

City of Ottawa 2017 TIA Guidelines Screening Form

1. Description of Proposed Development

Municipal Address	7 Tristan Court
Description of Location	REGISTERED PLAN 4M-615 PART OF LOT 27, CONCESSION A, GEOGRAPHIC TOWNSHIP OF NEPEAN
Land Use Classification	IH1 – Heavy Industrial Subzone 1
Development Size (units)	Proposed 1259m <sup>2</sup> storage warehouse and 270m <sup>2</sup> , two-storey office space.
Development Size (m <sup>2</sup> )	Warehouse (1259m <sup>2</sup> ) and Office Space (402m <sup>2</sup> GFA)
Number of Accesses and Locations	No new proposed accesses.
Phase of Development	Minor Variance Application
Buildout Year	2020

If available, please attach a sketch of the development or site plan to this form.

2. Trip Generation Trigger

Considering the Development’s Land Use type and Size (as filled out in the previous section), please refer to the Trip Generation Trigger checks below.

Land Use Type	Minimum Development Size	Triggered?
Single-family homes	40 units	<input type="checkbox"/>
Townhomes or apartments	90 units	<input type="checkbox"/>
Office	3,500 m <sup>2</sup>	<input type="checkbox"/>
Industrial	5,000 m <sup>2</sup>	<input type="checkbox"/>
Fast-food restaurant or coffee shop	100 m <sup>2</sup>	<input type="checkbox"/>
Destination retail	1,000 m <sup>2</sup>	<input type="checkbox"/>
Gas station or convenience market	75 m <sup>2</sup>	<input type="checkbox"/>

If the proposed development size is greater than the sizes identified above, the Trip Generation Trigger is satisfied.

### 3. Location Triggers

	Yes	No
Does the development propose a new driveway to a boundary street that is designated as part of the City's Transit Priority, Rapid Transit or Spine Bicycle Networks?		NO
Is the development in a Design Priority Area (DPA) or Transit-oriented Development (TOD) zone?*		NO

If any of the above questions were answered with 'Yes,' the Location Trigger is satisfied.

### 4. Safety Triggers

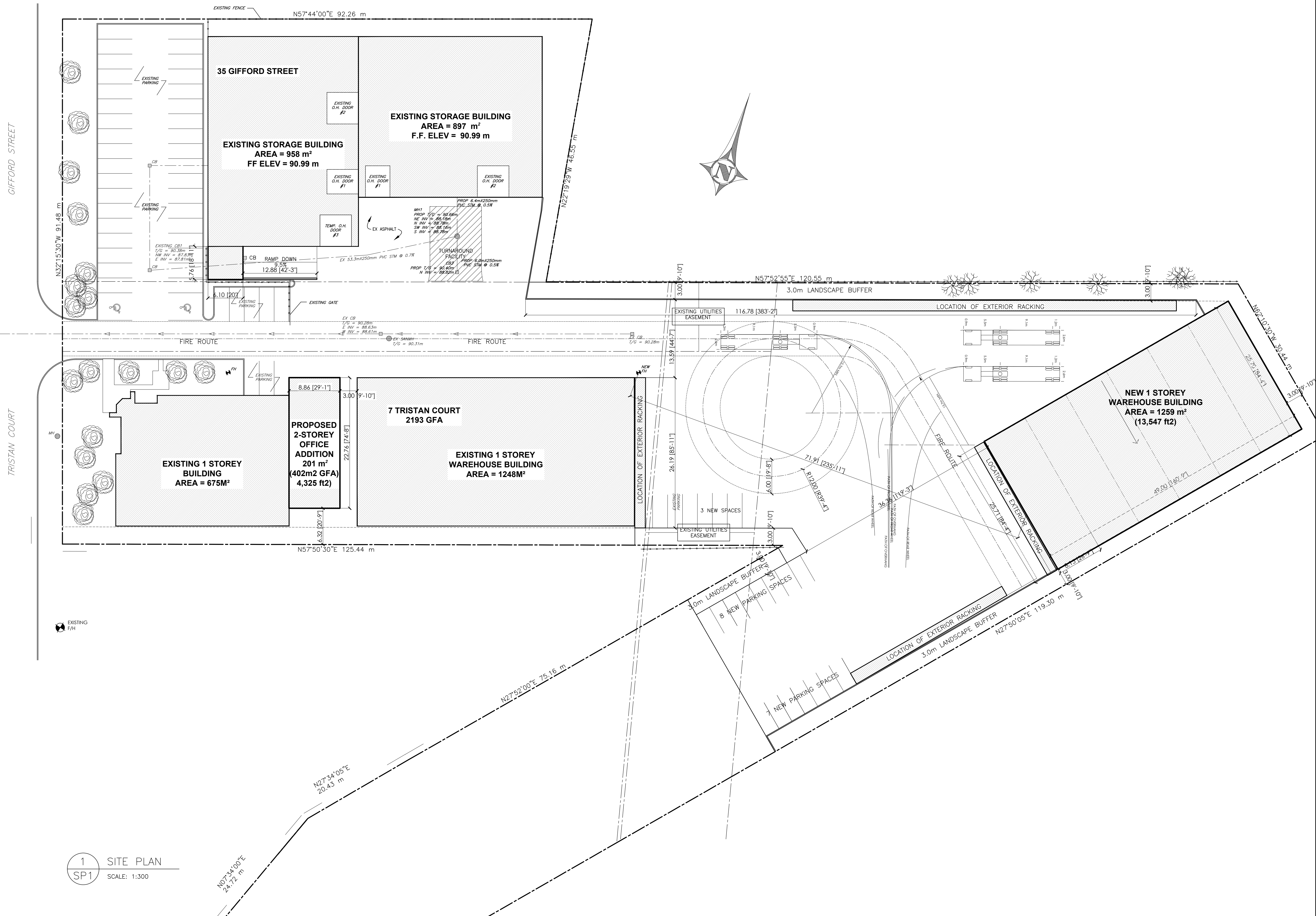
	Yes	No
Are posted speed limits on a boundary street are 80 km/hr or greater?		NO
Are there any horizontal/vertical curvatures on a boundary street limits sight lines at a proposed driveway?		NO
Is the proposed driveway within the area of influence of an adjacent traffic signal or roundabout (i.e. within 300 m of intersection in rural conditions, or within 150 m of intersection in urban/ suburban conditions)?		NO
Is the proposed driveway within auxiliary lanes of an intersection?		NO
Does the proposed driveway make use of an existing median break that serves an existing site?		NO
Is there is a documented history of traffic operations or safety concerns on the boundary streets within 500 m of the development?		NO
Does the development include a drive-thru facility?		NO

If any of the above questions were answered with 'Yes,' the Safety Trigger is satisfied.

### 5. Summary

	Yes	No
Does the development satisfy the Trip Generation Trigger?		NO
Does the development satisfy the Location Trigger?		NO
Does the development satisfy the Safety Trigger?		NO

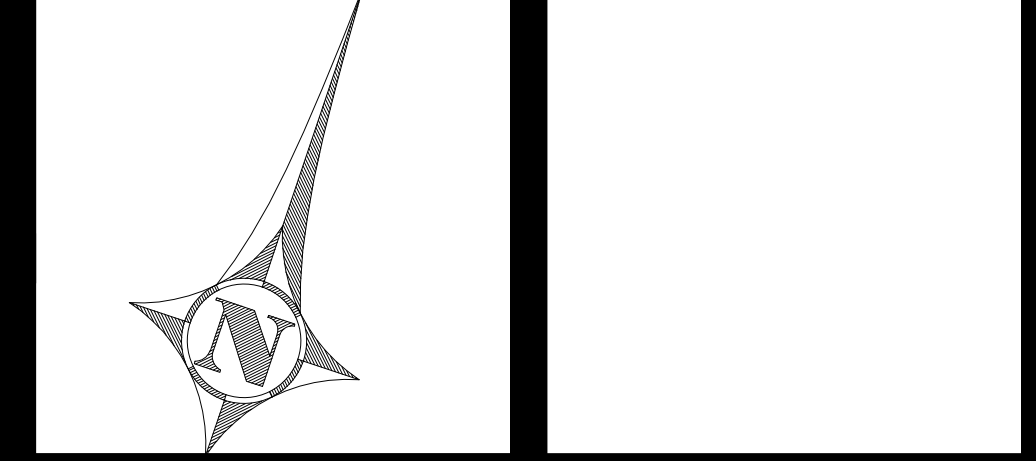
If none of the triggers are satisfied, the TIA Study is complete. If one or more of the triggers is satisfied, the TIA Study must continue into the next stage (Screening and Scoping).



1 SITE PLAN  
SP1 SCALE: 1:300

REVISION		
NO.	DATE	REVISION
1	JAN. 17 /2019	ISSUED FOR SPA
2	OCT 29 /2019	RE-ISSUED FOR SPA
3		
4		
5		

CIVIL ENGINEER:



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OWNER:  
MORIN BROS. INC.  
**Morin Bros. INC.**  
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PROJECT:  
7 TRISTAN CRT. WAREHOUSE PROJECT

DRAWING TITLE:  
SITE PLAN

PROJECT N°:	287	DRAWING NO.	<b>SP1</b>
SCALE:	AS NOTED		
DRAWN BY:	MK		
DATE:	1/21/2018		