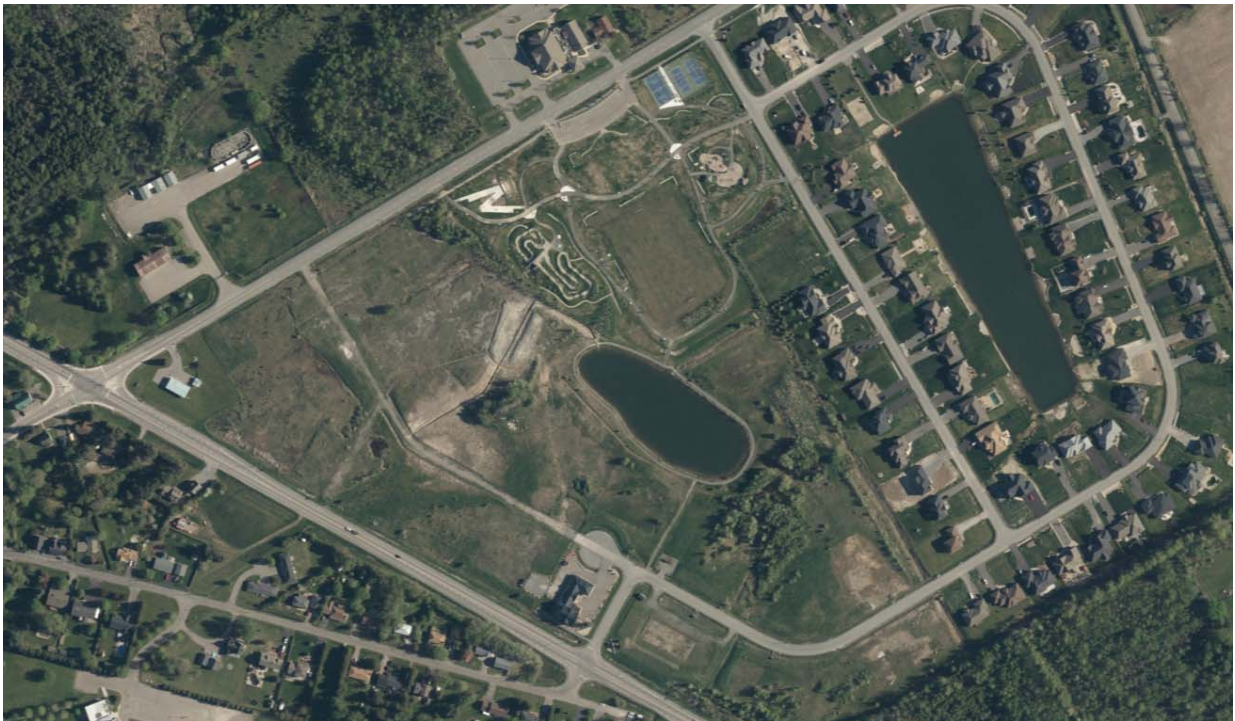


**PLANNING LAW AND POLICY PLAN
IN SUPPORT OF PROPOSED DEVELOPMENT**

**Block 63, Plan 4M-1398
(7586, 7574 and 7564 Village Centre Place)
Greely, Ontario, K4P 0C8**



**Prepared for
Sunset Lakes Developments
Greely Family Farm Inc.
Greely Village Centre**

**December 7, 2018
Revised: February 13, 2020**

TYPE OF APPLICATION: Site Plan Control Revision – Manager Approval, Public Consultation

LEGAL DESCRIPTION: Block 63, Plan 4M-1398

MUNICIPAL ADDRESS: 7586, 7574 and 7564 Village Centre Place, Greely, Ontario, K4P 0C8

PURPOSE OF THE APPLICATION

This is an amendment to an approved Site Plan Control application (D07-12-13-0152) for the construction of a one storey retail building with seven proposed retail units to be leased. The building is approximately 564.68 square metres. The building is designed to allow direct entry to each individual unit.

SITE CONDITIONS

The site is generally flat and well drained. It is within a registered plan of subdivision and services have been completed on site such as drainage and grading, stormwater management ponds, roads, all utility installation and the sanitary collection system. There are no issues of potential contamination.

PROPOSAL

The development of the subject site has received planning consideration during the subdivision review process and the original site plan application process. This application comprises the second smaller building on Block 63. Landscaping, parking, pedestrian and vehicular accesses have been coordinated with the original registered site plan. The height density and parking are compliant with the requirements of the zoning bylaw and the aesthetics including the steel roof and upgraded exterior finishes are consistent with the other buildings in the vicinity.

A preconsultation meeting was held with City staff (Jenny Kluge, Mark Young, Brian Morgan, Amira Shehata and Matthew Hayley) on August 22, 2018. Also in attendance was Stephanie Morris (FoTenn) and Daniel Anderson and Dave Anderson (Sunset Lakes Developments). Staff comments were provided on August 31, 2018 and have been implemented within the application.

The Ward Councillor (George Darouze) as well as the Greely Community Association, Greely Business Association and Osgoode Ward Business Association have also been consulted and support the application.

SITE DESCRIPTION

This proposal is an application for an amendment to the Site Plan Agreement registered as Instrument No. OC1976322 on Blocks 63, 64 and 65, Plan 4M-1398. The subject property is entirely within Block 63, Plan 4M-1398, municipally known as 7586, 7574 and 7564 Village Centre Place and is located near the south-east corner of the intersection of Parkway Road and Bank Street within the village of Greely. The parcel is located within the Greely Village Centre development which is zoned for a mix of uses within the village core area, including commercial, residential and recreational.



BACKGROUND INFORMATION

The site plan application is part of a previously approved Site Plan Agreement and Municipal Covenant Agreement registered on March 2, 2018 as Instrument Numbers OC1976322 and OC 1976324 (City of Ottawa file numbers D07-12-13-0152; D07-12-15-0034; D07-12-16-0004; D07-12-17-0007). A number of plans and studies were previously submitted and approved as outlined in the Delegated Authority Report enclosed.

DEVELOPMENT PROPOSAL

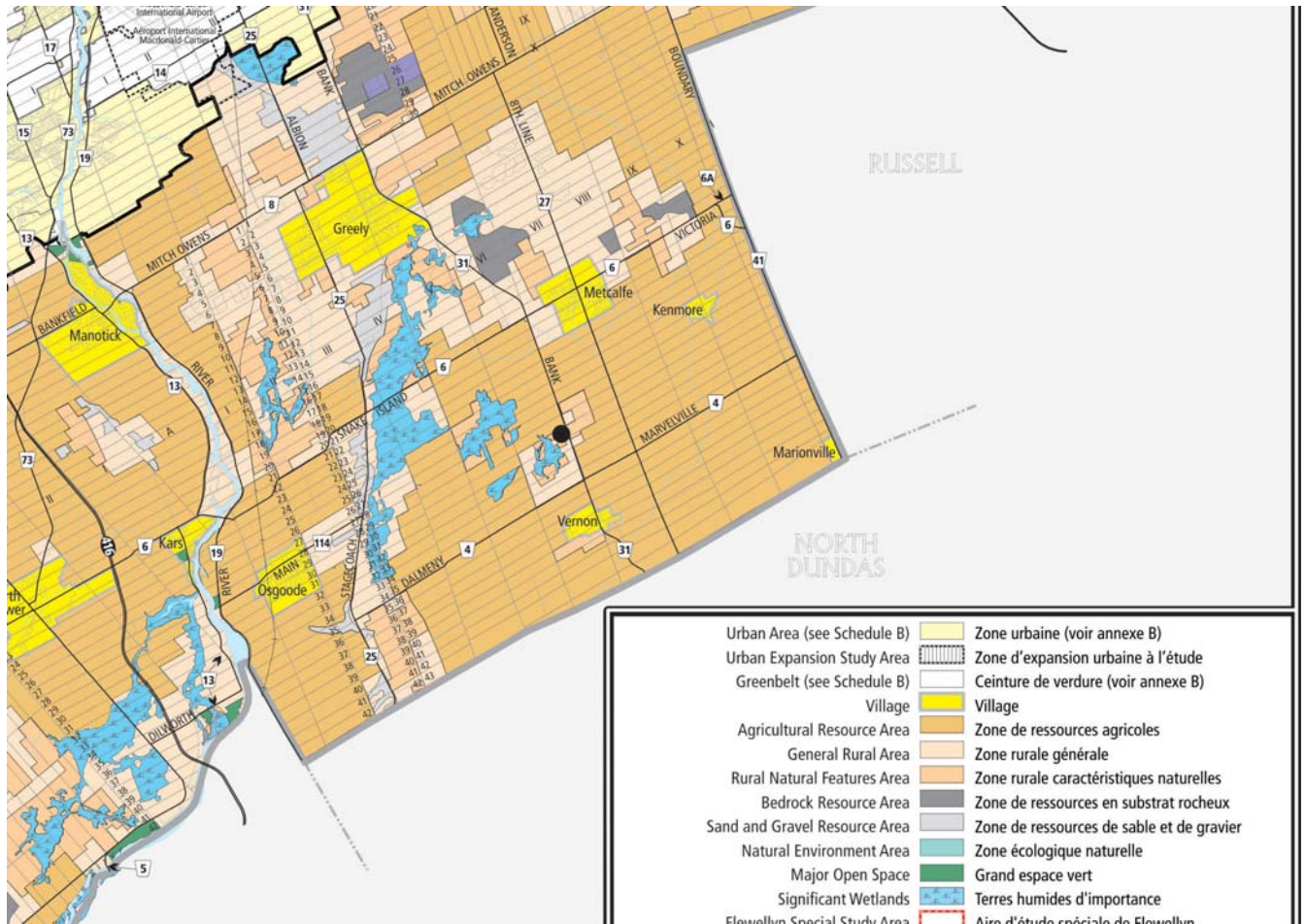
The applicant seeks approval to construct a one storey retail building with seven proposed retail units to be leased. The building is approximately 564.68 square metres. The building is designed to allow direct entry to each individual unit. The amendment will implement the second smaller building contemplated in the original design.



POLICY FRAMEWORK

City of Ottawa Official Plan (OP) and Official Plan Amendment No. 150 (OPA 150)

The subject property is located in the village of Greely and is designated as Village on Schedule "A" of the Official Plan. The Official Plan directs rural growth to villages where community facilities, schools, commercial areas and public infrastructure exist. The proposed development will provide commercial uses to a large and fast growing village, assisting the transition to a more complete community while protecting Greely's rural village character. As one of the three largest and fastest growing villages in Ottawa per Section 2.2, Policy 10 (a), the village of Greely is ideal for this type of development.



The new development proposes retail uses that are consistent with the vision for Greely's existing community needs. The village of Greely has historically lacked the village commercial uses that are typical of other rural villages.

There are several policies within the Official Plan which relate to water and wastewater servicing for the rural area. The subject development will use a private well and the communal wastewater treatment system. A communal wastewater system is permitted by the Official Plan to service commercial uses and has been approved by the Ministry of the Environment and Climate Change who issued Environmental Compliance Approval on April 19, 2018 (Number 2418-AVJRJ5).

The residents of Greely will benefit greatly from the subject development through the positive impact it will have on the rural economy since a greater supply of goods and services will be readily available to the Village and surrounding area. This will also reduce the need for travel and the impact on municipal roads. Policies in OPA 150 remain unchanged with regards to the designation and permitted uses. The proposed development is consistent with the requirements of OPA 150.

GREELY COMMUNITY DESIGN PLAN

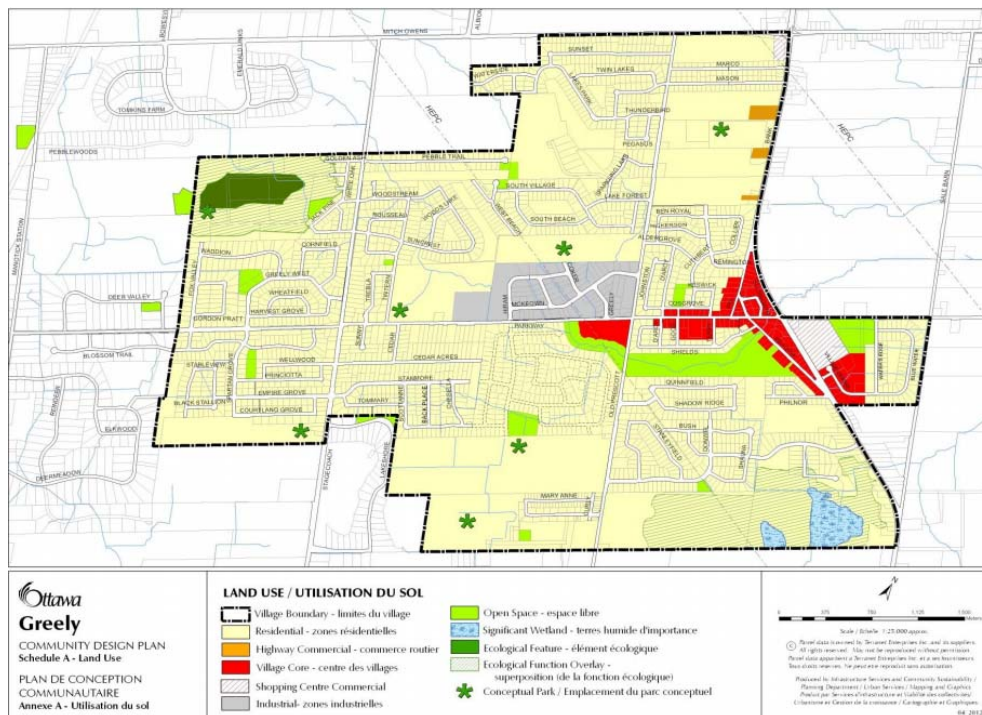
The subject property is located EAST of Bank Street and is designated as Village Core on Schedule “A” of the Greely Community Design Plan. The Village Core designation permits a wide range of uses, including the following:

- a) Residential uses such as single detached, two-unit, ground-oriented multi-unit, and apartment dwellings.
- b) Commercial and services uses such as restaurants, hotels, retail stores, banks and medical offices . . .
- c) Institutional uses such as schools and churches.
- d) Open space uses such as public parks and community centres.

The purpose of this designation is to provide for a variety of uses which will enhance the village core by offering a combination of residential, retail and commercial elements. The proposed development will satisfy commercial uses and services as required in the Greely Community Design Plan.

Lands designated Village Core East of Bank Street are to follow the Built Form Guidelines, where applicable.

The building design and signage for the proposed development is in keeping with the Village’s rural character and will be complemented with trees and enhanced landscaping along Bank Street.



The proposed development is consistent with the requirements of the Greely Community Design Plan.

CITY OF OTTAWA COMPREHENSIVE ZONING BY-LAW

The subject property is zoned Village Mixed Use with a site-specific exception. Purposes of the zone are as follows:

- (1) permit a wide variety of commercial, leisure, institutional and residential uses in areas designated as Village in the Official Plan;*
- (2) reinforce the historical character of the Village core area and main streets by promoting small scale, street-oriented building form;*
- (3) recognize the function of Business Improvement Areas as primary business or shopping areas;*
- (4) regulate development in a manner that adopts existing land use patterns so that the unique village character is maintained.*

The Village Mixed Use (VM3[396r]H(10.7) zone permits a wide range of uses including a bank, bar, convenience store, office, retail store and retail food store.

The height limit in the subject zone is 10.7 metres. The building being proposed is 9.2 metres and meets the height requirement provision of the zoning by-law.

In accordance with Section 229 and Exception 396r, the proposed uses are permitted by the by-law but are subject to provisions as follows.

ZONING MECHANISM	REQUIREMENT	PROPOSED	COMPLIANCE
Minimum Lot Area (m2)	1,350 m2	3,024 m2	✓
Minimum Lot Width (m)	20 m	47.25 m	✓
Front Yard Setbacks (m)	3m	21.3m	✓
Corner Side Yard Setbacks (m)	3m	3m	✓
Minimum Interior Side Yard Setbacks (m)	nil	n/a	✓
Minimum Rear Yard Setbacks (m)	3m	24.6m	✓
Building Heights (m)	10.7	9.2m	✓
Minimum Width of Landscaped Area (m) Abutting a Street	3m	3m	✓



The subject lands will be serviced by private services however will have sufficient capacity to accommodate the servicing of the proposed development as well as the sewage generation and complies with the zone provision.

The proposed development meets the provisions of the Comprehensive Zoning Bylaw.

SUPPORTING PLANS / STUDIES

The following plans and studies have been prepared in support of the proposed Site Plan application and support the proposed development.

- 1) Architectural Building Elevation Drawings (4 copies)
- 2) Survey Plan (2 copies)
- 3) Site Plan (5 copies)
- 4) Landscape Plan (5 copies)
- 5) Grading and Drainage Plan (4 copies)
- 6) Site Servicing Plan (4 copies)
- 7) Archaeological Resource Assessment (2 copies)
- 8) Geotechnical Study (4 copies)

- 9) Hydrogeological and Terrain Analysis (4 copies)
- 10) Phase 1 Environmental Assessment (3 copies)
- 11) Block 63, 4M-1398 Planning Rationale (3 copies)
- 12) Servicing Options Report (4 copies)
- 13) Stormwater Management Report (4 copies)
- 14) Delegated Authority Report (4 copies)
- 15) Site Plan Agreement registered as OC1976322 – 7856 Village Centre Place and approved site plan

CONCLUSIONS

This application represents the good land use planning and is compliant with existing legal requirements and planning policy and is suitable and in the interests of the public and the Village of Greely.

A handwritten signature in cursive script that reads "Daniel J. Anderson".

Daniel J. Anderson, LL.B
Sunset Lakes Developments