

PROJECT INFORMATION:

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGN TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP D, SPRINKLERED, FIVE STOREY (3.2.2.51)

BUILDING STATISTICS:
BUILDING AREA (FOOTPRINT): ±1910 sq.m.
FLOOR AREA: 1859 sq.m.
GROSS FLOOR AREA: 9296 sq.m.
NUMBER OF STOREYS: 5
BUILDING SPRINKLERED: YES
OF STREET ACCESS ROUTES: 1
CONSTRUCTION TYPE: NON-COMB.
FLOOR ASSEMBLY & F.R.R.: 1 HOUR

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT 7 CONCESSION 4 Geographic Township of March CITY OF OTTAWA
PREPARED BY Annis, O'Sullivan, Vollebakk Ltd., on the 9th day of December, 2019.

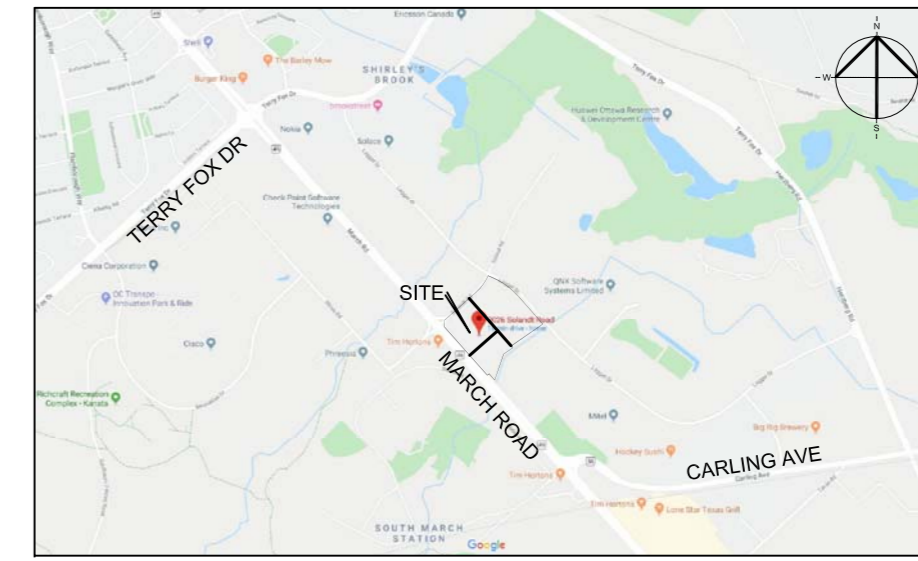
LEGEND

	PROPERTY LINE
	YARD SETBACK
	NEW BUILDING
	PAVER PATIO
	SOFT LANDSCAPED AREA
	MAIN ENTRANCE
	GARBAGE ENCLOSURE SEE A-002
	STANDARD PARKING SPACE 2.6 m x 5.2 m
	REDUCED PARKING SPACE 2.4 m x 5.2 m
	LINE PAINT AREA
	LINE PAINT CROSS WALK
	NEW DEPRESSED CURB - SEE LANDSCAPE
	NEW CURB
	EXISTING FIRE HYDRANT
	NEW FIRE HYDRANT
	SIAMESE CONNECTION
	EXISTING TREES TO REMAIN
	BIKE RACK, SEE LANDSCAPE

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

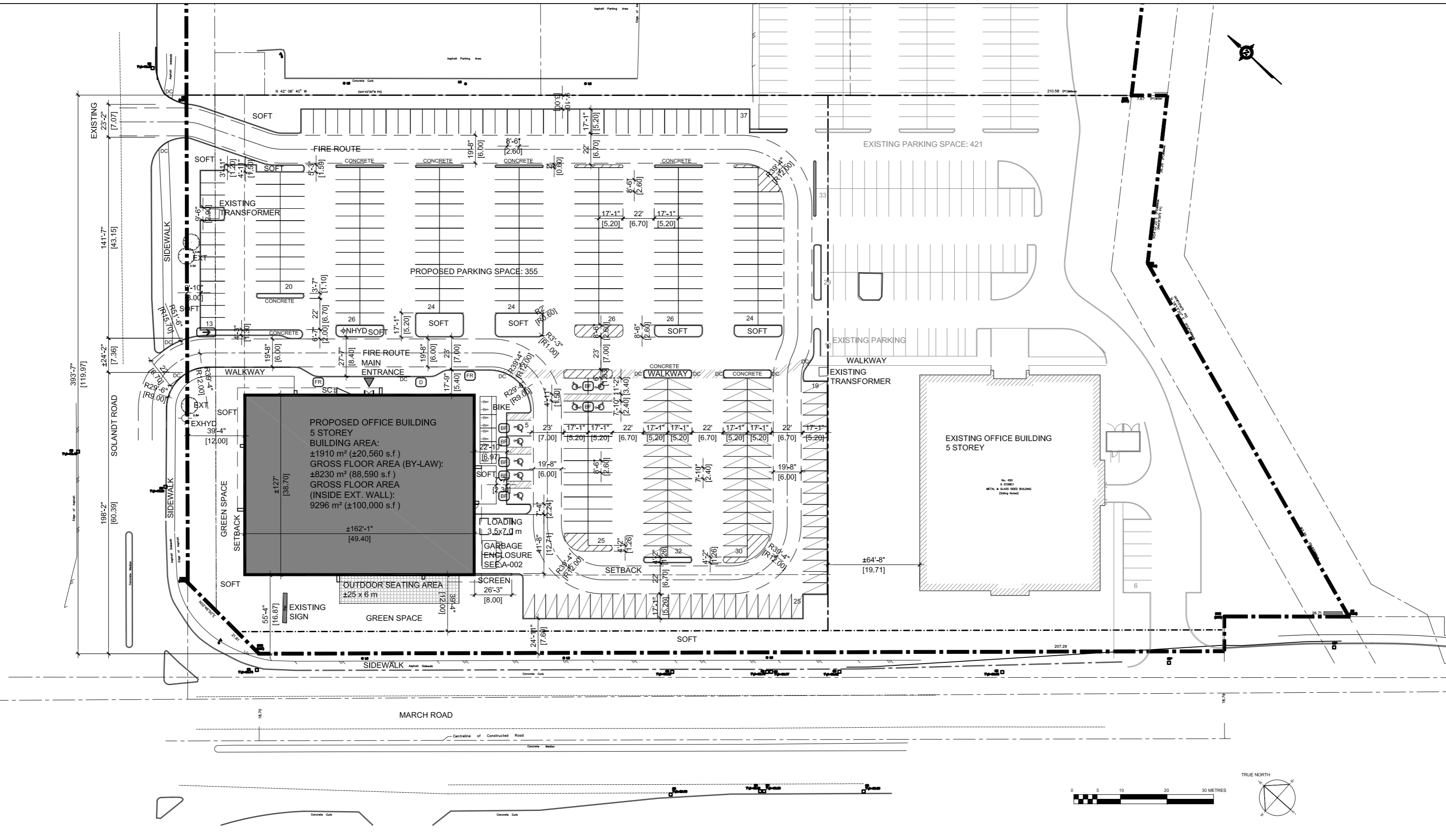
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	3026 SOLANDT ROAD	
DEFINITION	IG 6 GENERAL INDUSTRIAL ZONE	OFFICE
MIN. LOT WIDTH	45 m	
MIN. LOT AREA	4000 m ²	±17116 m ²
MIN. FRONT / CORNER SIDE YARD SETBACK	12 m	12 m
MIN. INT. SIDE YARD SETBACK	7.5 m	> 7.5 m
MIN. REAR YARD SETBACK	7.5 m	> 7.5 m
MAX. LOT COVERAGE	45 %	±11 %
MAX. BUILDING HEIGHT	22 m	± 19.0 m
MIN. WIDTH OF LANDSCAPING	3 m ABUTTING A STREET	3 m
STANDARD PARKING SPACE	2.6m x 5.2m	70 %
REDUCED PARKING SPACE	2.4m x 5.2m (MAX. 50 %)	30 %
ACCESSIBLE PARKING SPACE	3.4m x 5.2m TYPE A 2.4m x 5.2m TYPE B	3.4m x 5.2m 2.4m x 5.2m
PARKING REQUIREMENTS AREA C: SUBURBAN	198 2.4 / 100 m ² G.F.A. (BY-LAW)	355 PARKING RATE: 3.82 / 100 m ²
BARRIER-FREE PARKING	9	9 (5 x TYPE A) 4 x TYPE B
LOADING SPACES	1 (3.5m x 7.0m)	1 (3.5m x 7.0m)
BICYCLE PARKING RATE	33 (1 / 250 m ² of G.F.A.)	33
BUILDING AREA		±1910 m ² (20,560 s.f.)
GROSS FLOOR AREA (BY-LAW)		±8230 m ² (88,590 s.f.)
GROSS FLOOR AREA (INSIDE EXT. WALL)		9296 m ² (100,000 s.f.)



KEY PLAN

SIGNAGE LEGEND:

	FIRE ROUTE
	BF PARKING
	DROP OFF ONLY/NO PARKING
	ONE WAY



PROPOSED OFFICE BUILDING
5 STOREY
BUILDING AREA:
±1910 m² (±20,560 s.f.)
GROSS FLOOR AREA (BY-LAW):
±8230 m² (88,590 s.f.)
GROSS FLOOR AREA
(INSIDE EXT. WALL):
9296 m² (±100,000 s.f.)

EXISTING OFFICE BUILDING
5 STOREY

no.	revision	date
4		
3		
2		
1	ISSUED FOR SITE PLAN APPLICATION	17 JAN. 2020

N45 ARCHITECTURE INC.
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project
SOLANDT ROAD OFFICE BUILDING
3026 SOLANDT ROAD, KANATA, ONTARIO

construction north
true north

drawing title
SITE PLAN

scale AS SHOWN	drawn by J.J
date Dec. 2019	checked by R.M
project number 19-458	drawing number A-001

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.