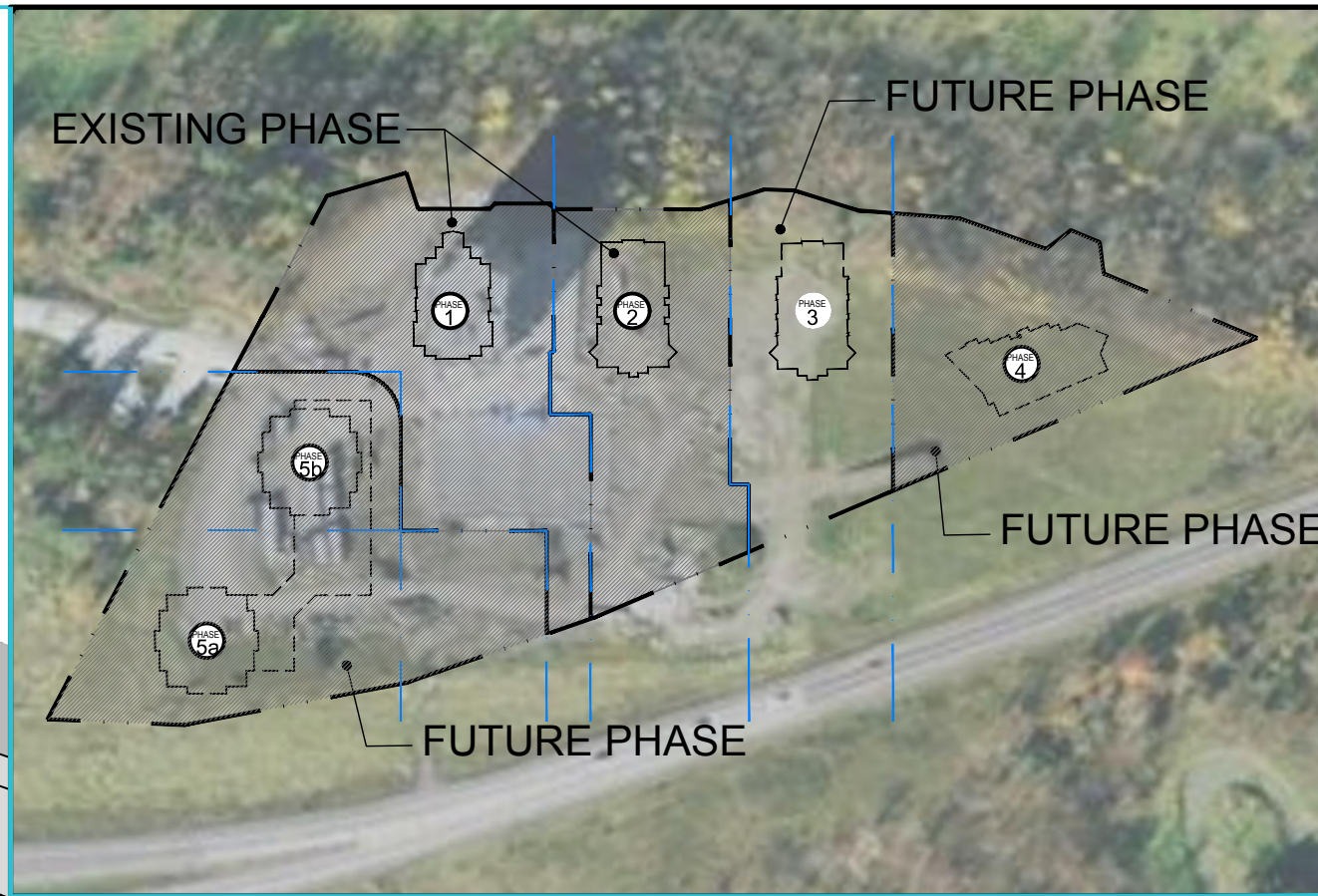
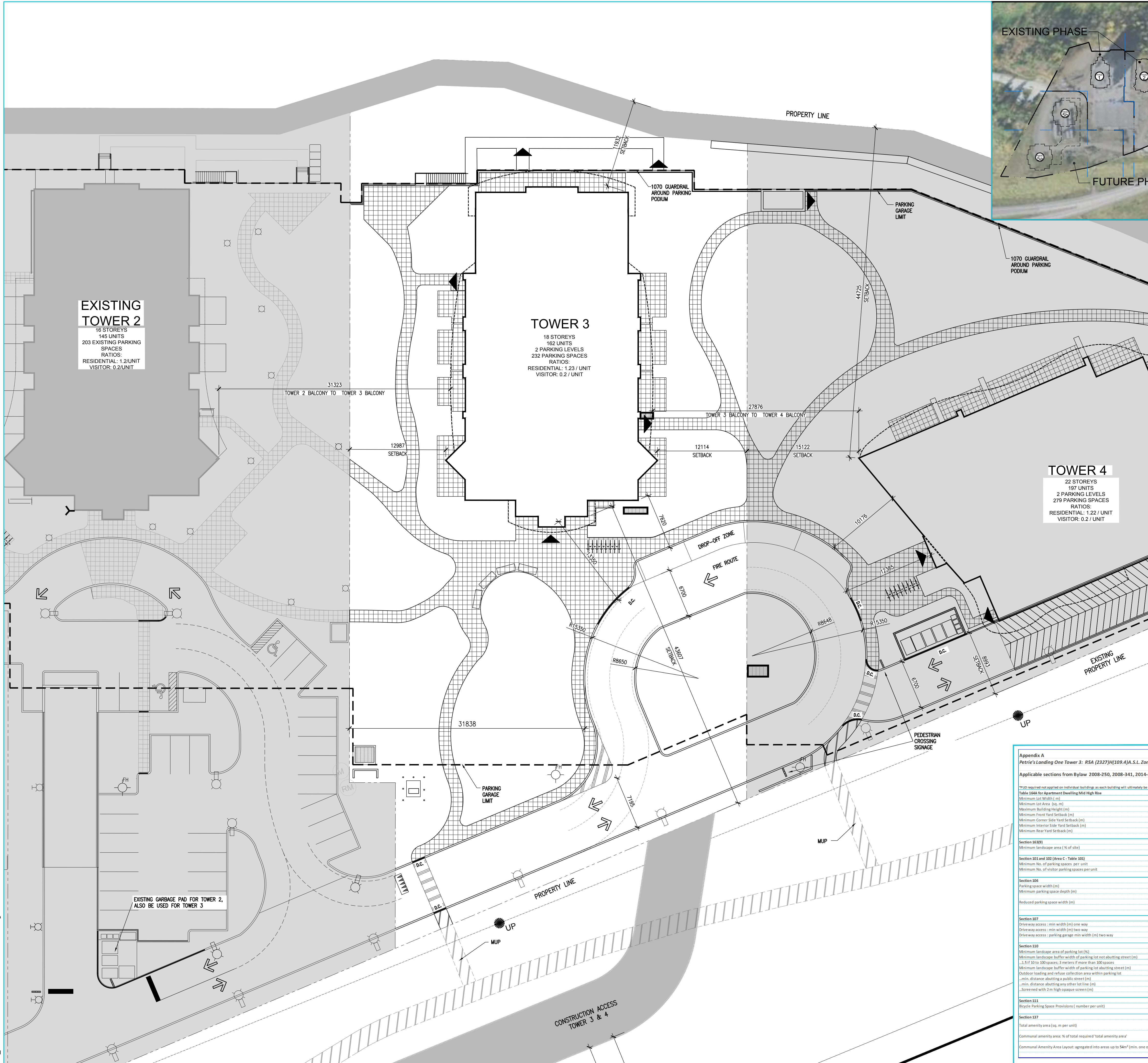


I:\P_1140011467\CAD\11467 A-100 Site Plan.dwg



TRAFFIC CALMING SYMBOLS LEGEND:	
	PERMANENT SPEED BUMP
	PAINTED GORE AREA
	PAINTED CENTERLINE
	PAINTED STOP LINE
	TRAFFIC SIGNS

SYMBOLS LEGEND:	
	MAIN ENTRANCE/EXIT
	COMMERCIAL TENANT ENTRANCE
	COMMERCIAL LOADING ENTRANCE
	FIRE HYDRANT
	PAINTED CIRCULATION ARROW
	BICYCLE PARKING SPACE
	ACCESSIBLE PARKING SPACE
	CAR SHARE PARKING SPACE

PATTERN LEGEND	
	ASPHALT - MULTI-USE PATHWAY
	CONCRETE SIDEWALK
	PAINTED - CROSS-WALK
	PAVERS - PEDESTRIAN CIRCULATION
	PAVERS - COMMERCIAL TERRACE/CIRCULATION

PARKING IDENTIFICATION LEGEND	
TYPE:	
R	RESIDENTIAL
V	VISITOR
C	COMMERCIAL
DEDICATED TO:	
T3	TOWER 3
T4	TOWER 4
T5a	TOWER 5a
T5b	TOWER 5b

Appendix A Petrie's Landing One Tower 3: RSA (2327)H(109.4)A.S.L. Zoning Compliance Chart			
Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
*NUD required not applied on individual buildings as each building will ultimately be sited on its own lot.			
Table 166A for Apartment Dwelling Mid High Rise			
Minimum lot Width (m)	25	47.5	Tower 3 site area only
Minimum lot Area (sq. m)	1000	5659.86	
Maximum Building Height (m)	100.4 A.S.L.	115.7 A.S.L.	
Minimum Front Yard Setback (m)	6	min. 7.5m	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5m	
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5m	All setbacks are to be considered interior side yards with a minimum 7.5m setback
Minimum Rear Yard Setback (m)	7.5	min. 7.5m	
Section 163(V)			
Minimum landscape area (% of site)	30%	42%	Tower 3 site area only
Section 101 and 102 (Area C - Table 101)			
Minimum No. of parking spaces per unit	1.2	1.2	194 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	32 spaces
			226 spaces - 162 units
Section 106			
Parking space width (m)	2.6 min 3.1 max	2.6	
Minimum parking space depth (m)	5.2	5.2	
Reduced parking space width (m)	6.7 parallel	N/A	
	2.4	2.4	
	4.6	4.6	
Section 107			
Drive way access - min width (m) one way	3	N/A	per exception 2327
Drive way access - min width (m) two way	6.7	6.7	
Drive way access - parking garage min width (m) two way	6	6	
Section 110			
Minimum landscape area of parking lot (%)	15	42%	Tower 3 site area only
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	See note	Staff interpretation required. No buffer proposed between towers 3 and 4.
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	between lot line proposed between towers 3 and 4.
Outdoor loading and refuse collection area within parking lot	9	N/A	No refuse collection area in parking garage. Garbage pick up pad shared with Tower 2.
min. distance abutting a public street (m)	3	N/A	
min. distance abutting any other lot line (m)	3	N/A	
Screened with 2m high opaque screen (m)	2	N/A	
Section 111			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	81 spaces
Section 117			
Total amenity area (sq. m per unit)	6 (6m x 162 units = 972 m ²)	>3500 m ²	Tower 3 site landscape area only. Interior amenity area additional to proposed.
Communal amenity area: % of total required 'total amenity area'	50	100	Tower 3 site landscape area only. Interior amenity area additional to proposed.
Communal Amenity Area Layout: aggregated into areas up to 54m ² (min. one of 54m ²)	54	>3500 m ²	Tower 3 site landscape area only. Interior amenity area additional to proposed.

NOTES GÉNÉRALES General Notes

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SCEAU Seal

APPROVED

By Jeff McEwen at 2:57 pm, Mar 25, 2020

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OUVRAGE Project

**PETRIE'S LANDING I -
PHASES 3 - 5**

EMPLACEMENT Location
OTTAWA, ONTARIO

NO PROJET No.
11467

NO	REVISION	DATE (aa.mm.jj)
A	FOR SPA - CITY COMMENTS	2018.07.18
B	FOR SPA - CITY COMMENTS REV 1	2018.07.19
C	FOR SPA - CITY COMMENTS-REV 2	2018.08.07
D	FOR COORDINATION	2019.04.04
E	FOR SPA-CITY COMMENTS-REV3	2019.05.10
F	FOR COMMENTS	2019.06.27
G	FOR SPA - CITY COMMENTS-REV4	2019.07.19
H	FOR SPA - CITY COMMENTS-REV5	2019.09.04
J	FOR SPA - REVISION 6	2019.12.18

DESSINÉ PAR Drawn by
OC

VÉRIFIÉ PAR Checked by
ANT. C / FP

DATE (aa.mm.jj)

ECHELLE Scale

20.01.22

1:250

TITRE DU DESSIN Drawing Title

SITE PLAN - TOWER 3

REVISION Revision

NO. DESSIN Dwg Number

H

A100.1

#14602

D07-12-18-0143