

FORMAL CONSULTATION - JANUARY 10th 2020
URBAN DESIGN REVIEW PANEL

OLD OTTAWA SOUTH - 1050 & 1060 BANK ST.
PROPOSED MIXED USE DEVELOPMENT



hci.

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS



NEIGHBOURHOOD

200m

1. LANSDOWNE

2. BILLINGS BRIDGE

3. OLD OTTAWA SOUTH

4. OLD OTTAWA EAST
5. GLEBE

6. CARLETON UNIVERSITY

7. RIDEAU CANAL
8. DOW'S LAKE

9. RIDEAU RIVER

10. ALTAVISTA



NEIGHBOURHOOD

1. SOUTH MINSTER UNITED CHURCH
(LISTED ON THE HERITAGE REGISTER)

2. OTTAWA PUBLIC LIBRARY - SUNNYSIDE

3. ROYAL COLLEGE OF PHYSICIANS AND
- SURGEONS OF CANADA

4. MAYFAIR THEATRE (DESIGNATED
HERITAGE PROPERTY)

5. SHOPPER'S DRUGMART
6. RESIDENTIAL NEIGHBOUR-
HOOD

7. LANSDOWNE

8. RIDEAU CANAL
9. BUS STOP

10. HOPEWELL AVENUE PUBLIC SCHOOL

11. TO GLEBE NEIGHBOURHOOD



X VIEWPOINTS OF NEIGHBOURHOOD IMAGES -
SEE FOLLOWING PAGE



NEIGHBOURHOOD KEY DESTINATIONS

NEIGHBOURHOOD IMAGES

1. OTTAWA PUBLIC LIBRARY - SUNNYSIDE

2. ROYAL COLLEGE OF PHYSICIANS AND SURGEONS OF CANADA

3. MAYFAIR THEATRE (DESIGNATED HERI-
4. SHOPPER'S DRUGMART

5. RESIDENTIAL NEIGHBOURHOOD
6. LANSDOWNE

7. BUS STOP

8. 1050 & 1060 BANK ST.



A BANK STREET
VIEW TOWARDS NORTHEAST



B BANK STREET
VIEW TOWARDS EUCLID AVENUE / SOUTHWEST



C BANK STREET
CORNER SUNNYSIDE AVENUE - VIEW TOWARDS NORTHWEST



D AYLMER AVENUE
CORNER GALT STREET / VIEW TOWARDS SOUTHWEST



E AYLMER AVENUE



F AYLMER AVENUE
VIEW TOWARDS SOUTH
ALONG PROPERTY LINE
WEST

PROJECT SITE IMAGES

- 1. SOUTH MINSTER UNITED CHURCH (LISTED ON THE HERITAGE REGISTER)
- 2. MAYFAIR THEATRE (DESIGNATED HERITAGE PROPERTY)
- 3. RESIDENTIAL NEIGHBOURHOOD
- 4. 1050 & 1060 BANK ST.
- 5. LANEWAY AT WEST OF PROPERTY



G BANK STREET, MAYFAIR THEATRE
VIEW TOWARDS PROPERTY NORTHEAST



H CORNER BANK STREET & AYLMER AVE
VIEW TOWARDS SOUTH



I AYLMER AVENUE
CORNER BANK ST - VIEW TOWARDS WEST



J EUCLID AVENUE
CORNER BANK ST - VIEW TOWARDS WEST



K LANE IN WEST OF PROPERTY, 'BEHIND' EXISTING RESTAURANTS



L BANK ST
VIEW TOWARDS SOUTH

ZONING FRAMEWORK

TM2 H(15)

- TM... Traditional Mainstreet
- TM2... Subzone of Traditional Mainstreet
- H(15)... Maximum Height 15m

ROAD REQUIREMENTS

Bank Street to be ROW 23m (between Isabella St and Riverside Drive)

PERMITTED USES

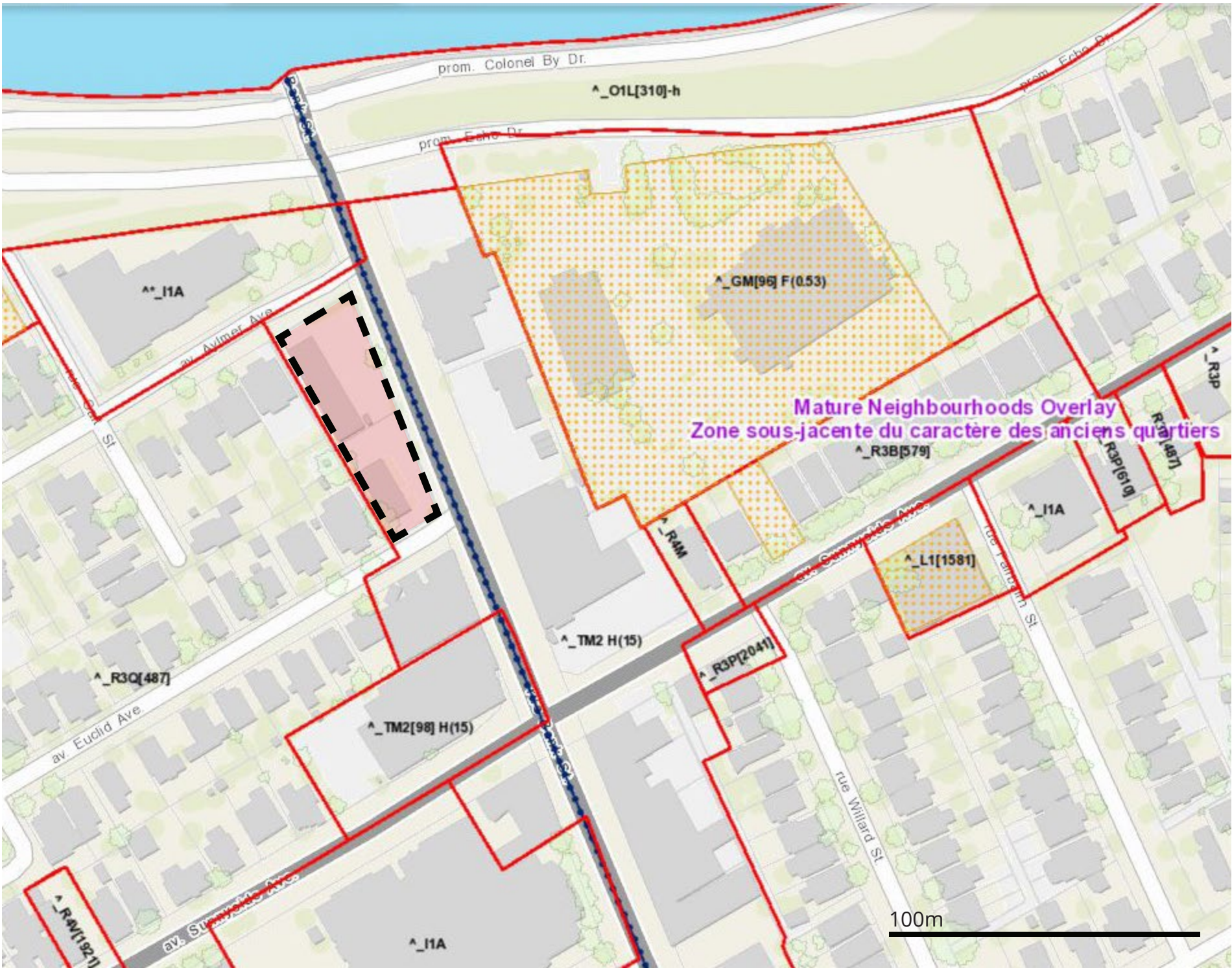
Office, Residential, Retail type use, Restaurant, etc.

GUIDELINES

- transparent windows and active entrances
- 50% Glazed Ground Floor
- 4.5m Height of Ground Floor
- 100% of the ground floor fronting on the street excluding any related mechanical room or pedestrian or vehicular access
- ...

SUBZONE TM2

- permitted residential: dwelling unit / rooming house
- limitation for retail (food) store to 600 square metres
- at least 2 storeys in height



ZONING FRAMEWORK - Detailed Planning Overview for the 1050-1060 Bank Street Redevelopment Proposal

The following is a summary of relevant Official Plan and Zoning By-law policies, and how they relate to the latest set of plans dated th of June for the 1050-1060 Bank Street proposal. For reference, the Subject Property is an irregular-shaped lot with 75.3m of frontage on Bank Street, and frontage along both Aylmer Avenue and Euclid Avenue as well. The total site area is 1593sqm.

CITY OF OTTAWA OFFICIAL PLAN

The Subject Property is designated Traditional Mainstreet in the Official Plan. Furthermore, “The objective of the Mainstreet designation is to encourage more dense and mixed-use development that supports, and is supported by, increased walking, cycling and transit use”.

Additionally, per Section 4.11, “...to arrive at compatibility of scale and use will demand a careful design response, one that appropriately addresses the impact generated by infill or intensification. Consequently, the issue of ‘context’ is a dominant theme of this Plan where it speaks to compatibility and design”. Compatibility is also dependent on context in relation to traffic, vehicular access, parking requirements, outdoor amenity areas, loading areas, service areas, outdoor storage, lighting, noise and air quality, sunlight, microclimate, and supporting neighbourhood services. Furthermore, “...in any given situation individual criteria may not apply and/or may be evaluated and weighted on the basis of site circumstances”.

Therefore, given these policies and the intended design, this proposal is compatible with the Official Plan.

CITY OF OTTAWA URBAN DESIGN GUIDELINES FOR DEVELOPMENT ALONG TRADITIONAL MAINSTREETS

As previously mentioned, the Subject Property is designated Traditional Mainstreet and, as such, is subject to the Urban Design Guidelines for Development along Traditional Mainstreets. This proposal is compatible with the objectives of the Guidelines, including “To foster compact, pedestrian-oriented development linked to street level amenities” and “To accommodate a broad range of uses including retail, services, commercial uses, offices, residential and institutional uses where one can live, shop and access amenities”. More specifically, this proposal is compatible with Guidelines 4 (periodic breaks), 8 (quality buildings), 11 (windows), 13 (location of residential units), and 23 (vehicular access of side streets), among others in this design concept.

CITY OF OTTAWA ZONING BY-LAW

The Subject Property is zoned ^_TM2 H(15) – Traditional Mainstreet Subzone 2, with a Height Restriction of 15 metres. There is an interim control by-law affecting a wide geographic area, including the Subject Property but is not relevant to the intended use(s).

The stated purpose of the TM zone is to “accommodate a broad range of uses including retail, service commercial, office, residential and institutional uses, including mixed-use buildings but excluding auto-related uses, in areas designated Traditional Mainstreet in the Official Plan” and “foster and promote compact, mixed-use, pedestrian-oriented development that provide for access by foot, cycle, transit and automobile”.

The following relevant uses are permitted in the TM zone:

- artist studio
- bank
- office
- personal service business
- restaurant
- retail food store
- retail store

Section 197.1 (c) states for the above non-residential uses, “a minimum of 50% of the ground floor façade facing the main street, measured from the average grade to a height of 4.5 metres, must comprise transparent windows and active entrances; and where an active entrance is angled on the corner of the building, such that it faces the intersection of the main street and an intersecting side street, it is deemed to face the main street”.

Additionally, the following residential uses are permitted in the TM2 Subzone, providing they are in a building containing one or more of the permitted non-residential uses:

- dwelling units
- rooming house

Furthermore, “b. each retail food store and retail store is limited to 600 square metres of gross leasable area; and c. in addition to the provisions of subsection 197(3)(g)(i), a building must also be at least 2 storeys in height”.

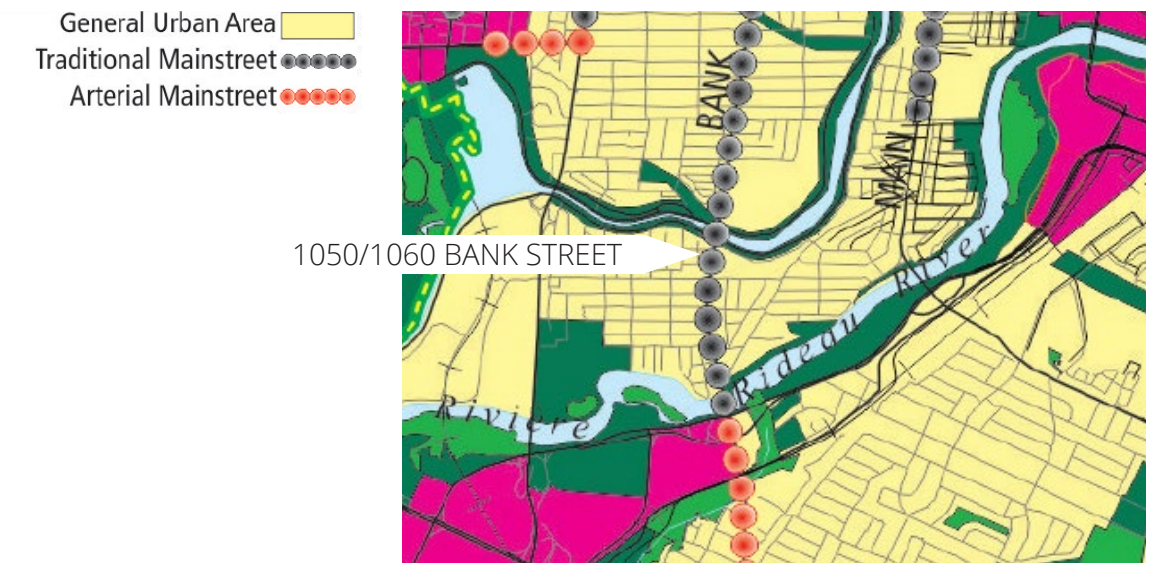
This proposal is made with the intention to comply with the performance provisions under ^_TM2 H(15). That said, an application will be required for five minor variances to the Zoning By-law:

- Min. Rear Yard Setback: From 4.5m to 2.5m (only second through fourth storeys)
- Min. Width of Landscaped Area: From 3m to 0m
- Max. Building Height: From 15m to +-20m
- Max. Building Height: From 45 degree angular plane to 60 degree angular plane (re: Section 197 Policy 3 (g) (ii) (3))
- Visitor Parking Spaces: From 4 to 1

Overall, this proposal is compatible with the intent of the Zoning By-law.

DESIGN GUIDELINES

- ✓ Align streetwall buildings with the existing built form ... of the adjacent buildings ... to create a visually continuous streetscape
- ✓ Plant clusters of trees on the flanking residential streets ... for additional greenspace
- ✓ Create wider sidewalks ... along traditional mainstreets ...
- ✓ Use periodic breaks in the street wall or minor variations in building setback ... to add interest to the streetscape, and to provide space for activities adjacent to the sidewalk
- ✓ Create attractive public and semi-public outdoor amenity spaces such as green spaces with trees, pocket parks, courtyards, outdoor cafés, seating ...
- ✓ ... group streetscape elements ...
- ✓ Design quality buildings that are rich in architectural detail and respect the rhythm and pattern of the existing ... buildings on the street ...
- ✓ Design street sections with a ratio of building height to road corridor width ... of 1:2 to 1:3 ... ideal for ... traditional mainstreets
- ✓ Use clear windows and doors ... and locate active pedestrian-oriented uses at-grade
- ✓ Set back the upper floors of taller buildings to help achieve a human scale & more light on the sidewalks
- ✓ Locate residential units above the level of vehicular traffic in a mixed-use building and provide shared entrances to residential units, clearly accessible from the street.
- ✓ Locate mixed-use development by concentrating height and mass at nodes and gateways
- ✓ Ensure adequate sunlight for sidewalks...
- ✓ Highlight buildings on corner sites, where two public streets intersect ... Continue the same level of architectural detailing around both sides of the building
- ✓ Provide pedestrian weather protection ...
- ✓ Provide sheltered bicycle parking in visible locations near building entrances ...
- ✓ Locate front doors to face the mainstreet and be directly accessible from the public sidewalk.
- ✓ Provide only the minimum number of required car parking spaces...
- ✓ Plant street trees between 6.0 & 8.0 metres apart along public streets ...
- ✓ Use green building technologies ... (LEED)...
- ✓ Share service and utility areas between different users within a single building ...
- ✓ Enclose all utility equipment within buildings or screen them from both the traditional mainstreet and private properties to the rear ...



BUILDING BLOCK STUDIES & OPTIONS WITHIN THE URBAN CONTEXT



PROPERTY
LOOKING NORTH WEST



2 TOWERS SURROUNDING URBAN GROUND FLOOR COURTYARD
TOTAL FLOORS: 16
AYLMER TOWER 16 FLOORS / EUCLID TOWER 7 FLOORS



STEPPED TOWER
TOTAL FLOORS: 16
(16 / 7 / 5 FLOORS)



ZONING
TOTAL FLOORS: 4



SPLIT BUILDINGS INCL. URBAN COURTYARD
TOTAL FLOORS: 6
AYLMER BLDG 6 FLOORS / EUCLID BLDG 4 FLOORS



PREFERRED PROJECT DESIGN
TOTAL FLOORS: 6
4 LEVEL PODIUM + 2 SET-BACK
PENTHOUSE LEVELS

MASSING STUDIES



BUILDING FRONT LINE 2M SETBACK FROM PROPERTY LINE, SETBACK ABOVE 4TH STOREY
TOTAL FLOORS: 10 (1 COMMERCIAL GROUND FLOOR / 3 RESIDENTIAL PODIUM FLOORS / 6 TOWER FLOORS)



TOWER AT CORNER BANK ST AND AYLMER AVE
TOTAL FLOORS: 16 (1 COMMERCIAL GROUND FLOOR / 3 RESIDENTIAL PODIUM FLOORS / 12 TOWER FLOORS)

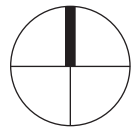


ZONING 15M MAXIMUM HEIGHT
TOTAL FLOORS: 4



PREFERRED PROJECT DESIGN
TOTAL FLOORS: 6
4 LEVEL PODIUM + 2 SET-BACK PENTHOUSE LEVELS

SITE PLAN



PREFERRED DESIGN WITHIN THE NEIGHBOURHOOD



VIEW FROM NORTH-NORTH-EAST

PROJECT DEVELOPMENT
INFORMAL ► FORMAL UDRP

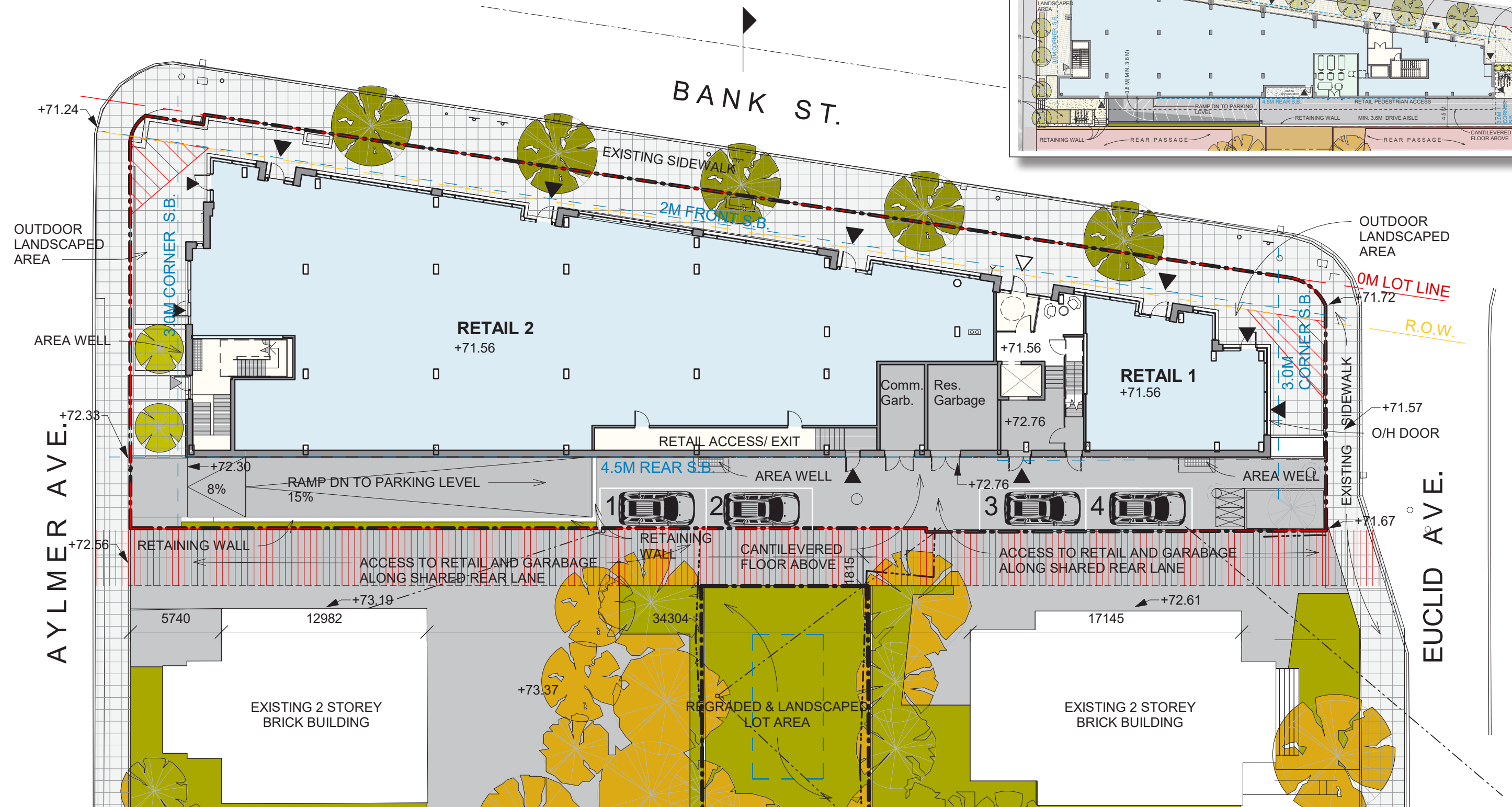
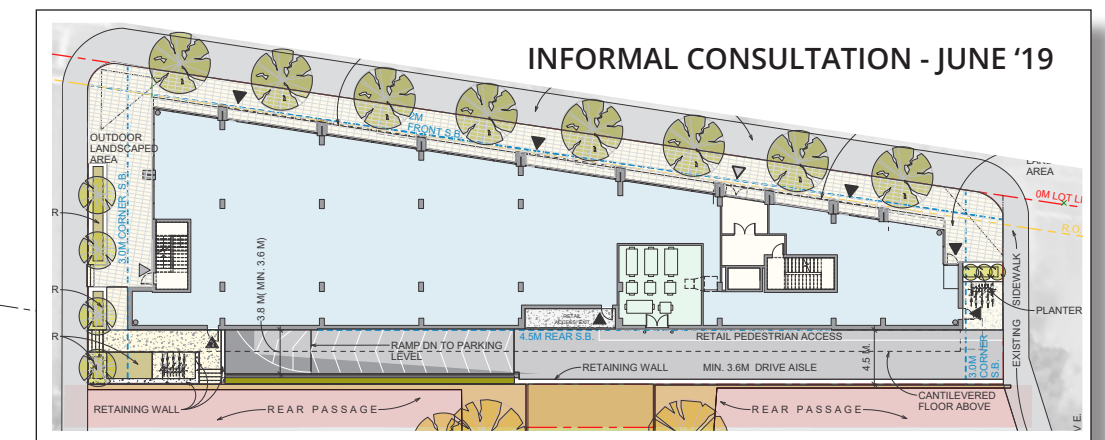
PREVIOUS DESIGN
INFORMAL CONSULTATION - JUNE '19



CONTEXTUAL MATERIALS



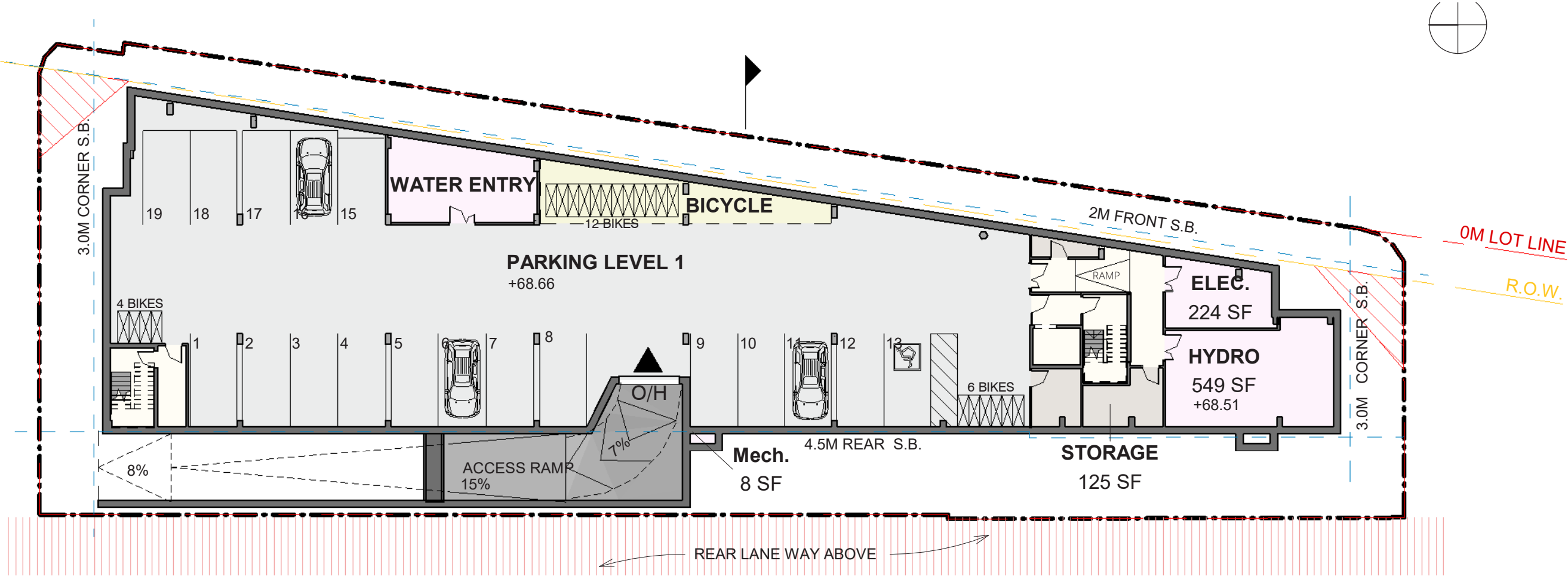
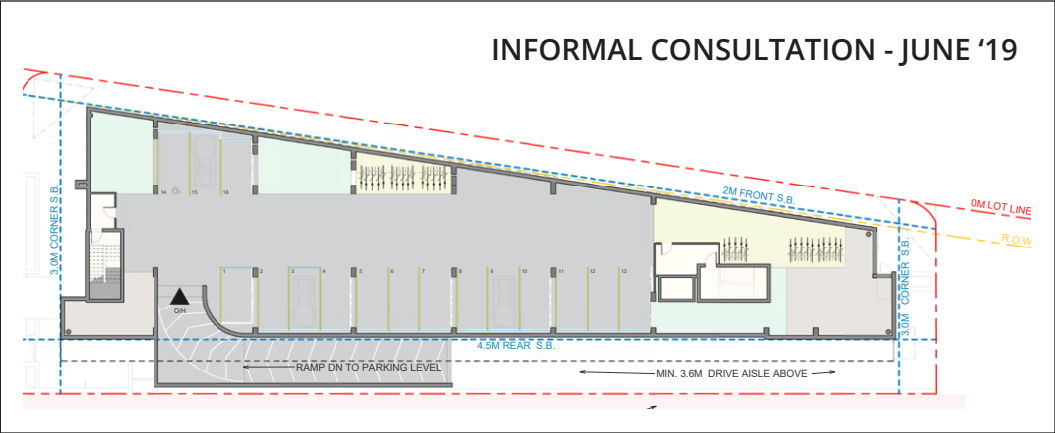
GROUND FLOOR RETAIL PLAN



PROGRAM LEGEND

RETAIL
 COMMERCIAL GARBAGE
 RESIDENTIAL GARBAGE
 CIRCULATION
 EXTERIOR PARKING & RAMP

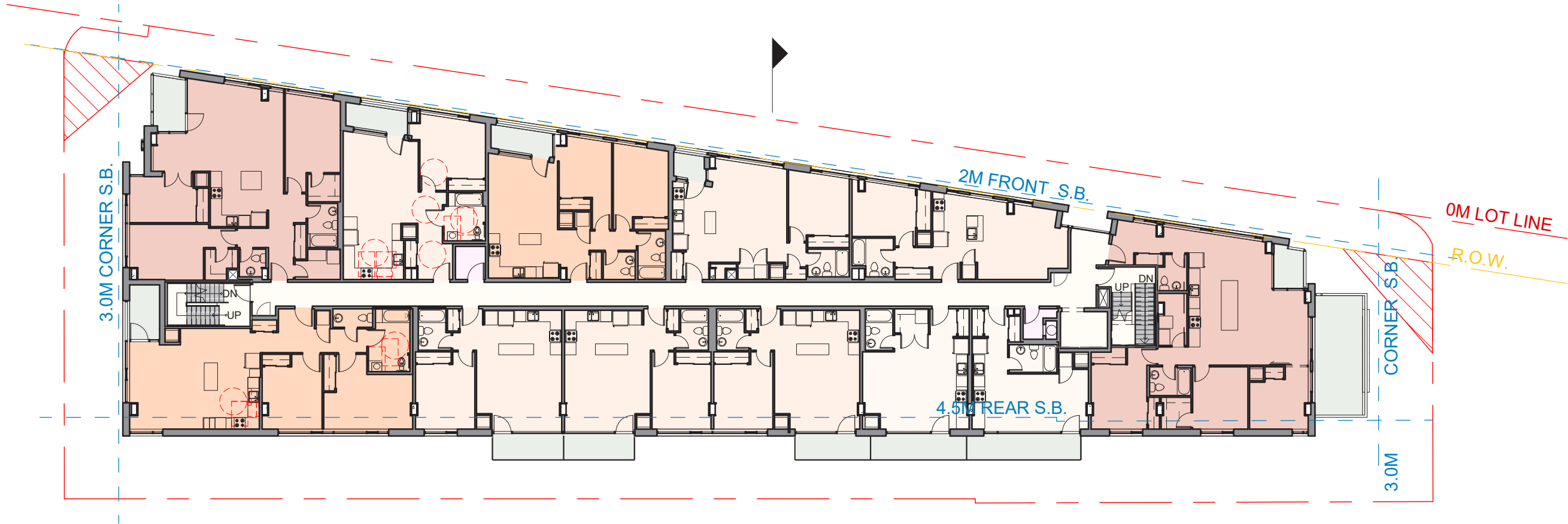
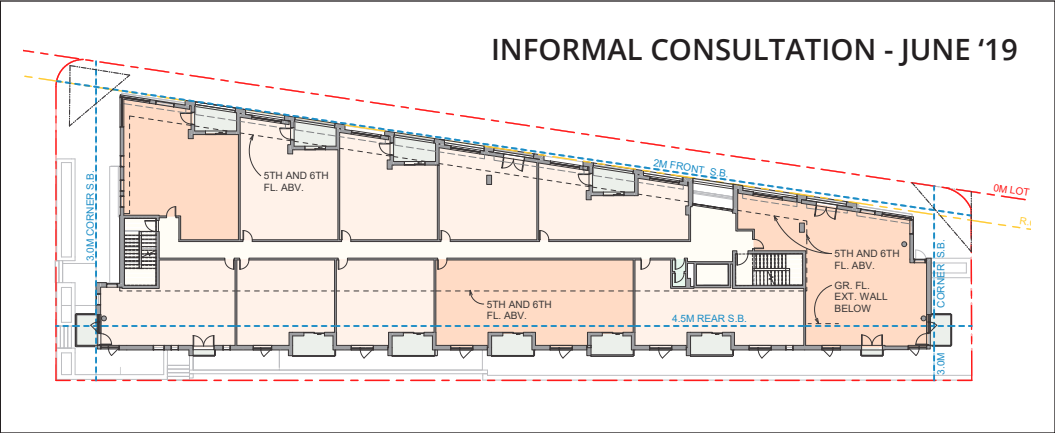
BASEMENT PLAN



PROGRAM LEGEND

	RETAIL		CIRCULATION
	MECH. & ELEC. SERVICE ROOM		INTERIOR PARKING & RAMP
	BICYCLE PARKING		STORAGE

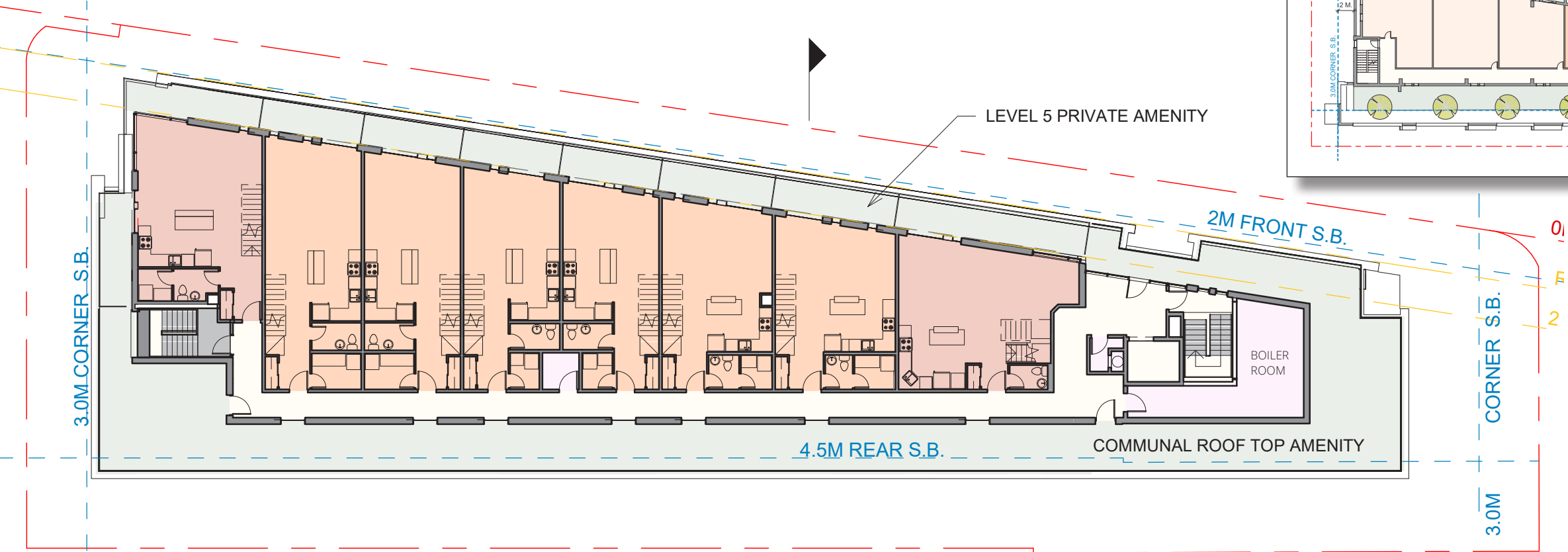
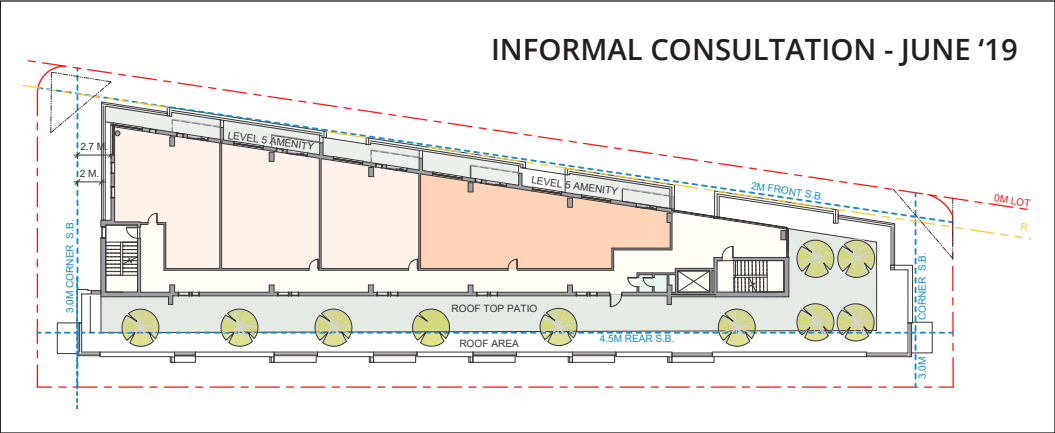
TYPICAL RESIDENTIAL FLOORS 2, 3 & 4



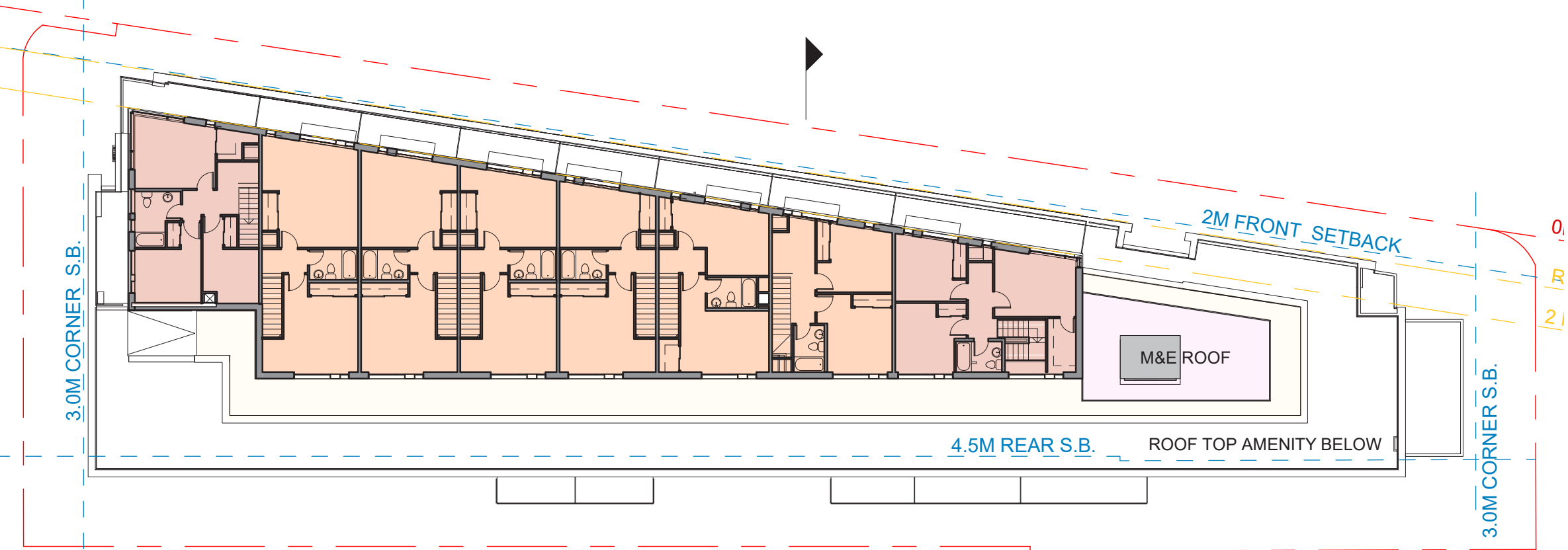
PROGRAM LEGEND

	ONE BEDROOM APARTMENT		CIRCULATION
	TWO BEDROOM APARTMENT		EXTERIOR AMENITY SPACE
	THREE BEDROOM APARTMENT		MECH. & ELEC. SERVICE ROOM

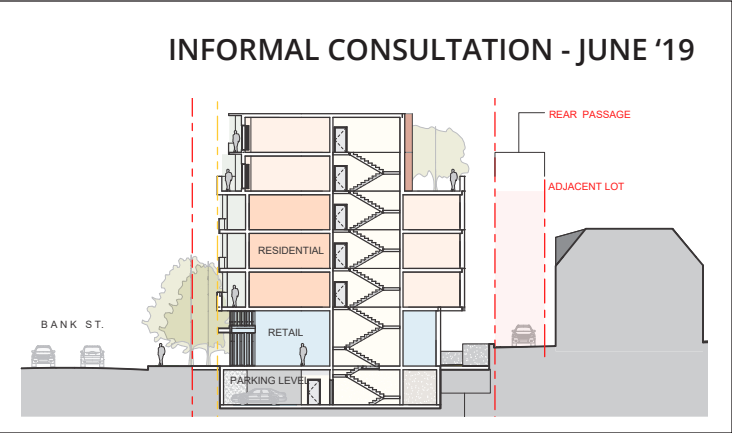
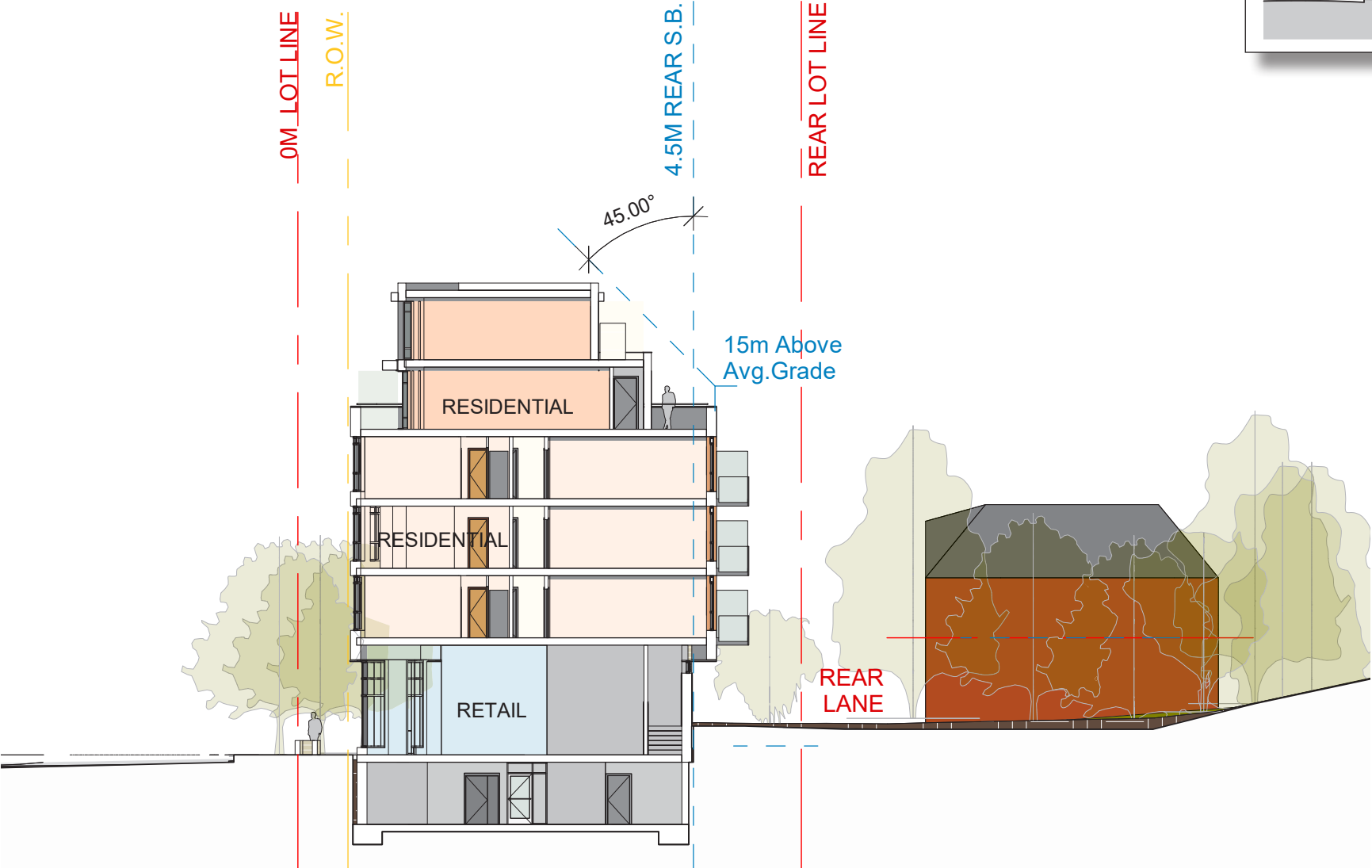
5th & 6th FLOOR PLAN



- PROGRAM LEGEND
- ONE BEDROOM APARTMENT
 - TWO BEDROOM APARTMENT
 - THREE BEDROOM APARTMENT
 - CIRCULATION
 - EXTERIOR AMENITY SPACE
 - MECH. & ELEC. SERVICE ROOM



BUILDING SECTION

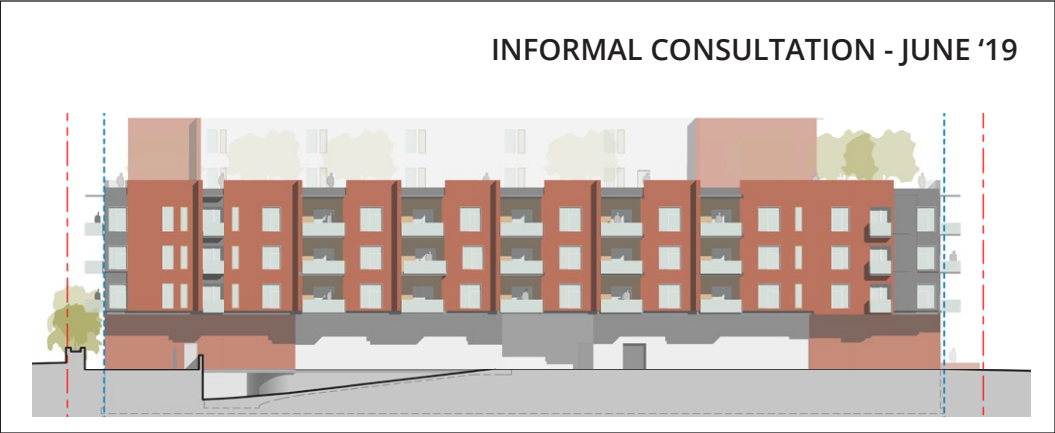


BUILDING ELEVATION EAST

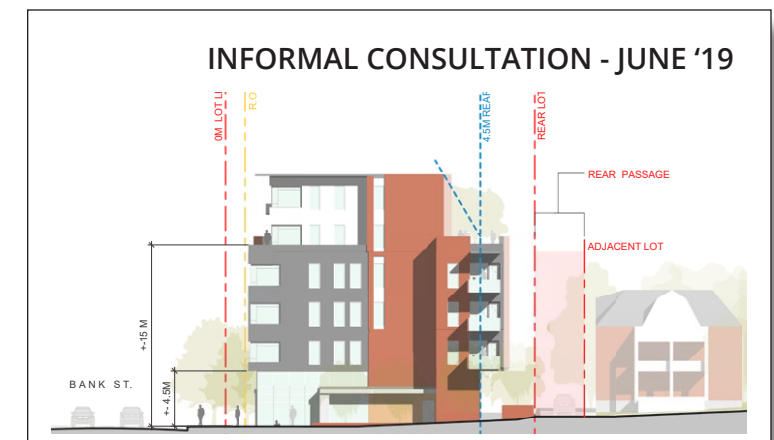


ELEVATION

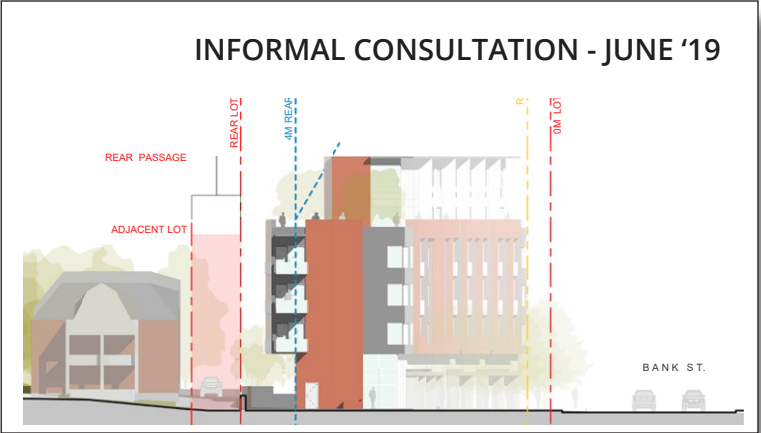
BUILDING ELEVATION WEST



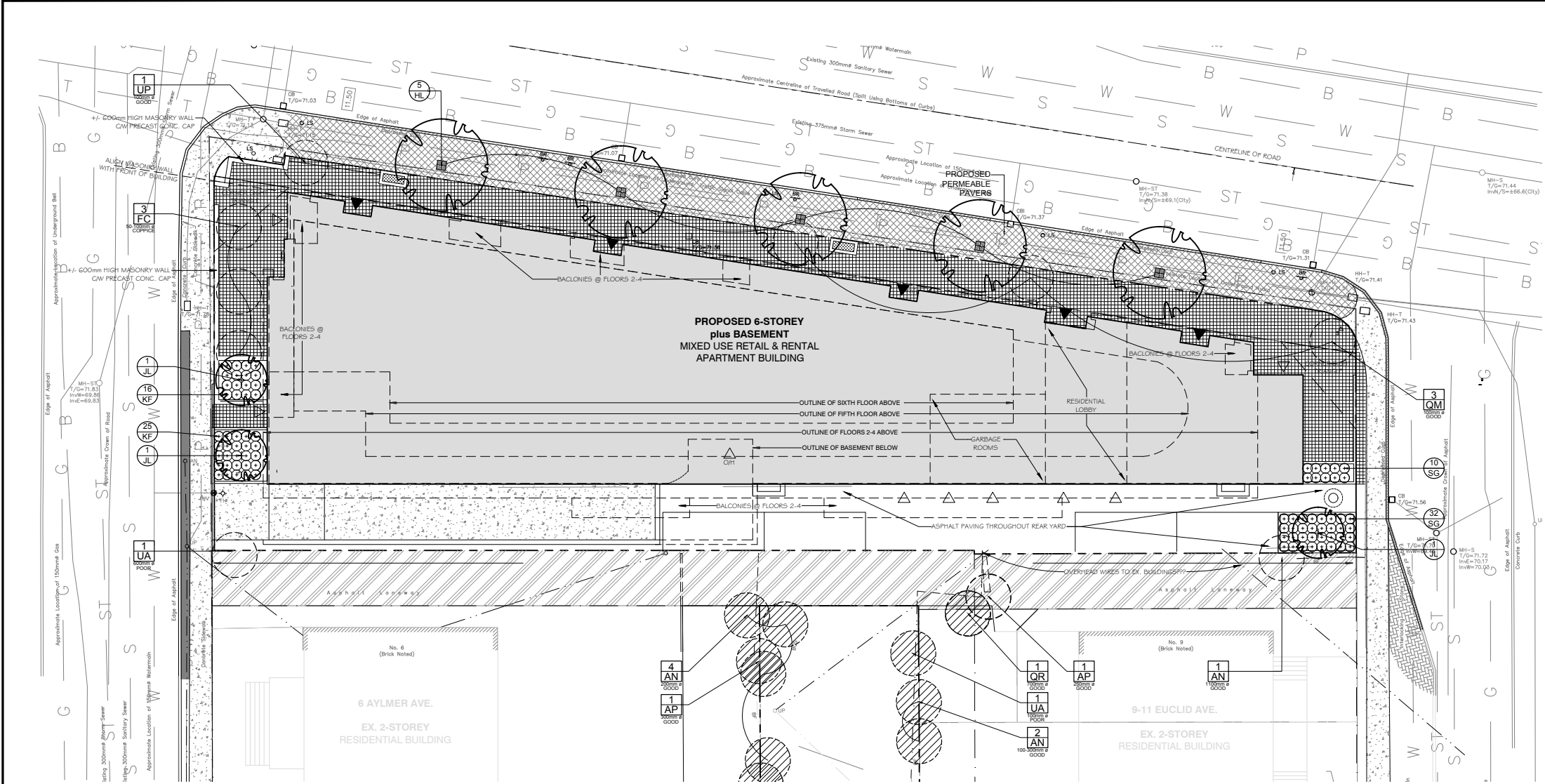
BUILDING ELEVATION NORTH



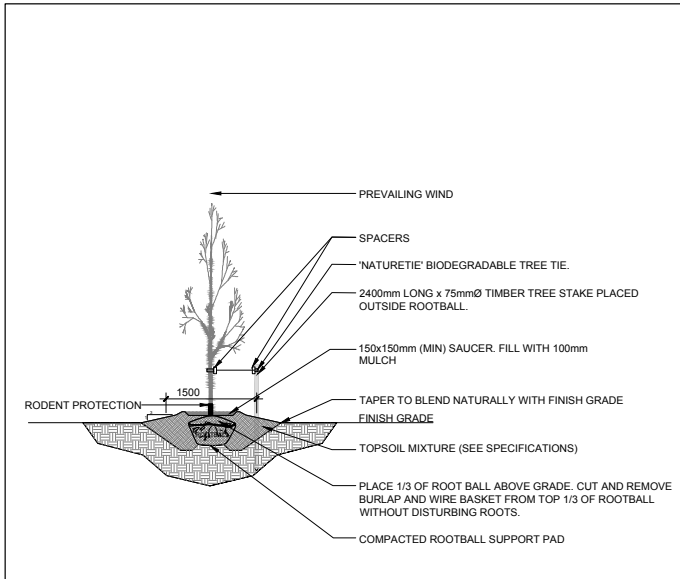
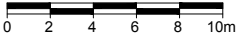
BUILDING ELEVATION SOUTH



LANDSCAPING PLAN - 03 DEC 2019

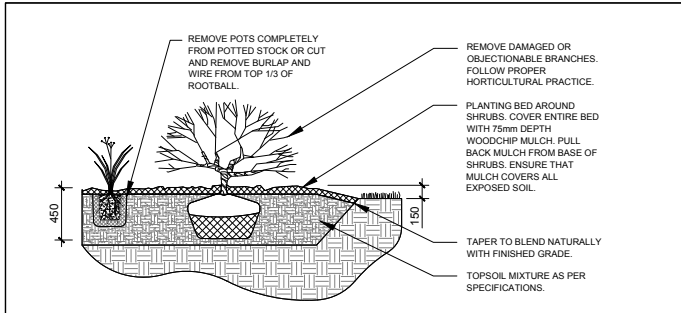


1 TREE CONSERVATION REPORT & LANDSCAPE PLAN
SCALE: 1:150



2 DECIDUOUS TREE PLANTING
SCALE: NTS

PROPOSED PLANT LIST						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
HL	5	Gleditsia triacanthos 'Draves'	Street Keeper Honey Locust	60mm ø	B&B	
JL	3	Syringa reticulata 'Vorysilk'	Ivorysilk Lilac	60mm ø	B&B	
ORNAMENTAL GRASSES						
KF	41	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	250mm pot	Potted	Space 800mm o.c.
SG	42	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	250mm pot	Potted	Space 800mm o.c.



3 ORNAMENTAL GRASS PLANTING
SCALE: NTS

EXISTING TREE LIST						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
TREES						
AN	7	Acer negundo	Manitoba Maple	100-1100mm ø	Good	Regenerating trees growing from ex. stumps
AP	2	Acer platanoides	Norway Maple	250-300mm ø	Good	
FC	3	Fraxinus spp.	Ash Species	50-100mm ø	Good	
QM	3	Quercus macrocarpa	Bur Oak	100mm ø	Good	
QR	1	Quercus rubra	Red Oak	700mm ø	Good	
UA	2	Ulmus americana	American Elm	100-600mm ø	Poor	
UP	1	Ulmus pumila	Siberian Elm	100mm ø	Good	

- GENERAL NOTES:**
- It is the responsibility of the appropriate contractor or official to report any errors, omissions or discrepancies on this plan with actual site conditions to the Landscape Architect before proceeding with construction.
 - The contractor is to notify all utility companies and authorities prior to any excavation and ascertain locations of underground services.
 - The contractor is to reinstaate all areas and items damaged as a result of construction activity.
 - The contractor is to comply with all pertinent codes and by-laws.
 - The contractor is to maintain a positive surface run-off throughout the entire construction period.
 - The Landscape Architect is not responsible for subsurface conditions.
 - The contractor is to identify all existing trees to remain on site with the Landscape Architect prior to construction.
 - The contractor is to stake the proposed location of all plant material in conjunction with the Landscape Architect prior to excavation.
 - Minimum distances for selected deciduous trees are as follows:
 - Building Foundations 7.5m
 - Sidewalks 1.5m
 - Public Streets 2.5m
 - Underground Infrastructure 2.0m
 - All trees within 1m of underground utility trenches are to be excavated by hand.
 - Remove all protective wrapping from tree trunks after installation.
 - Staking of trees shall only be performed if necessary.
 - Ensure that mulch is pulled back a min. distance of 75mm from base of tree trunk.

CLIENT:
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383 Parkdale Ave. #201
Tel : (613) 238-2117

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SURVEYORS:
FARLEY, SMITH & DENIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5
TEL: (613) 727-8226 FAX: (613) 727-1826

LEGEND

- PROPOSED DECIDUOUS TREE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO REMOVED
- PROPOSED ORNAMENTAL GRASSES
- PROPOSED TYPE 1 PRECAST CONCRETE PAVERS
- PROPOSED TYPE 2 PRECAST CONCRETE PAVERS
- PROPOSED PERMEABLE PAVERS
- PROPOSED PLANTER, REFER TO SITE PLAN FOR DETAILS. c/w ANNUALS AT OWNER'S DISCRETION

No.	Issue	Date	By	DR	CK
4	ISSUED FOR DISCUSSION AND REVIEW	12/03/2019	ML	JL	
3	ISSUED FOR COORDINATION	11/22/2019	ML	JL	
2	REVISED PER NEW GROUND FLOOR PLAN	10/24/2019	ML	JL	
1	ISSUED FOR DISCUSSION AND REVIEW	05/22/2019	ML	JL	

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS
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PROJECT
BANK & ALYMER - MIXED USE LOW-RISE
1050 & 1060 BANK ST.
OTTAWA, ON

DRAWING
TREE CONSERVATION REPORT & LANDSCAPE PLAN

STAMP

SCALE
AS SHOWN

START DATE
MAY 2019

PROJECT NO.
19-MIS-1955

PROJECT NORTH

DRAWING NO.
L.1

PLOT SIZE ARCH-D