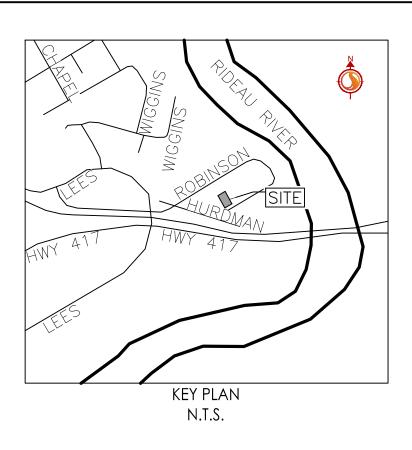


ORIGINAL SHEET - ARCH D



1. ALL GRANULAR BASE & SUB BASE COURSE MATERIALS SHALL BE COMPACTED AS PER GEOTECHNICAL CONSULTANT

2. ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER. 3. INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.

5. CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.

6. EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.

7. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH DEVELOPER AND THE CITY

8. SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.

9. NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO

10. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS' AND 'URBAN TREES

11. NO EXCESS DRAINAGE TO BE DIRECTED TO NEIGHBOURING PROPERTIES EITHER BEFORE OR AFTER CONSTRUCTION.

DOUGLAS JAMES, MCIP. RPP MANAGER, DEVELOPMENT REVIEW - CENTRAL **PLANNING, INFRASTRUCTURE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA** 

# APPROVED

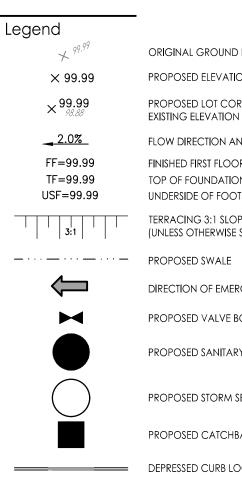
By Jamesdo at 1:01 pm, Feb 25, 2020



Stantec Consulting Ltd. 400 - 1331 Clyde Avenue Ottawa ON Tel. 613.722.4420 www.stantec.com

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 $\square$ 

ORIGINAL GROUND ELEVATION PROPOSED ELEVATION

### PROPOSED LOT CORNER ELEVATION EXISTING ELEVATION AT LOT CORNER

FLOW DIRECTION AND GRADE FINISHED FIRST FLOOR ELEVATION TOP OF FOUNDATION ELEVATION UNDERSIDE OF FOOTING ELEVATION TERRACING 3:1 SLOPE MAXIMUM

(UNLESS OTHERWISE SHOWN)

DIRECTION OF EMERGENCY OVERLAND FLOW

PROPOSED SANITARY SEWER MANHOLE

PROPOSED STORM SEWER MANHOLE

PROPOSED CATCHBASIN

PROPOSED VALVE BOX

DEPRESSED CURB LOCATION PROPOSED DOOR LOCATIONS

PROPOSED RETAINING WALL CURB

## Notes

TOPOGRAPHIC SURVEY AND BENCHMARK COMPLETED BY STANTEC GEOMATICS LTD.

DATED AUGUST 16, 2018 SITE PLAN PREPARED BY FIGURR DATED JANUARY 27, 2020. GEOTECHNICAL REPORT PREPARED BY STANTEC CONSULTING LTD. DATED OCTOBER 4, 2018, REPORT No. 121622263.

APPROVED						
THIS DAY OF	, 20					
DOUGLAS JAMES, I	MCIP, RPP, MANAGER					
DEVELOPMENT REVIEW CENTRAL,						
PLANNING, INFRASTRU	JCTURE AND ECONOMIC					
DEVELOPMENT DEPAR	TMENT, CITY OF OTTAWA					

5	REVISED SITE PLAN	JP	KK	20.01.28
4	REVISED AS PER CITY COMMENTS	WJ	КК	19.11.29
3	REVISED AS PER CITY COMMENTS		КК	19.11.22
2	REVISED AS PER CITY COMMENTS		KK	19.08.14
1	ISSUED FOR REVIEW	WJ	КК	18.11.07
Re	evision	Ву	Appd.	YY.MM.DD

File Name: 160401443-DB	JP	КК	SL	18.07.27
	Dwn.	Chkd.	Dsgn.	YY.MM.DD
Permit-Seal				

Permii-sear

Client/Project

ROBINSON VILLAGE III LIMITED PARTNERSHIP

6 STOREY APARTMENT 134 ROBINSON AVENUE OTTAWA, ONTARIO

Title

GRADING PLAN

