



Site Plan Control Application Summary Standard (Staff approval, no public consultation)

File Number: D07-12-19-0164
Applicant: Tyler Ferguson
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Phone: 613-836-2184
Owner: Richcraft Properties Ltd.

Date: February 26, 2020
Comments due date: March 18, 2020
Planner: Kelby Lodoen Unseth
Ward: Ward 10 Gloucester-Southgate
Councillor: Diane Deans

Site Location

2370 Walkley Road

Applicant's Proposal

A Site Plan Control application has been submitted to expand the on-site parking by 50 spaces.

Proposal Details

The addition of 50 parking spaces is from the expansion of surface parking along the northwest face of the building, between the building and Walkley Road. A raised landscaped buffer exists along the north side of the property and will be retained as part of the parking lot expansion.

The principle use of the lands is light industrial and the parking is to be used by on-site employees.

To the east, west, and south of the property is designated employment area. Along the north side of Walkley Road is low-rise residential. The subject lands are located between St. Laurent Blvd. and Banton Street.

Select trees will require removal as part of the parking expansion, and a TCR has been included in the application submission.

No changes to the building, or access points to Walkley Road are proposed as part of this application.

Related Planning Applications

N/A

Roadway Modifications

N/A

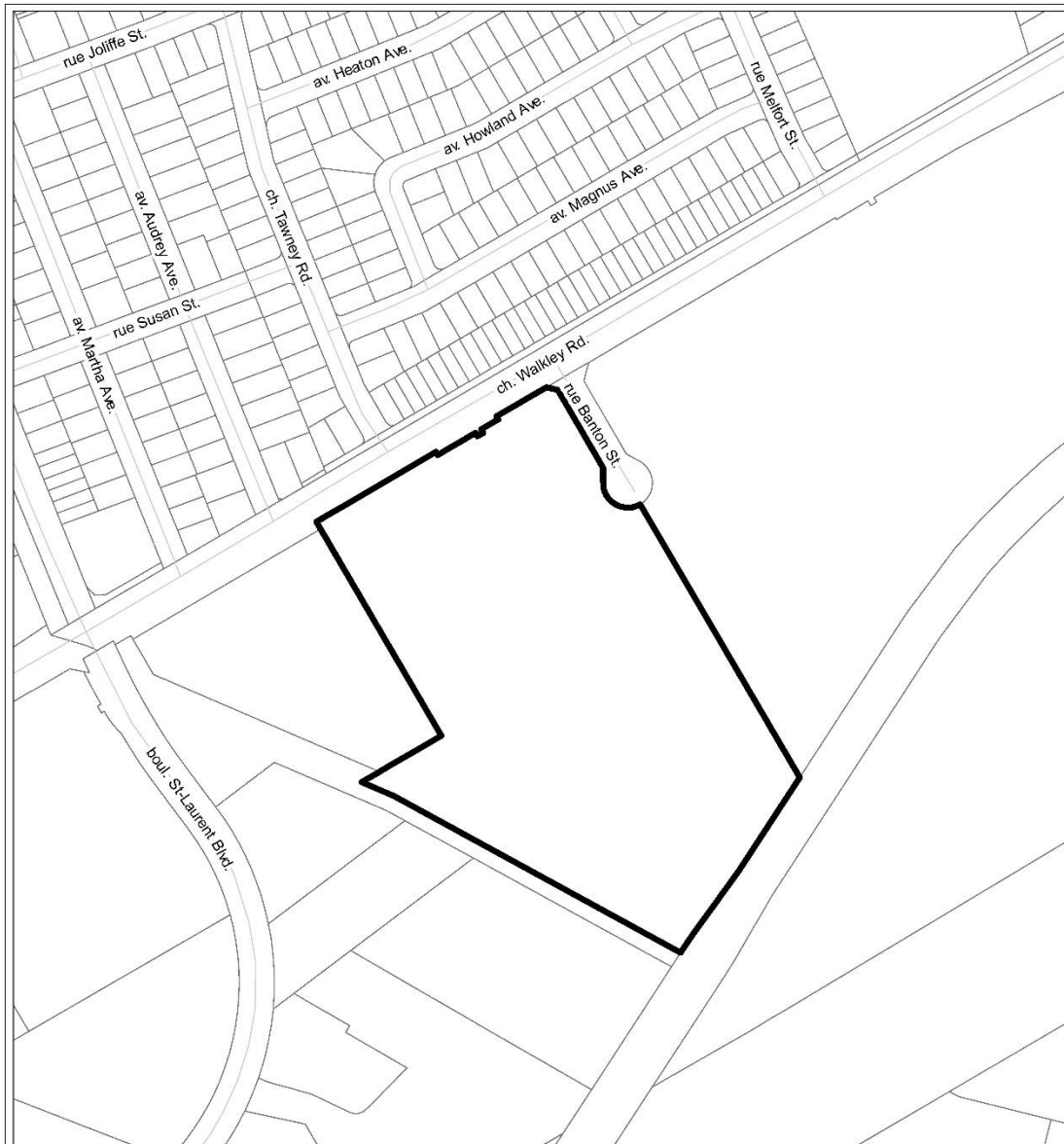
How to Provide Comments

For additional information or to provide your comments go through [Ottawa.ca/devapps](https://ottawa.ca/devapps) or contact:*

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*Please provide comments by **March 18, 2020**

Location Map / Carte de l'emplacement



		LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT	
D07-12-19-0164	20-0172-L		
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