



PLANNING RATIONALE & DESIGN BRIEF

To: **Development Review
Planning, Infrastructure and Economic
Development
City of Ottawa
110 Laurier Avenue West, 4th Floor
Ottawa, ON K19 1J1**

Project: **185 Preston Street,
New Mixed-Use Development**

Attn: **Steve Gauthier, Planner and Project Lead**

Project No.: **(RMA)20024**

Re: **185 Preston Street
Site Plan Control Application**

Date: **12/17/2019**

Following two pre-application consultation meetings with the City of Ottawa, Robertson Martin Architects, on behalf of Siffan Rahman, the owner, is pleased to submit the Planning Rationale for the proposed development at 185 Preston Street. The purpose of this application is to permit the demolition of the existing duplex dwelling and the new development of a four-storey, predominantly residential mixed-use building with a commercial space facing the street side on the ground floor.

Background

The subject property is located on the north-end of Preston Street, situated in Little Italy approximately 400m north of Highway 417. The property is legally described as Part of Lot 4, Registered Plan No. 62. This property has an area of approximately 223m², with a frontage of 7.3m along Preston Street.

The property is located near many public transit options: OC Transpo transitway stops, access to the newly constructed Light-Rail Transit (LRT) system and is in proximity to dedicated bike paths and lanes. With Dow's Lake approximately 1.0km to the South, and Lebreton Flats approximately 0.7km to the North, this property is situated in a highly transit oriented area, where encouraging intensification nearby stations and circulation corridors that are easily accessed by the people is desirable and good land-use planning.

185 Preston Street is zoned TM[78] H(15) as per the City of Ottawa Zoning By-law 2008-250. The purpose of the TM zone (*Traditional Mainstreet*) is to accommodate a broad range of uses, promote compact mixed-use, be pedestrian friendly and ensure the streetscape character is maintained.

The proposed development complies with all of its Zoning By-law, with the exception of a single requirement which will necessitate of a minor variance to the Zoning By-law, Section 197 (13), to allow the main entrances to the residential use occupying part of the ground floor to be located on the side of the building, rather than to be placed on the façade facing the street.



Figure 1: Location Map (geoOttawa)

Proposal

The proposed development involves the complete demolition of the existing duplex dwelling and the new construction of a mixed-use building. The *Traditional Mainstreet* zoning of this property allows for a mixed-use building with a maximum building height of 15.0m. This proposal entails a 4-storey building with a street-facing commercial space at the ground floor falling under Group D or E of the Ontario Building Code (O.B.C.) and seven (7) residential units, ranging from bachelor to two-bedroom apartments, located throughout the remainder of the building that fall under Group C of the O.B.C. The commercial space occupies approximately half of the ground floor and more than half of the basement, while a two-storey unit at the rear of the building is distributed over the ground floor and basement. The remainder of the upper floors, second to fourth, are occupied by a total of six (6) units, two (2) per floor which are serviced by a ground floor lobby equipped with an elevator that runs all the way to two amenity spaces provided on the building's rooftop. The elevator does not service the commercial space or the basement floor level.

In keeping with the nature of the existing streetscape character and surrounding area, the first three storeys on the front building façade is clad with brick, which aims to tie into the streetscape material fabric that is predominantly brick and masonry along Preston Street. The fourth storey and rooftop lobby are clad with contemporary pre-finished metal panels of a lighter colour to mitigate the proposed 4-storey height difference over the lower heights of the North and South adjacent buildings. Furthermore, architectural features such as the detailing of the roof cornices, masonry window sills and lintels, solid entrance canopies, large inviting front glazing, unimposing stepped front façade furnished with glass railings, down to visually appealing planters on the street side, are proposed to reflect the desirable characteristics of the neighbourhood and a pedestrian friendly streetscape. The roofline articulation, being flat like the adjacent buildings, respects the predominantly flat roof typology along Preston Street.

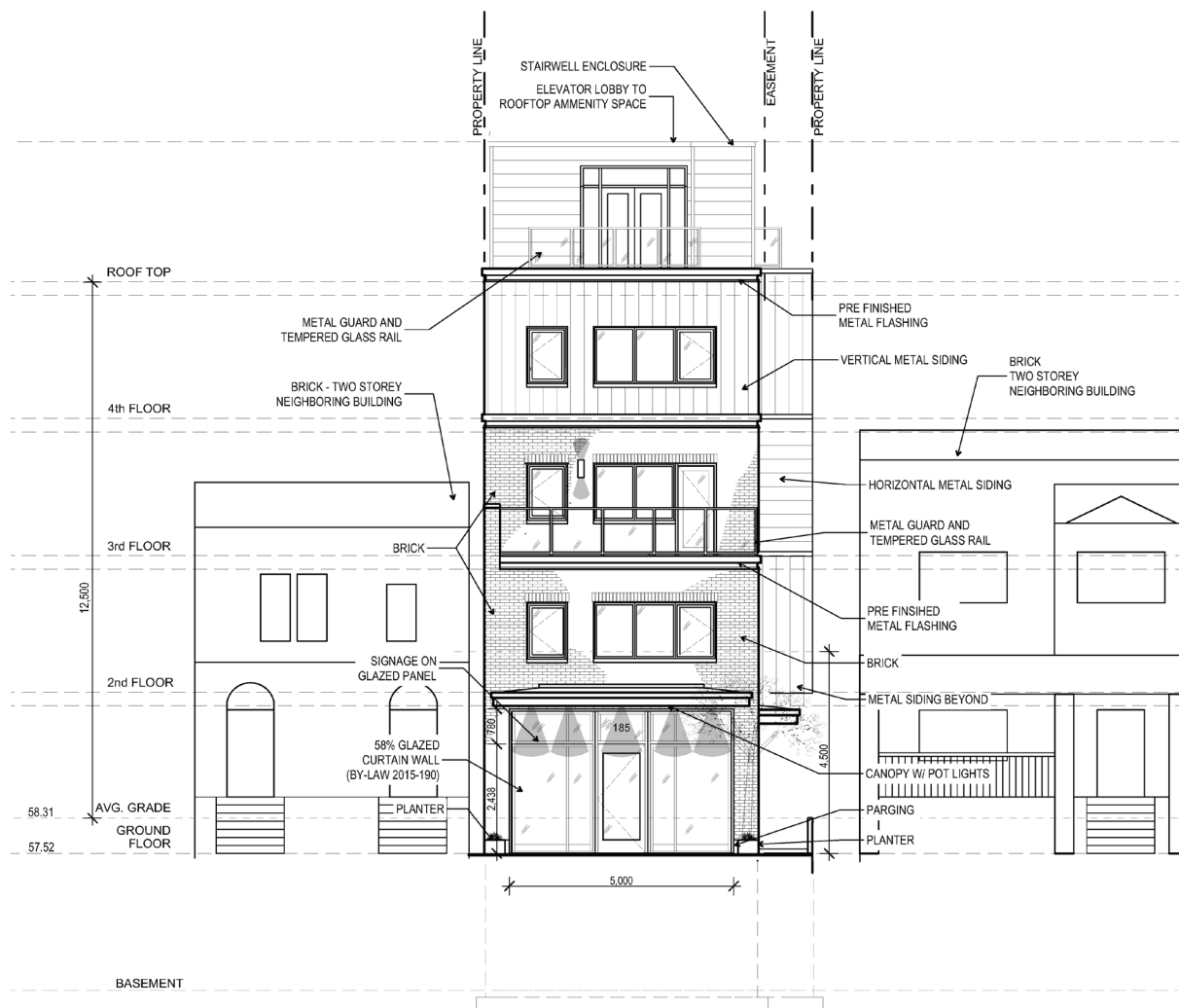


Figure 2: Proposed West (front) Elevation (Robertson Martin Architects)

The commercial space, boasting large curtain wall glazing, faces Preston Street and can be directly accessed from the street. The entrance has been lowered and re-graded to become universally accessible and the existing driveway along the south-side of the current building will be removed and replaced with a barrier-free pedestrian walkway that provides access to the private entrance to an elevator lobby leading to the residential units. The exterior path will be landscaped with pavers and will also provide access to a secondary stair exit as well as a separate entrance to a stand-alone residential two-storey unit located at the rear of the building.

Two separate communal amenity spaces are provided on the rooftop offering tenants a private outdoor space to enjoy within the urban setting of Little Italy. These spaces can be accessed via the elevator as well as stairs enclosed within a common rooftop lobby. The amenity areas are surrounded by tall railings which are set back a minimum of 610mm from the roof edge. The waste and recycling will be kept in a dedicated enclosure located in the rear-yard and will be collected by a private collection service organized by the property management. One (1) vehicle parking space and four (4) bicycle parking spaces will also be located within the rear-yard and can be accessed via the exterior walkway, as well as by an alleyway to the East that extends from Poplar Street to Willow Street. These parking spaces will be landscaped with green pavers to aid with rainwater runoff and to add increased greenery at the back of the property.

Conformity with the City of Ottawa Official Plan (OP)

185 Preston Street is located within a designated Traditional Mainstreet as shown on Schedule B - Urban Policy Plan of the City of Ottawa Official Plan (Figure 4). Traditional Mainstreets, as per the City of Ottawa Official Plan and TM zone, are planned to “accommodate a broad range of uses including retail, service commercial, office, residential and institutional uses, including mixed-use buildings.” They also aim to “foster and promote compact, mixed-use, pedestrian-orientated development that are accessible by foot, cycle, transit and automobile, impose development standards that will ensure that street continuity, scale and character is maintained; and that the uses are compatible and complement surrounding land uses.”

“Typically, they [Traditional Mainstreets] are set within a tightly-knit urban fabric, with buildings that are small-scale, with narrow frontages and set close to the street. The development pattern, mix of uses, contiguous storefronts and density create an interesting pedestrian environment and support the use of transit. Residential uses are often located on the upper floors. Traditional Mainstreets generally have on-street parking or the potential to provide it, and limited on-site parking.

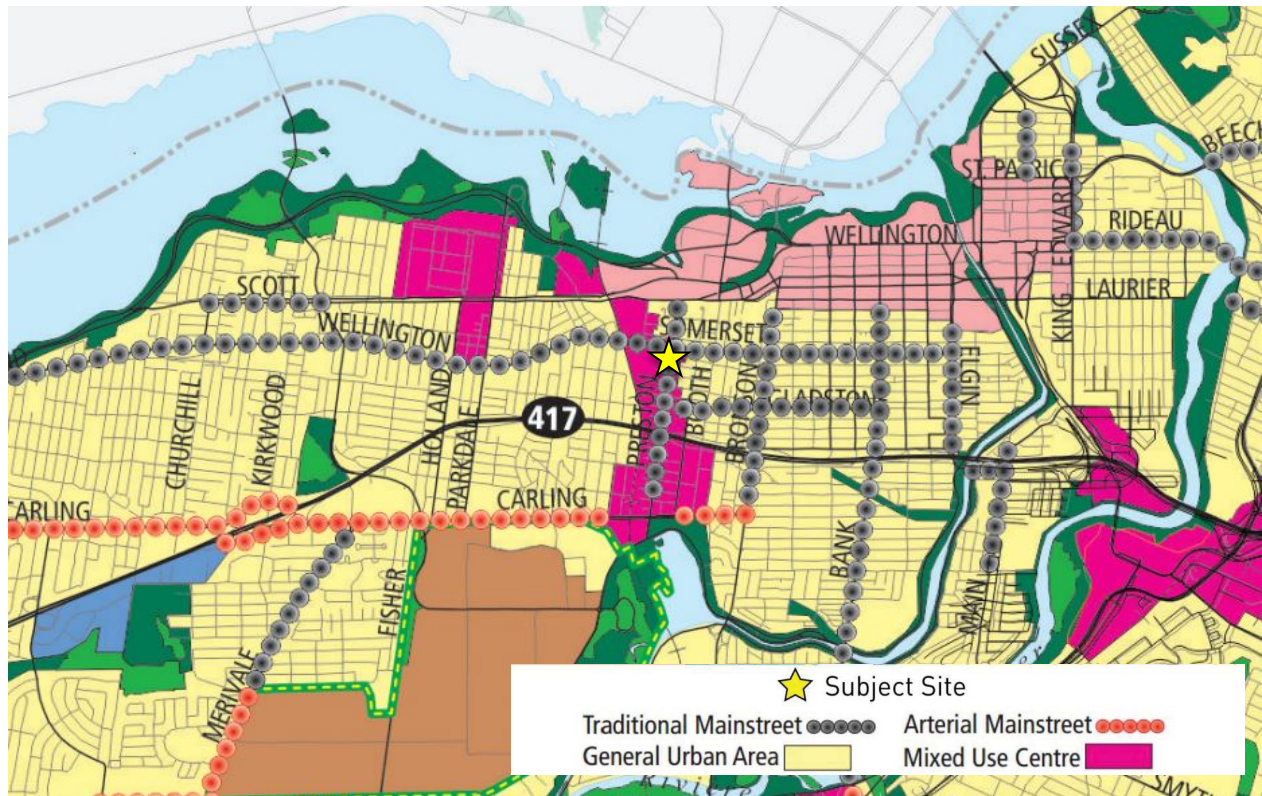


Figure 4: Schedule B of the Official Plan - Urban Policy Plan

As indicated in Figure 4, the subject property is also designated as *Mixed-Use Centre*, and thus it is subject to the policies of Section 3.6.2 for the *Mixed-Use Centres and Town Centres* designation. The *Mixed-Use Centre* designation permits the development of:

- *Transit-supportive land uses such as offices, secondary and post-secondary schools, hotels, hospitals, large institutional buildings, community recreation and leisure centres, day-care centres, retail uses, entertainment uses,*

restaurants, high- and medium-density residential uses and mixed-use development containing combinations of the foregoing.

- Community Design Plans will require that residential uses be a component in all Mixed-Use.
- Mixed-Use Centres will enhance opportunities for walking, cycling and transit.

Furthermore, Transit-supportive land uses implies;

- Creating public areas that are visually interesting, well-designed and edged by buildings with doors and windows opening onto pedestrian areas and greenspace that make these attractive places to live.
- Entails a designed environment where walking and cycling are attractive options within the centre and transit can be accessed easily.

The building's narrow frontage and scale fit seamlessly into the existing streetscape, while the public storefront façade with its large curtain wall glazing and also being located closer to the street than the existing building, creates an inviting and interesting pedestrian environment along Preston Street. These design gestures far enhance the existing streetscape condition and respond directly to the *Traditional Mainstreet* and *Mixed-Use Centre* typologies set out by the Official Plan. Additionally, the residential use component of this proposal contributes positively to the urban intensification by creating new apartments having comfortable living areas, and offering valuable private amenity space, within a tightly knit urban fabric. Through strategic building footprint alignments, use of materiality, large storefront and residential glazing, plus massing articulations, the proposed development contributes positively to the existing urban fabric of Little Italy. It also respects its existing adjacent developments and neighbouring buildings and carefully responds to the City of Ottawa Official Plan and policies. The design evidently contributes to the *Traditional Mainstreet* and supports the *Mixed-Use Centre* designations by keeping with the character of the surrounding area plus conforming to the Urban Design and Compatibility policies set out by the Official Plan.



Figure 5: Proposed Development Massing in Context – View looking North along Preston Street (Google)



Figure 6: Streetscape Context – View looking East from Laurel Street (Google)



Figure 7: 170 Preston – 5-storey, mixed-use building, situated on North-West corner of Preston and Laurel Streets (Google)

Zoning By-law 2008-250

The property is zoned TM[78] H(15) as per the City of Ottawa Zoning By-law 2008-250. The proposed development has been designed to comply with all applicable provisions and performance standard of the Zoning By-law, except for the single minor variance requirement described in the project background. *Table 1* below provides a summary of applicable zoning requirements.

Table 1: City of Ottawa Zoning By-law 2008-250 Provisions

Zoning Provision	Required	Provided
TM Zone Provisions – TM[78] H(15)		
Site Plan information based on Part of Lot 4		
Registered Plan No. 62		
PIN 04108-0178 (LT)		
City of Ottawa		
By J.D. Barnes Ltd. April 20, 2016		
Lot	N/A	230.2m ²
Lot Coverage	N/A	61.2%
Min. Lot Width	No Min.	7.32m
Min. Lot Area	No Min.	230.2m ²
Max. Building Height	15m	14.6m
Front Yard Setback	2m Max. No Min.	2m
Rear Yard Setback	7.5m Min.	7.5m
Sideyard Setback	3m Max. No Min.	1.2m
Max. floor space index	No max.	
Min. Width of Landscape Area	No min.	
Amenity Space Provision (Section 137)		
Low-Rise Apartment Dwelling of more than 4 units in any zone other than residential zone	6 m ² per dwelling unit and 10% of gross area of each rooming unit. Min. 50% communal. 7 units x 6 m ² = 42m ²	76.5m ²
Parking and Loading Provisions (Sections 101, 111 & 113)		
Min. Parking Spaces (Area A)		
Non-Residential	N/A; No parking required	0
Residential	N/A; West of Rideau Canal	1
Min. Bicycle Parking Spaces		
Restaurant/Retails	1 per 250 m ² = 0	0
Residential: Apartment building, low- rise	0.5 per unit = 3.5	4

In considering the analysis and background information on the proposal provided in this Planning Rationale, the subject property achieves policy direction and framework of the Official Plan and meets Urban Design Guidelines for development along Traditional Mainstreet designation. The proposal also complies with the purpose and intent of the Zoning By-law (2008-250), while demonstrating effective planning and design strategies that yield great use of the land along one of the City's key Traditional Mainstreets. This report also demonstrates that this proposal improves the existing streetscape character along Preston Street and contributes to the *transit-oriented land use*, within a *Mixed-Use Centre* designation, by promoting mixed-use development in proximity to transit and encouraging pedestrian activity. Based on the above analysis, the proposed mixed-use development at 185 Preston Street is an excellent opportunity for intensification.

As per the agreed upon Application's Study and Plan Identification List, please find the following enclosed:

- Site Plan Control Application Form (one original copy)
- Planning Rationale & Design Brief Letter, RMA (3 copies)
- A Phase 1 Environmental Assessment draft (3 copies)
- Site Servicing plan, A1 size (3 copies)
- Grading plan, A1 size (3 copies)
- Erosion and Sediment plan, A1 size (3 copies)
- Geotechnical Study (3 copies)
- Site Servicing and Stormwater Management Report/Brief (3 copies)
- Erosion and Sediment Control Plan/Brief (3 copies)
- Site Plan & Landscape Plan, Floor Plans and Architectural Building Elevations, A1 size (3 copies)
- Survey Plan (3 copies)
- Cheque made to the "City of Ottawa" for Site Plan Control application

Best Regards,



Maria Cristina Villalba

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