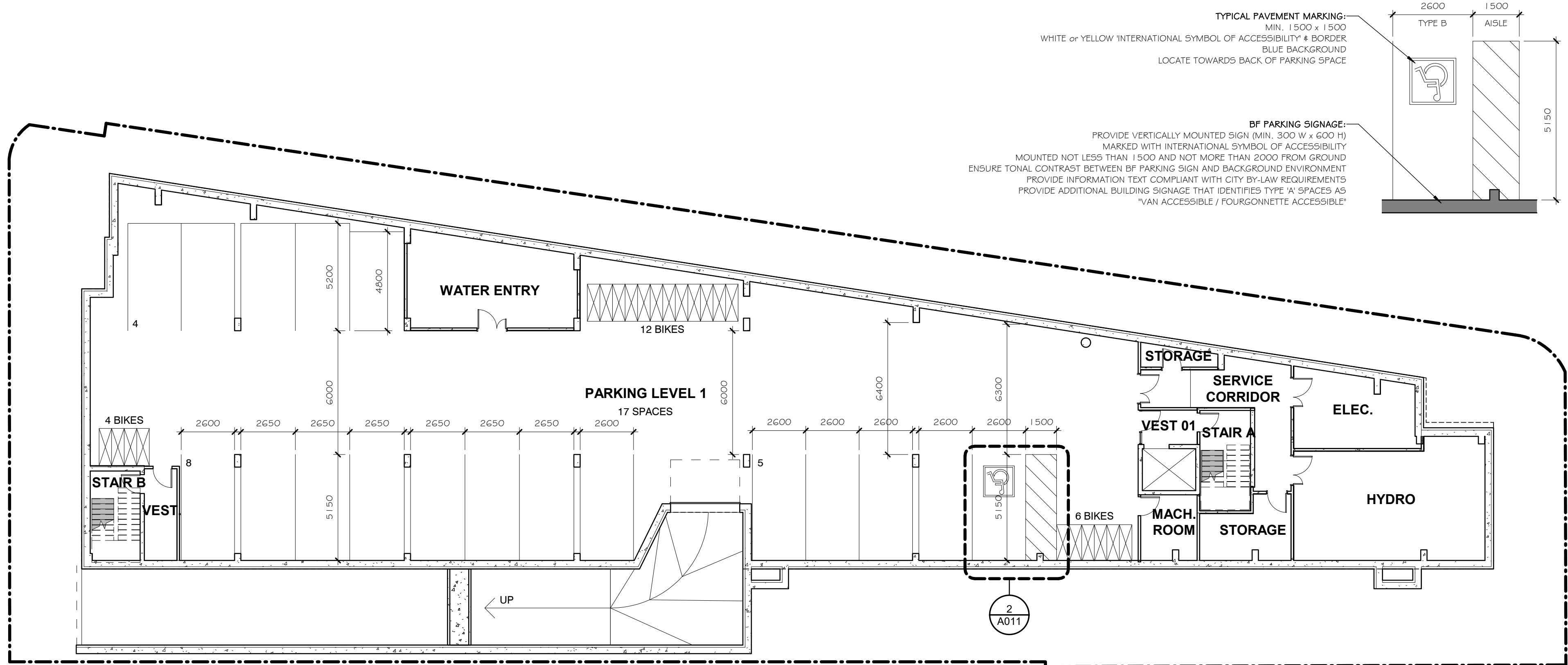


plot scale 1:1



1 PARKING PLAN  
A011 SCALE 1 : 150

Project Zoning Review/Statistics

Municipality: City of Ottawa  
Municipal Address: 1050-1060 Bank Street  
Registered Owner: 2641723 Ontario Inc.  
Lot Area: 1,757 sq.m. (18,917 sq.ft.)(0.43 acres)

Zoning Analysis  
Ottawa  
Zoning By-law: 2008-250  
Zone: TM2 H(15)  
Proposed Use: Mixed Use: Retail & Rental Apartments

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Basement		
Parking & Building Services	931	10,026
	931	10,026
Ground Floor		
Retail / Restaurant	826	8,886
Residential Lobby	50	533
Building Services	48	517
	923	9,936
Second Floor		
Apartment Units	965	10,387
	965	10,387
Third Floor		
Apartment Units	965	10,387
	965	10,387
Fourth Floor		
Apartment Units	965	10,387
	965	10,387
Fifth Floor		
Apartment Units	574	6,174
Building Services	36	384
	609	6,558
Sixth Floor		
Apartment Units	421	4,533
	421	4,533
Grand Totals	5,780	62,214

Development Standards		
	Required	Provided
Minimum Lot Area	No min.	1,757 sq.m.
Minimum Lot Width	No min.	76.35m
Minimum Required Yard		
Front Yard (max.)	2.00m	0.05m (Up to 15m above grade)
Front Yard (min.)	2.00m	2.00m (Higher than 15m above grade)
Corner Side Yard (min.)	3.00m	3.25m (Up to 15m above grade)
Corner Side Yard (min.)	5.00m	5.25m (Higher than 15m above grade)
Rear Yard (min.)	4.50m	3.45m (abutting public laneway, subject to minor variance)
Maximum Building Height	15.00m	19.3m (Subject to minor variance)
No part of building permitted above 45° Angular Plane, starting 7.5m from rear lot line and 15m above grade		2.75m projection (Subject to minor variance)
Maximum Floor Space Index	No max.	3.29

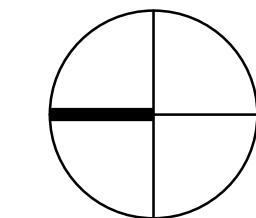
Parking, Loading, Queuing		
Parking Spaces (2.6m x 5.2m)		Area Y Schedule 1A
Retail / Restaurant	Required: 0	(As per 101(4)(d))
Residential: 0.5 / dwelling @ 32 units	Required: 16	(None required for first 12 as per 101(4)(b))
Visitor Parking: 0.1 / dwelling @ 32 units	Required: 3	(none required for first 12 as per 102(2))
	Total: 19	
	Provided: 21	
Accessible Parking	Required: 1	1 Type B, 2.6m wide
	Provided: 1	
Bicycle Parking (0.6m x 1.8m)		
Retail / Restaurant: 1/250 sq.m.	Required: 3	
Residential: 0.5 / dwelling @ 44 units	Provided: 22	
	Total: 25	
	Provided: 25	
Loading Spaces (3.5m x 7.0m)	Required: 0	(As per 113(4))
	Provided: 0	

Amenity Area		
Required:		
6 sq.m. per dwelling unit	= 264 sq.m.	aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be minimum 54 sq.m.
Minimum 50% required to be communal	= 132 sq.m.	
Provided:		Total
Ground Floor	Private: 0 Communal: 7 sq.m.	7 sq.m.
Second Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Third Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Fourth Floor	Private: 54 sq.m. Communal: 0	54 sq.m.
Fifth Floor	Private: 74 sq.m. Communal: 224 sq.m.	298 sq.m.
	Communal Total: 231 sq.m.	
	Overall Total: 467 sq.m.	

NOTES:

Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

0	ISSUED FOR SITE PLAN APPROVAL	17 DEC 2019
no.	revision	date



north nord



383 Parkdale Avenue, Suite 201  
Ottawa Ontario Canada K1Y 4R4

KWC ARCHITECTS INC.

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FAX (613) 238-6595  
E MAIL kwc@kwc-arch.com

detail no.	1	détail no.
sheet no.	A1	feuille no.

project  
projet

PROPOSED MIXED-USE  
RETAIL & RENTAL  
APARTMENT BUILDING

1050 & 1060 BANK STREET  
OTTAWA, ON.

designed by conçu par	MM/SK	approved by approuvé par	
drawn by dessiné par	AK	project no. no. du projet	1844
date	09 DECEMBER 2019	scale	as noted
drawing / dessin			

PARKING PLAN

revision révision	sheet no. no. de la feuille	A011
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