

APPROVED  REFUSED   
THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_

DOUGLAS JAMES, MCIP, RPP, MANAGER  
DEVELOPMENT REVIEW CENTRAL,  
PLANNING, INFRASTRUCTURE AND ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

LOT F, CONCESSION D (RIDEAU FRONT)  
PART 1 4R-598  
PIN 04207-0134

NOTE:  
1. PROPERTY BOUNDARY INFORMATION  
DERIVED FROM: SURVEY PLAN COMPLETED  
BY STANTEC GEOMATICS LTD. DATED JULY  
10, 2009.  
2. REFER TO LANDSCAPE PLANS FOR  
LOCATIONS OF TREES & PLANTINGS.

*[Signature]*  
**DOUGLAS JAMES, MCIP, RPP**  
MANAGER, DEVELOPMENT REVIEW - CENTRAL  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Jamesdo at 11:27 am, Feb 25, 2020

KEY PLAN



PROPERTY DESCRIPTION

SIX STOREY RESIDENTIAL BUILDING  
CITY OF OTTAWA PIN NUMBER: 04207 0357  
MUNICIPAL ADDRESS: 19 Robinson Avenue

SITE INFORMATION

LOT AREA: 1,170.9m<sup>2</sup>  
LOT FRONTAGE: 31.14m  
LOT DEPTH: 37.745m

BUILDING INFORMATION

BUILDING AREA: 578m<sup>2</sup>  
BUILDING FLOOR AREA: 2,766m<sup>2</sup>  
PROPOSED USE: APARTMENT DWELLING, MID-RISE  
UNIT BREAKDOWN:  
FIRST FLOOR: 6 UNITS 4-1 BD, 2-2BD  
SECOND FLOOR: 10 UNITS 3- STUDIO, 3-1 BD, 4- 2BD  
THIRD FLOOR: 10 UNITS 3- STUDIO, 3-1 BD, 4- 2BD  
FOURTH FLOOR: 10 UNITS 3- STUDIO, 3-1 BD, 4- 2BD  
FIFTH FLOOR: 10 UNITS 4- STUDIO, 4-1 BD, 2- 2BD  
TOTAL: 46 UNITS 17- STUDIO, 13-1 BD, 16- 2BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	R5N [2053] S312	REQUIRED	PROPOSED
MINIMUM LOT AREA	540m <sup>2</sup>	540m <sup>2</sup>	1,170.9m <sup>2</sup>
MINIMUM LOT WIDTH	18m	18m	31.14m
FRONT YARD SETBACK	3m	3m	4.93m
MINIMUM INTERIOR SIDE YARD SETBACK	2.5m within 22.7m (west) and 22.6m (east) of front lot line 7.5m in all other circumstances	2.5m within 20.4m (west) and 21m (east) of front lot line 7.5m for BALANCE	
MINIMUM REAR YARD SETBACK	5.6m	5.6m	5.6m
MAXIMUM BUILDING HEIGHT	12.7m to 18.9m	N/A	17.5m
MAXIMUM FLOOR SPACE INDEX	N/A	N/A	N/A
LANDSCAPED AREA	30% = 351.27m <sup>2</sup>	34% = 403m <sup>2</sup>	
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 17 spaces	3 SPACES	
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 3 SPACES REQUIRED	3 SPACES	
AMENITY AREA REQUIREMENTS	6m <sup>2</sup> per dwelling unit = 276m <sup>2</sup> (Communal Area 50% = 138m <sup>2</sup> )	120m <sup>2</sup> REAR YARD AMENITY 68m <sup>2</sup> REAR SIDE YARD AMENITY [188m <sup>2</sup> TOTAL AT-GRADE COMMUNAL AMENITY] [79% SOFT LANDSCAPING] 58m <sup>2</sup> BALCONIES 51m <sup>2</sup> ROOFTOP AMENITY ROOM TOTAL: 297m <sup>2</sup>	
BICYCLE PARKING SPACES	0.5 per dwelling unit = 23	48	

LEGEND

- SOFT LANDSCAPING
- UNIT PAVERS REFER TO LANDSCAPE
- ASPHALT PAVING
- CONCRETE
- RIVER STONES. REFER TO LANDSCAPE
- EXISTING BUILDING ELEMENT TO BE REMOVED
- EXISTING FENCE
- NEW BOARD FENCE REFER TO LANDSCAPE
- LOT LINE
- SETBACK LINE
- DESIGNATED BUILDING ENTRANCE / EXIT
- FIRE HYDRANT. REFER TO CIVIL
- CATCH BASIN
- MANHOLE
- FLOOR DRAIN
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- LIGHT STANDARD
- DEPRESSED CURB
- EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
- NEW TREE (REFER TO LANDSCAPE DRAWINGS)
- NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
- EXISTING GROUND ELEVATION [TO DETERMINE EXISTING AVERAGE GRADE]
- NEW GROUND ELEVATION REFER TO CIVIL

NOTE: 'X'-E INDICATES EXISTING TO REMAIN

No.	Date	Événement / Object
1	2018-07-09	COORDINATION
2	2018-07-17	COORDINATION
3	2018-11-21	SITE PLAN CONTROL
4	2019-03-15	COORDINATION
5	2019-05-27	COORDINATION
6	2019-08-21	SITE PLAN CONTROL RESPONSE
7	2019-11-12	COORDINATION
8	2019-12-30	SITE PLAN CONTROL RESPONSE
9	2020-01-07	SITE PLAN CONTROL RESPONSE
10	2020-01-27	SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer (Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer (Structure / Structure)

Architecte / Architect (Paysagiste / Landscape)

Ingenieur / Engineer (Civil / Civil)

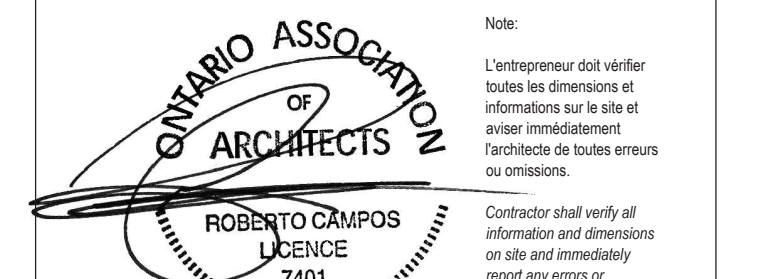


Robinson Village I  
Limited Partnership



Client / Client

Architecte / Architect Collectif d'architectes / Architects Collective



Project / Projet

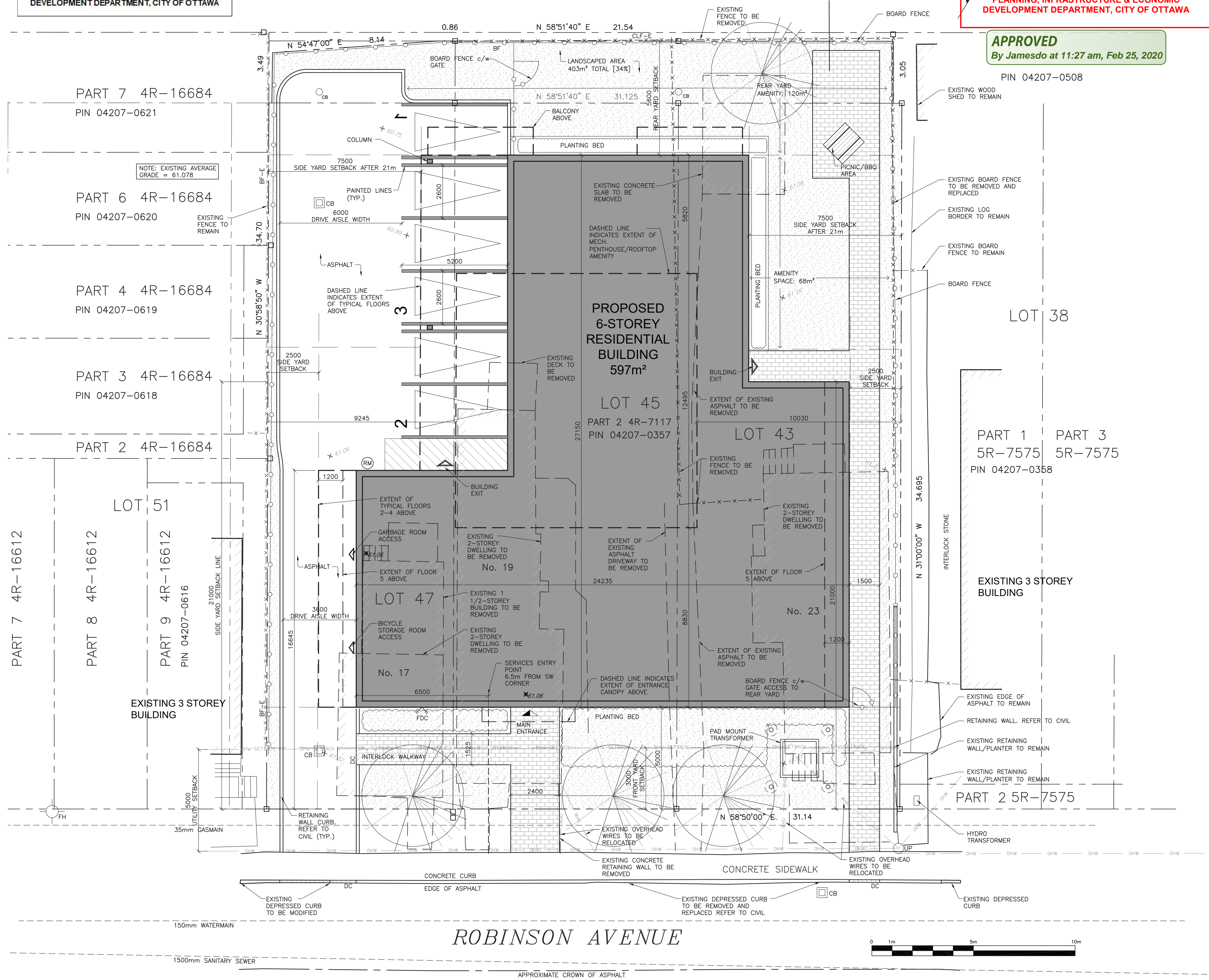
SIX STOREY APARTMENT BUILDING

19 Robinson Avenue, Ottawa ON

SITE PLAN

Designé par / Drawn by: MD No. projet / Project number: 1834  
Vérifié par / Verified by: RC No. dessin / Drawing number: Revision / Révision:  
Échelle / Scale: As indicated  
Date de création du dessin / Drawing creation date: 2018/05/01

A105



ROBINSON AVENUE



150mm WATERMAIN  
1500mm SANITARY SEWER  
COMBINED SEWER

PART 7 4R-16612  
PART 8 4R-16612  
PART 9 4R-16612  
PIN 04207-0616

PART 7 4R-16684  
PIN 04207-0621

PART 6 4R-16684  
PIN 04207-0620

PART 4 4R-16684  
PIN 04207-0619

PART 3 4R-16684  
PIN 04207-0618

PART 2 4R-16684

EXISTING 3 STOREY BUILDING

EXISTING 3 STOREY BUILDING

PART 1 5R-7575  
PART 3 5R-7575  
PIN 04207-0358

PROPOSED 6-STOREY RESIDENTIAL BUILDING  
597m<sup>2</sup>

LOT 45  
PART 2 4R-7117  
PIN 04207-0357

LOT 43

LOT 47

No. 17

No. 19

No. 23

No. 25

No. 27

No. 29

No. 31

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