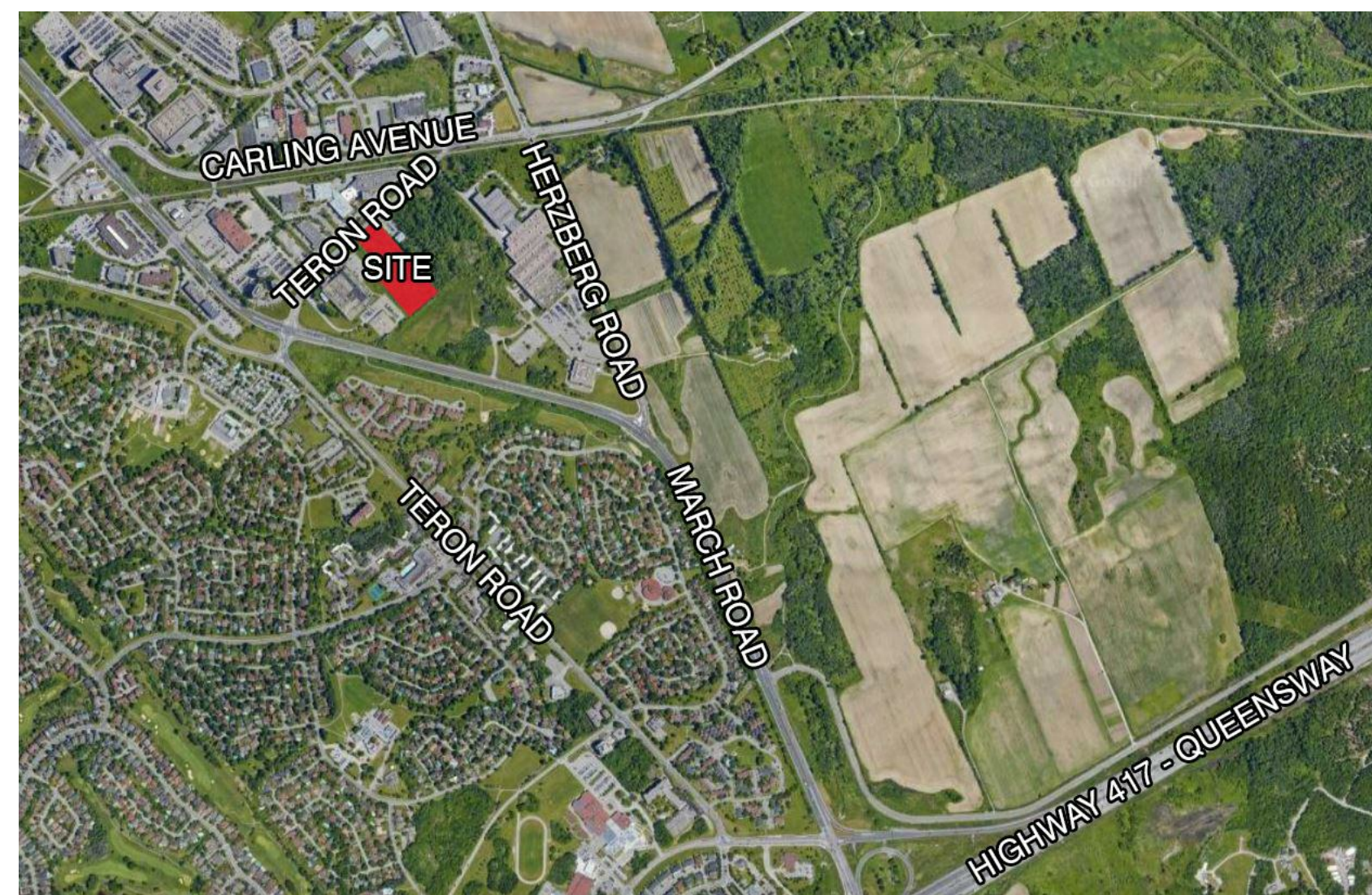


Project Zoning Review/Statistics
 Municipality: City of Ottawa
 Municipal Address: 1243 Teron Road
 Registered Owner: Megha Holdings Inc.
 Lot Area: 21,994 sq.m. (236,739 sq.ft.)(5.44 acres)
 Zoning Analysis: Ottawa
 Zoning By-law: 2008-250
 Zone: I66 - General Industrial Zone
 Proposed Use: Warehouse

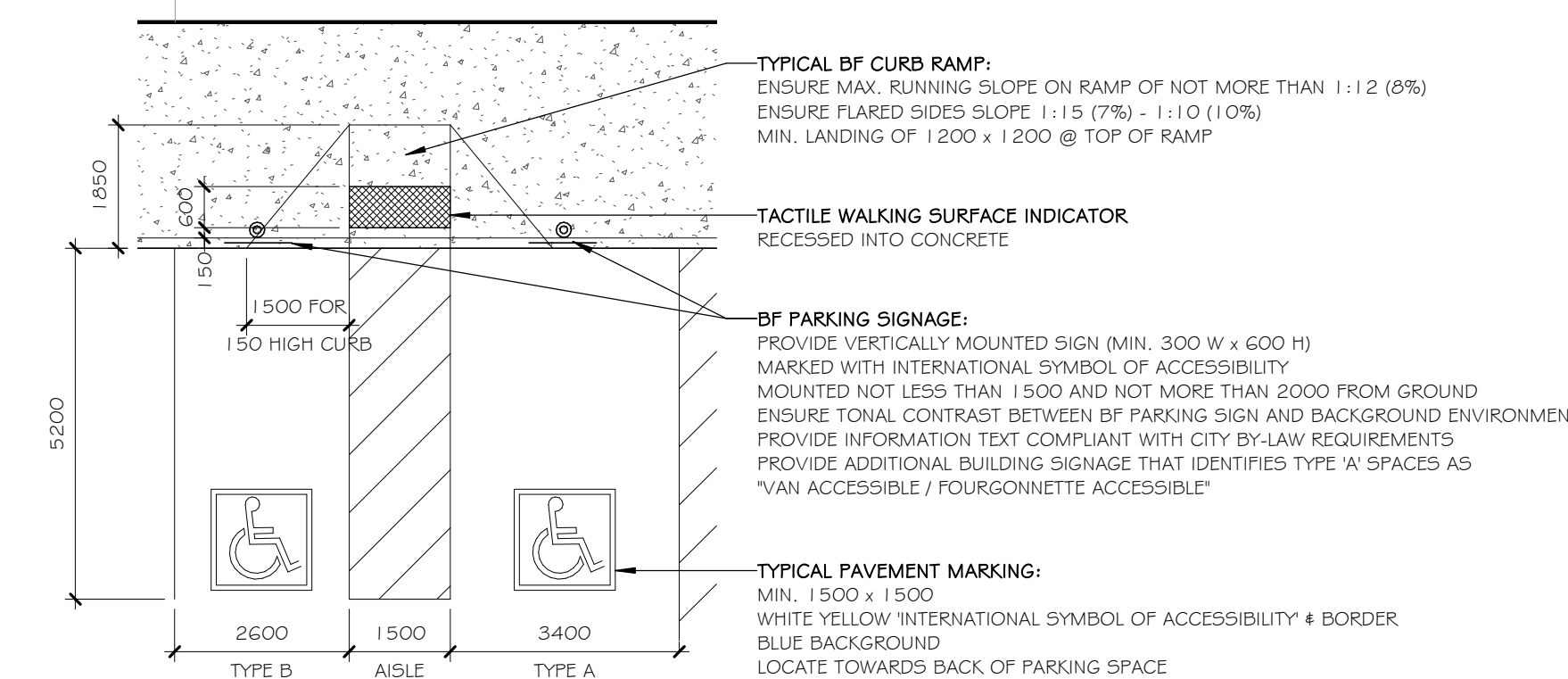
Building Areas	Sq.m.	Sq.ft.
Proposed Warehouse	9,281	99,900
Proposed Development	9,281	99,900
Grand Total	9,281	99,900

Development Standards	Required	Provided
Minimum Lot Area	4,000 sq.m.	21,994 sq.m.
Minimum Lot Width	45m	74.25m
Minimum Required Yard		
Front Yard (min.)	12m	20.2m
Corner Side Yard (min.)	12m	N/A
Interior Side Yard (min.)	7.5m	11.45m (not abutting residential zone)
Rear Yard (min.)	7.5m	7.65m (not abutting residential zone)
Maximum Building Height	22m	10m
Minimum Width of Landscaped Area		
Abutting a residential or institutional zone	3m	N/A
Abutting a street	3m	20.2m
Around a parking lot	1.5m	2.2m
All other cases	No min.	2.2m

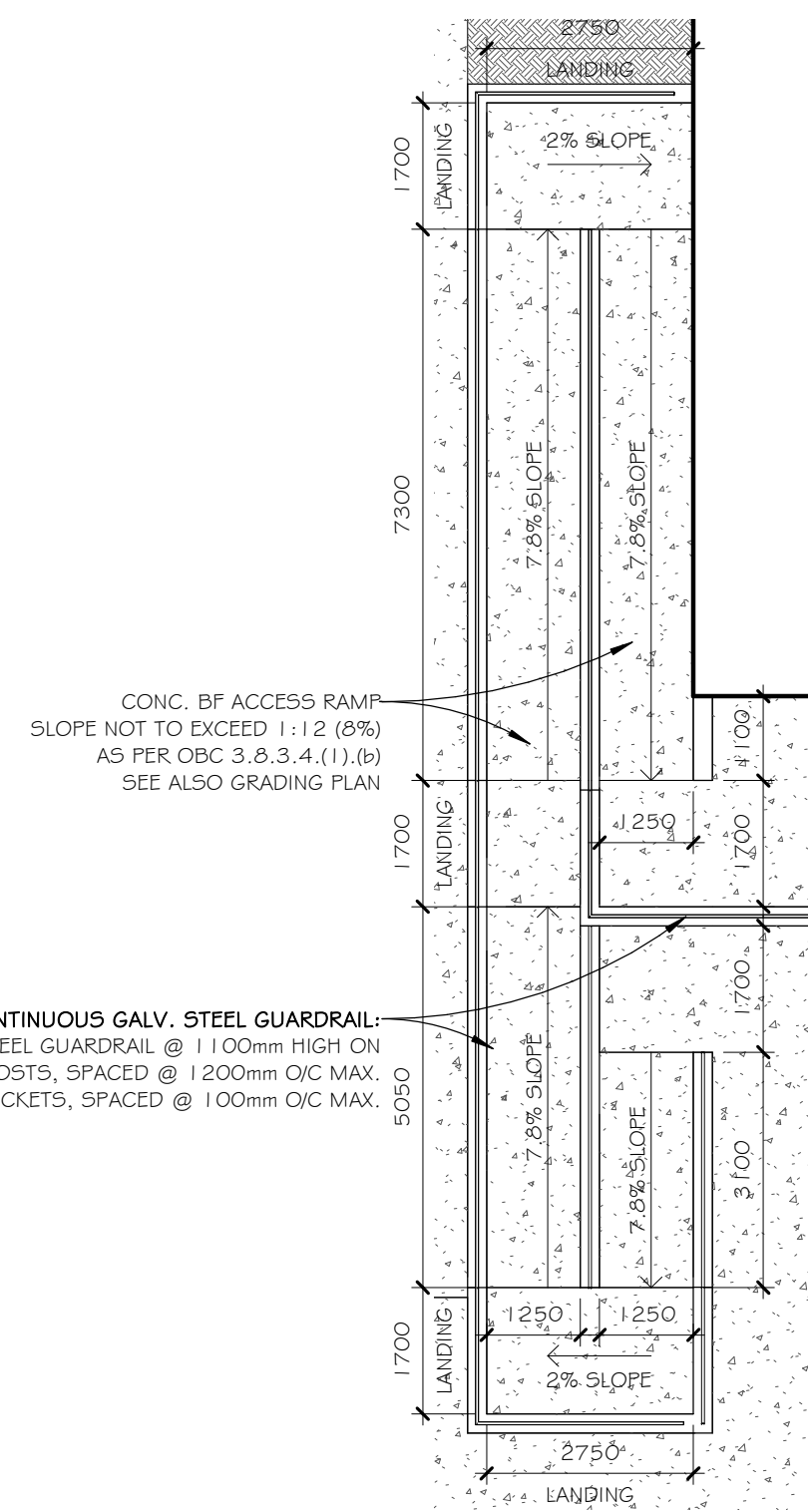
Parking, Loading, Queuing	Required	Area C Schedule 1A
Parking Spaces (2.6m x 5.2m)		
Warehouse (0.8 spaces/100 sq.m.)	Required: 75	Provided: 90
Accessible Parking	Required: 3 (1 Type 'A' & 2 Type 'B')	Provided: 6 (3 Type 'A' & 3 Type 'B')
Bicycle Parking (0.6m x 1.8m) (Warehouse: 1/2000 sq.m.)	Required: 10 (Table 111A)	Provided: 10
Standard Loading Spaces (3.5m x 7m)	Required: 1 (Table 113A)	Provided: 7
Oversized Loading Spaces (4.3m x 13m)	Required: 1 (Table 113C)	Provided: 1



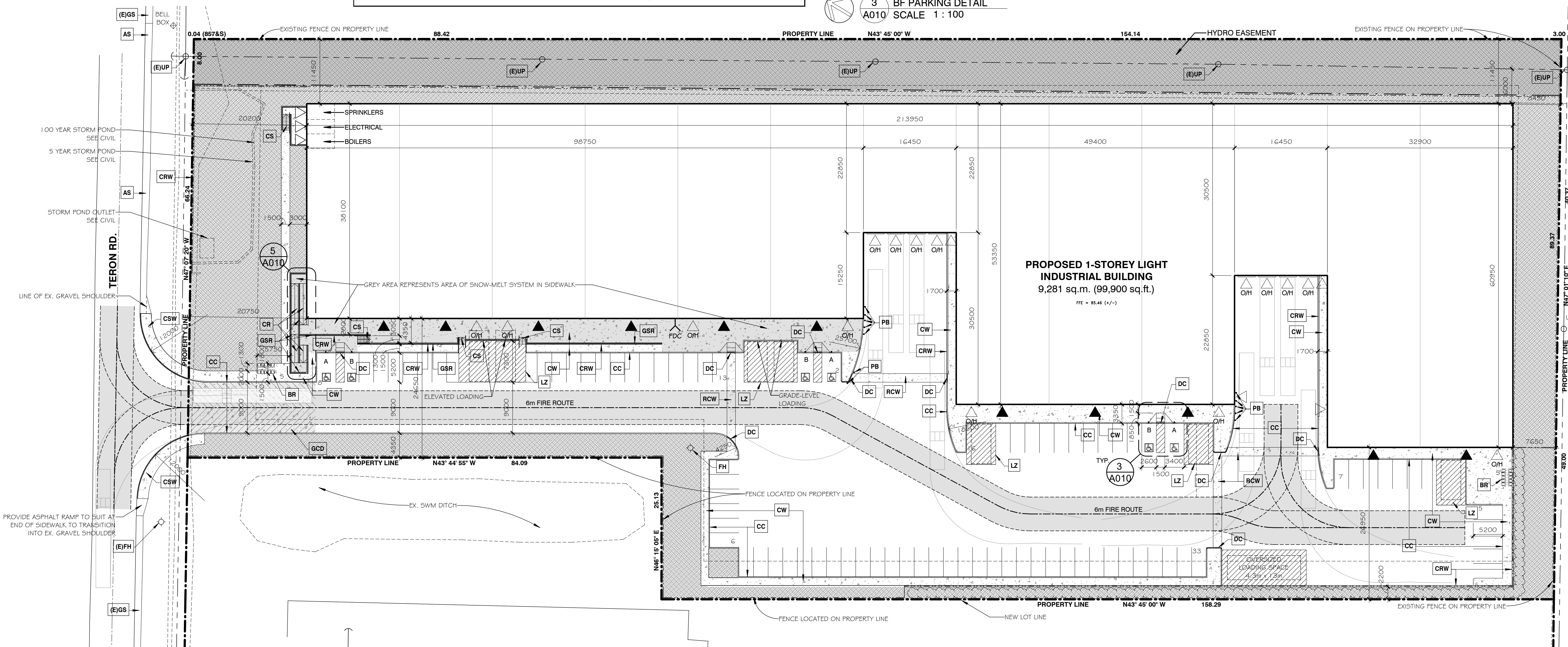
1 LOCATION PLAN
 A010 SCALE N.T.S.



3 BF PARKING DETAIL
 A010 SCALE 1:100



5 BF RAMP DETAIL
 A010 SCALE 1:100



2 SITE PLAN
 A010 SCALE 1:400

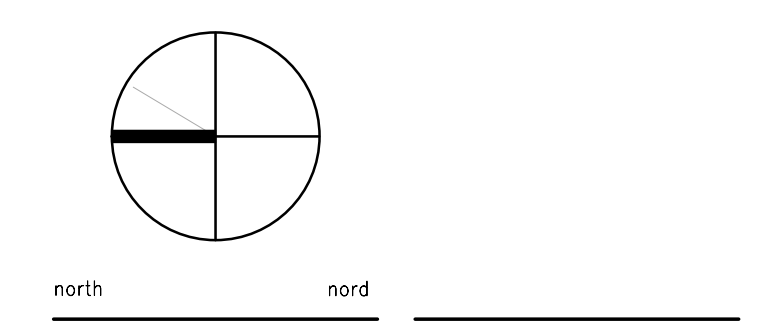
ICON	DESCRIPTION
[Symbol]	Concrete
[Symbol]	Landscape Area
[Symbol]	Proposed Buildings
[Symbol]	Concrete Curb
[Symbol]	Depressed Curb
[Symbol]	Overhead Wires
[Symbol]	Property Lines
[Symbol]	Existing Fence
[Symbol]	Fence
[Symbol]	Signage
[Symbol]	BF Parking Space
[Symbol]	6m Wide Fire Route (12m centreline radius on all turns, TYP.)
[Symbol]	Principal Entrance Door
[Symbol]	Exterior Door ("OH" indicates Overhead Door)

Note #	Note Text
(E)FH	Existing Fire Hydrant
(E)SS	Existing Gravel Shoulder
(E)UP	Existing Utility Pole
AS	Paved Asphalt Shoulder, flush with road surface, to replace existing gravel shoulder. Width of asphalt to match width of existing gravel shoulder
BR	Bicycle Rack
CC	Concrete Curb
CR	Concrete Ramp
CRW	Concrete Retaining Wall
CS	Concrete Stair
CSW	Concrete Sidewalk; 2m wide, as per City Standard Details; See Civil
CW	Concrete Walkway
DC	Depressed Curb
FH	Fire Hydrant
GCD	Grooved Concrete Driveway
GSR	Galvanized Steel Guardrail
LZ	Loading Zone, Painted Lines
PB	Painted Bollard
RCW	Recessed Concrete Walkway

PLAN OF SURVEY OF
 PART OF LOT 5
 CONCESSION 4
 GEOGRAPHIC TOWNSHIP OF MARCH
 CITY OF OTTAWA
 PREPARED BY
 FARWELL MORTFATT & WOODLAND LIMITED
 ONTARIO LAND SURVEYORS
 NOVEMBER 11, 2019

NOTES:
 Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.
GENERAL SITE PLAN NOTES:
 1. Exterior site lighting shall be directed onto the site away from adjacent properties. See Electrical Drawings.
 2. Read this drawing in conjunction with the Landscape Drawings, Civil Engineering Drawings and Electrical Drawings.

0	ISSUED FOR SITE PLAN APPROVAL	13 FEB 2020
no.	revision	date



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 Ottawa Ontario Canada K1Y 4R4
KWC ARCHITECTS INC.
 PHONE (613) 238-2117
 FAX (613) 238-6595
 E MAIL kwc@kwc-arch.com

detail no.	1	detail no.
sheet no.	A1	feuille no.

PROPOSED WAREHOUSE
 1243 TERON RD.
 OTTAWA, ON.

designed by	KWC	approved by	
drawn by	AK/TC	project no.	1943
date	13 FEBRUARY 2020	scale	as noted
drawing / dessin			

**SITE PLAN,
 SITE PLAN DETAILS**
 revision sheet no. **A010**
 no. de la feuille

plot scale 1:1