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## Project Zoning Review/Statistics

Municipality: City of Ottawa Municipal Address: 1050-1060 Bank Street Registered Owner: 2641723 Ontario Inc.

Buildin

Zoning Analysis	917 sq.ft.)(0.43 acı	res)						
Ottawa <b>Zoning By-law:</b> 2008-250								
<b>Zone:</b> TM2 H(15)								
Proposed Use: Mixed Use: Retai	il & Rental Apartm	ients		~				
Building Areas	Gro	ss (out-to-o	out)					
	Sq.m.	55 (541 15 1	Sq.ft					
Basement Parking & Building Services	931		10,026					
Ground Floor	931		10,026					
Retail / Restaurant Residential Lobby	826 50		8,886 533					
Building Services	48		517					
	923	I	9,936					
econd Floor Apartment Units	965		10,387					
	965		10,387					
hird Floor Apartment Units	965		10,387					
Apartment Units								
ourth Floor	965		10,387					
Apartment Units	965		10,387					
ifth Floor	965		10,387					
Apartment Units	574		6,174					
Building Services	36		384					
xth Floor	609		6,558					
Apartment Units	421		4,533		0 ISSU	ED FOR SITE P	PLAN APPROVAL	17 DEC 201
	421		4,533		no. rev	ision		date
irand Totals	5,780		62,214			121011		
				J				
Development Standards								
	Required		Provided					
/inimum Lot Area	No min.	1	.,757 sq.m.					
1inimum Lot Width 1inimum Required Yard	No min.		76.35m					
Front Yard (max.)	2.00m		0.05m	(Up to 15m above grade)	north	nord		
Front Yard (min.)	2.00m			(Higher than 15m above grade)				
Corner Side Yard (min.) Corner Side Yard (min.)	3.00m 5.00m			(Up to 15m above grade) (Higher than 15m above grade)			383 Parkdale /	Avenue, Suite
Rear Yard (min.)	4.50m		3.45m	(abutting public laneway; subject to minor			Ottawa Ontari	
Maximum Building Height	15.00m			variance) (Subject to minor variance)			KWC ARCH	ITECTS IN
No part of building permitted above 45°	Angluar Plane.		2.75m					
starting 7.5m from rear lot line and 15m			projection	(Subject to minor variance)			<b>FAX</b> (6	13) 238-2117 13) 238-6595
Maximum Floor Space Index	No max.		3.29				<b>EMAIL</b> kw	c@kwc-arch.c
Porking Looding Quouing								
Parking, Loading, Queuing Parking Spaces (2.6m x 5.2m)				Area Y Schedule 1A	detail no.	(	1	détail n
		Required:		(As per 101(4)(d))	sheet no.		<u>+</u> A1	feuille n
Retail / Restaurant		Required:	16	(None required for first 12 as per 101(4)(b))				realite it
Residential: 0.5 / dwelling @			2					
		Required: Total:		(none required for first 12 as per 102(2))	project			
Residential: 0.5 / dwelling @		Required: Total: Provided:	19 21		project projet			
Residential: 0.5 / dwelling @		Required: Total: Provided: Required:	19 21 1				SED MIX	
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking		Required: Total: Provided:	19 21 1	(none required for first 12 as per 102(2))		R	ETAIL & F	RENTAL
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Sicycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Required:	19 21 1 1 3	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide		R		RENTAL
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Sicycle Parking (0.6m x 1.8m)	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided:	19 21 1 1 3 22	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide		R APART	ETAIL & F	
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Bicycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Required: Provided: Total: Provided:	19 21 1 1 3 22 25 25	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide		R APART	ETAIL & F MENT BU	RENTAL
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Bicycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Required: Provided: Total:	19 21 1 3 22 25 25 25 0	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4))	designed by	R APART	ETAIL & F MENT BU 50 & 1060 BA O <sup>T</sup>	RENTAL
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Bicycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq Residential: 0.5 / dwelling @	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Required: Provided: Total: Provided: Required:	19 21 1 3 22 25 25 25 0	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4))		R APART	ETAIL & F MENT BU 50 & 1060 BA O <sup>T</sup>	RENTAL
Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         Bicycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         Loading Spaces (3.5m x 7.0m)	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Required: Provided: Total: Provided: Required:	19 21 1 3 22 25 25 25 0	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4))	designed by	Ri APART 108 MM/SK	ETAIL & F MENT BU 50 & 1060 BA O <sup>T</sup>	RENTAL JILDING NK STREE ITAWA, ON
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking Bicycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq Residential: 0.5 / dwelling @ coading Spaces (3.5m x 7.0m) Amenity Area Required:	g @ 32 units - - q.m.	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided:	19 21 1 3 22 25 25 25 0 0	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4))	designed by conçu par drawn by dessiné par	RI APART 105	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé por project no. no. du projet	RENTAL JILDING NK STREE ITAWA, ON
Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         Accessible Parking         icycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         oading Spaces (3.5m x 7.0m)         Amenity Area	g @ 32 units - g.m. 9 44 units -	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided:	19 21 1 3 22 25 25 25 0 0 0 264 sq.m.	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4))	designed by conçu par drawn by dessiné par date	Ri APART 108 MM/SK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAL JILDING NK STREE TAWA, OP
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking icycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq Residential: 0.5 / dwelling @ bading Spaces (3.5m x 7.0m) menity Area Required: 6 sq.m. per dwelling unit <i>Minimum 50% required to be</i>	g @ 32 units - g.m. 9 44 units -	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided:	19 21 1 3 22 25 25 25 0 0 0 264 sq.m. <i>132 sq.m.</i>	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where	designed by conçu par drawn by dessiné par date	Ri APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAI JILDING NK STREE TAWA, OI
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking icycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq Residential: 0.5 / dwelling @ bading Spaces (3.5m x 7.0m) menity Area Required: 6 sq.m. per dwelling unit <i>Minimum 50% required to be</i> Provided:	g @ 32 units - g.m. 9 44 units -	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided:	19 21 1 3 22 25 25 25 0 0 0 264 sq.m. <i>132 sq.m.</i>	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	Ri APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAI JILDING NK STREE TAWA, OI 184 as note
Residential: 0.5 / dwelling @ Visitor Parking: 0.1 / dwelling Accessible Parking icycle Parking (0.6m x 1.8m) Retail / Restaurant: 1/250 sq Residential: 0.5 / dwelling @ bading Spaces (3.5m x 7.0m) menity Area Required: 6 sq.m. per dwelling unit Minimum 50% required to be	g @ 32 units	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided: = = =	19 21 1 3 22 25 25 25 0 0 0 264 sq.m. <i>132 sq.m.</i>	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	Ri APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAI JILDINC NK STREE TAWA, OF 184 as note
Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         icycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         bading Spaces (3.5m x 7.0m)         menity Area         Required:         6 sq.m. per dwelling unit         Minimum 50% required to be         Provided:	g @ 32 units	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided: = = =	19 21 1 3 22 25 25 25 0 0 0 264 sq.m. <i>132 sq.m.</i>	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	Ri APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAI JILDINC NK STREE TAWA, OR 184 as note
Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         icycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         oading Spaces (3.5m x 7.0m)         menity Area         Required:         6 sq.m. per dwelling unit         Minimum 50% required to be         Provided:         Ground Floor         Second Floor	g @ 32 units  g @ 32 units  g.m.  44 units  e communal  Private: Communal: Private:	Required: Total: Provided: Required: Provided: Provided: Total: Provided: Required: Provided: = = =	19 21 1 3 22 25 25 25 0 0 0 0 264 sq.m. <i>132 sq.m.</i> <i>132 sq.m.</i> <i>132 sq.m.</i> <i>5</i> 4 sq.m.	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	Ri APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAI JILDINC NK STREE TAWA, OF 184 as note
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Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         icycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         oading Spaces (3.5m x 7.0m)         Amenity Area         Required:         6 sq.m. per dwelling unit         Minimum 50% required to be         Provided:         Ground Floor         Second Floor         Third Floor	g @ 32 units  g @ 32 units  g g g g g g g g g g g g g g g g g g	Required:           Total:           Provided:           Required:           Provided:           Required:           Provided:           Provided:           Provided:           Sequired:           Provided:           Sequired:           Provided:           Sequired:           Provided:           Sequired:           Se	19 21 1 3 22 25 25 25 0 0 0 0 264 sq.m. <i>132 sq.m.</i> <i>132 sq.m.</i> <i>132 sq.m.</i> <i>5</i> 4 sq.m.	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	RI APART 10: MM/SK AK	ETAIL & F MENT BU 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale	RENTAL JILDING NK STREE TAWA, ON 184 as note
Residential: 0.5 / dwelling @         Visitor Parking: 0.1 / dwelling         Accessible Parking         Sicycle Parking (0.6m x 1.8m)         Retail / Restaurant: 1/250 sq         Residential: 0.5 / dwelling @         oading Spaces (3.5m x 7.0m)         Amenity Area         Required:         6 sq.m. per dwelling unit         Minimum 50% required to be         Provided:         Ground Floor         Second Floor         Third Floor         Fourth Floor	g @ 32 units  g @ 32 units  g g g g g g g g g g g g g g g g g g	Required:           Total:           Provided:           Required:           Provided:           Stag:           0           7 sq.m.           0           54 sq.m.	19 21 1 3 22 25 25 0 0 0 264 sq.m. <i>132 sq.m.</i> <i>132 sq.m.</i> <i>54 sq.m.</i> 54 sq.m.	(none required for first 12 as per 102(2)) 1 Type B, 2.6m wide (As per 113(4)) aggregated into areas of up to 54 sq.m.; where more than one area is provided one must be	designed by conçu par drawn by dessiné par date 09 DECE	RI APART 10: MM/SK AK	ETAIL & F MENT BL 50 & 1060 BA OT approved by approuvé par project no. no. du projet scale PARKIN	RENTAL JILDING NK STREE TAWA, ON 184 as note

## NOTES:

#### Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.



#### 383 Parkdale Avenue, Suite 201 Ottawa Ontario Canada K1Y 4R4 KWC ARCHITECTS INC.

# A1

## POSED MIXED-USE **RETAIL & RENTAL** RTMENT BUILDING

## 1050 & 1060 BANK STREET OTTAWA, ON.

designed by conçu por MM/SK	approved by approuvé por			
drawn by dessiné par AK	project no. no. du projet	1844		
date	scale			
09 DECEMBER 2019		as noted		

## PARKING PLAN