 to 100 spaces; 3 meters if more than 100 spaces | 1.5          | See Note 1 below                                                                    |
| Minimum landscape buffer width of parking lot abutting street (m)                     | 3                                                         | N/A          |                                                                                     |
| Outdoor loading and refuse collection area within parking lot:                        |                                                           |              | Refuse Collection area in parking garage. Garbage pick up pad shared with Tower 5b. |
| - min. distance abutting a public street (m)                                          | 9                                                         | N/A          |                                                                                     |
| - min. distance abutting any other lot line (m)                                       | 3                                                         | N/A          |                                                                                     |
| - Screened with 2 m high opaque screen (m)                                            | 2                                                         | N/A          |                                                                                     |
| Section 111                                                                           |                                                           |              |                                                                                     |
| Bicycle Parking Space Provisions (number per unit)                                    | 0.5                                                       | 0.5          | 143 spaces                                                                          |
| Section 113                                                                           |                                                           |              |                                                                                     |
| Vehicle Loading Space: Retail Store, shopping...                                      | 0' < 2000m²                                               | Not Required | Tower 5a commercial gross floor area: 400m²                                         |
|                                                                                       | 1' > 2000m²                                               | Not Required |                                                                                     |
| Section 137                                                                           |                                                           |              |                                                                                     |
| Total amenity area (6 m² per unit)                                                    | 6m² x 286 units = 1716 m²                                 | > 4429 m²    | Tower 5a site landscape area only. Interior amenity area additional to proposed.    |
| Communal amenity area: % of total required 'total amenity area'                       | 50                                                        | 100          | Tower 5a site landscape area only.                                                  |
| Layout of Communal Amenity Area (m²)                                                  | 54                                                        | > 4429 m²    | Tower 5a site landscape area only. Interior amenity area additional to proposed.    |



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OUVRAGE Project  
**PETRIE'S LANDING I -  
PHASES 3 - 5**

EMPLACEMENT Location NO PROJET No.  
OTTAWA, ONTARIO 11467

| NO | REVISION                      | DATE (aa.mm.jj) |
|----|-------------------------------|-----------------|
| A  | FOR SPA - CITY COMMENTS       | 2018.07.18      |
| B  | FOR SPA - CITY COMMENTS REV 1 | 2018.07.19      |
| C  | FOR SPA - CITY COMMENTS REV 2 | 2018.08.07      |
| D  | FOR COORDINATION              | 2019.04.04      |
| E  | FOR SPA-CITY COMMENTS-REV3    | 2019.05.10      |
| F  | FOR COMMENTS                  | 2019.06.27      |
| G  | FOR SPA - CITY COMMENTS-REV4  | 2019.07.19      |
| H  | FOR SPA - CITY COMMENTS-REV5  | 2019.08.04      |
| J  | FOR SPA - REVISION 6          | 2019.12.18      |

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**SITE PLAN - TOWER 5a**

REVISION Revision NO. DESSIN Dwg Number  
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