



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
STAFF, DEVELOPMENT REVIEW, RURAL**

Site Location: 790 Meteor Avenue

File No.: D07-12-20-0014

Date of Application: February 12, 2020

This SITE PLAN CONTROL application submitted by Chantal Francispillai on behalf of 3223701 Canada Inc., is APPROVED subject to the following General and Special Conditions:


General Conditions

1. The Owner shall execute the City's standard Letter of Undertaking and satisfy the conditions contained within this Delegated Authority Report. In the event the Owner fails to execute the required Letter of Undertaking and submit any required fees and/or securities within six months, this approval shall lapse.

Special Conditions

2. The development of the site known municipally as 790 Meteor Avenue shall follow all the recommendations and conclusions presented in the *Hydrogeological Investigation & Terrain Analysis Proposed Residential Subdivision 3455 Milton Road*, prepared by Houle Chevrier Engineering, dated April 24, 2017.
3. The Owner acknowledges that this site plan approval is limited to the Hydrogeological Assessment and that prior to the issuance of a building permit, the Owner must meet any requirements for grading, zoning, as well as the Ontario Building Code.

March 11, 2020
Date



Krishon Walker
Planner, Development Review, Rural
Planning, Infrastructure and Economic
Development Department

SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-20-0014

SITE LOCATION

The site, 790 Meteor Avenue, (*Lot 15 of 4M-1604*), is located in the Village of Navan.

SYNOPSIS OF APPLICATION

The subject site has an area of approximately 4,951.64 square metres with 45 metres of frontage along Meteor Avenue. The subject site is located in a subdivision registered on June 13, 2018.

The intent of the proposal is to permit the construction of a one storey coach house to be constructed in conjunction with a new primary dwelling. The coach house will be connected to the same drilled well and septic system as the primary dwelling. The combined size of the proposed main dwelling and proposed coach house is under the maximum size of dwelling that could be constructed as per the zoning by-law.

No further changes to the property are anticipated as part of this application.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The subject property is designated Village on Schedule A of the City of Ottawa's Official Plan. The proposal conforms with this designation.
- The property is zoned Village Residential First Density, Subzone E, Exception 844r (V1E [844r]) and the proposal is in conformity with Zoning By-law 2008-250.
- The proposed site design represents good planning.

CONSULTATION DETAILS

Councillor's Concurrence

Councillor Stephen Blais' office was aware of Staff's recommendation.

Public Comments

This application was not subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.

Technical Agency/Public Body Comments

Technical agencies do not have any concerns regarding this application.

Advisory Committee Comments

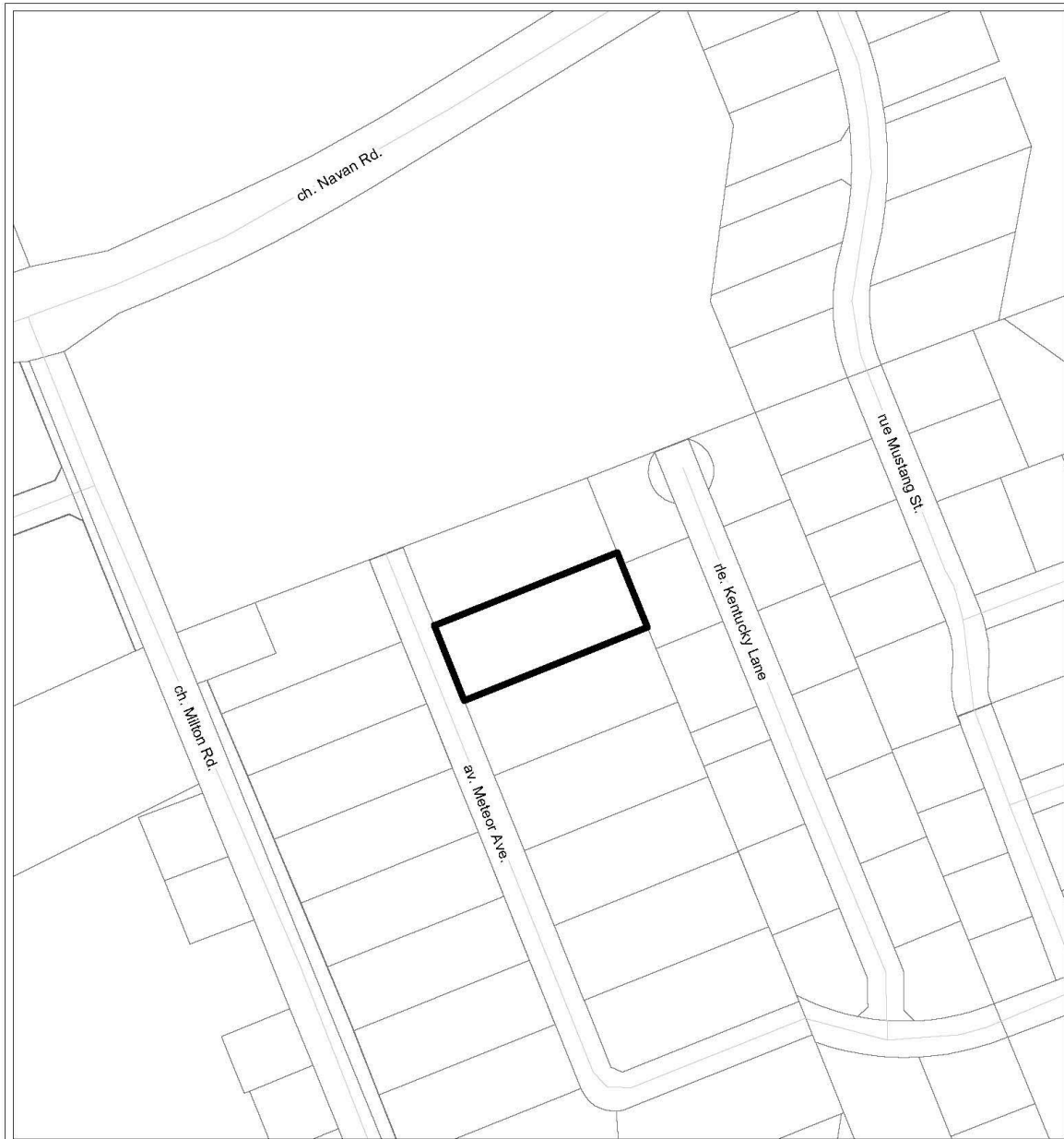
Advisory committees do not have any concerns regarding this application.

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was processed by the On Time Decision Date established for the processing of an application that has Staff Delegated Authority.

Contact: Krishon Walker Tel: 613-580-2424, ext. 24161, fax 613-580-2576 or e-mail: Krishon.Walker@ottawa.ca.

Document 1 – Location Map



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REVISION / RÉVISION - 2020 / 03 / 06

LOCATION MAP / PLAN DE LOCALISATION
SITE PLAN / PLAN D'EMPLACEMENT



790 av. Meteor Avenue



Document 2 – Section 7.2 of the approved Hydrogeological Report

7.2 Well Construction Recommendations

- The original test wells TW1 and TW2 (with the exception of test well TW3) which are not located in suitable locations for future residential use and any other existing wells located on the property should be abandoned by a licensed well driller in accordance with MOECC regulations following draft plan approval of the subdivision;
- Wells should be located so that they meet the minimum setback distances from septic systems, property lines and any other sources of contamination, as required in the Ontario Building Code and/or Ontario Reg. 903. If possible, the setback distance for the location of drinking water wells should be maximized;
- All wells that are drilled in the subdivision should be constructed in accordance with MOECC regulations (Ontario Reg. 903);
- All wells that are drilled in the subdivision should be maintained in accordance with the document entitled 'Water Supply Wells – Requirements and Best Management Practices' (MOECC December 2009);
- Well casings should be extended at least 12.8 metres below ground surface. The entire annular space between the steel casing and the overburden/bedrock should be filled with a suitable cement or bentonite grout.
- In addition to the minimum recommended well casing lengths specified in the preceding recommendation, all well casings should be completed a minimum of 0.9 metres into sound, competent bedrock; and,
- A well grouting certification inspection should be conducted during the installation and grouting of the well casing for all future wells installed on the subject site. The well grouting certification inspection should be conducted under the supervision of a professional engineer or professional geoscientist.