

REQUIRED SITE SOIL AMENDMENT

On-Site Soil Amendment
Import and Replace Topsoil with Amendment Material

Materials

- Amendment material shall be obtained from a Compost Quality Assurance (CQA) licensed and OMDS/ COME approved facility and shall comply with the Category "A" compost designation. The amendment material must contain:
 - Organic matter primarily leaf, yard and bark waste compost of 8-15% by dry weight as determined by loss-on-dryness (LOD) and a pH of 6.0 to 8.0.
 - No uncomposted manure or other organic materials, sphagnum peat or organic amendments that contain sphagnum peat.

Placement and Amendments

- Remove existing topsoil and dispose off-site in accordance with OPSS 206 and OPSS 180, O. Reg. 153/06, the Environmental Protection Act or municipal by-laws and policies, whichever supersedes.
- Decompect native subsoil at depth of 100-200mm. Decompeaction using a perpendicular pattern (See Detail No.1) ensuring full site coverage. No decompeaction within tree protection areas (See Detail No.2) or within 3m of building foundations (See Detail No.3).
- Import pre-mixed amended topsoil (300mm depth of coverage required).
- Place imported pre-mixed amended topsoil in 150mm lifts, lightly roll or smooth using machinery bucket and repeat. Adjust layer quantities to ensure a settled amended topsoil depth of 300mm and compliance with site grading. (See Detail No.4). Placement should account for 10% settlement.

Amended topsoil should be wetted after application, allowed to settle for a minimum of one (1) week and grades adjusted as required prior to installation of turf.

Documentation Requirements

As part of verification, the owners shall produce delivery tickets, receipts and specifications detailing the delivery address, quantities and product description and source for verification by City inspectors. Delivery address is to be listed and must correspond to the property/lot being inspected. Sites without proper documentation may be subject to additional verification procedures including laboratory testing at the expense of the owner.

City Verification/Inspection

Verification may occur after the minimum one (1) week settlement period. Verification is suggested prior to turf placement. Non-compliant sites shall be rectified at the expense of the owner.

A random, the City Inspector shall dig at least one (1) test hole to verify amended topsoil depth and uncompacted soil depths.

Requirements:

- Amended topsoil layer shall be easily dug using only the inspector's weight or hand without other mechanical assistance.
- The amended topsoil layer shall be darker in color than the unamended- decompeacted subsoil and particles of organic matter should be easily visible.
- Measured amended topsoil depth shall be deemed to be in performance based on the following:
 - Using a common garden spade, the measured depth of amended topsoil shall be equal to the required 300mm depth (±25mm)
 - Using a small diameter coring unit, the measured core depth of amended topsoil shall be equal to the required 300mm depth (±50mm)

PLACEMENT AND LIGHT COMPACTION

Detail No. 1 - Perpendicular Decompeaction Pattern

Detail No. 2 - No Decompeaction within Tree Protection Areas or Amendment

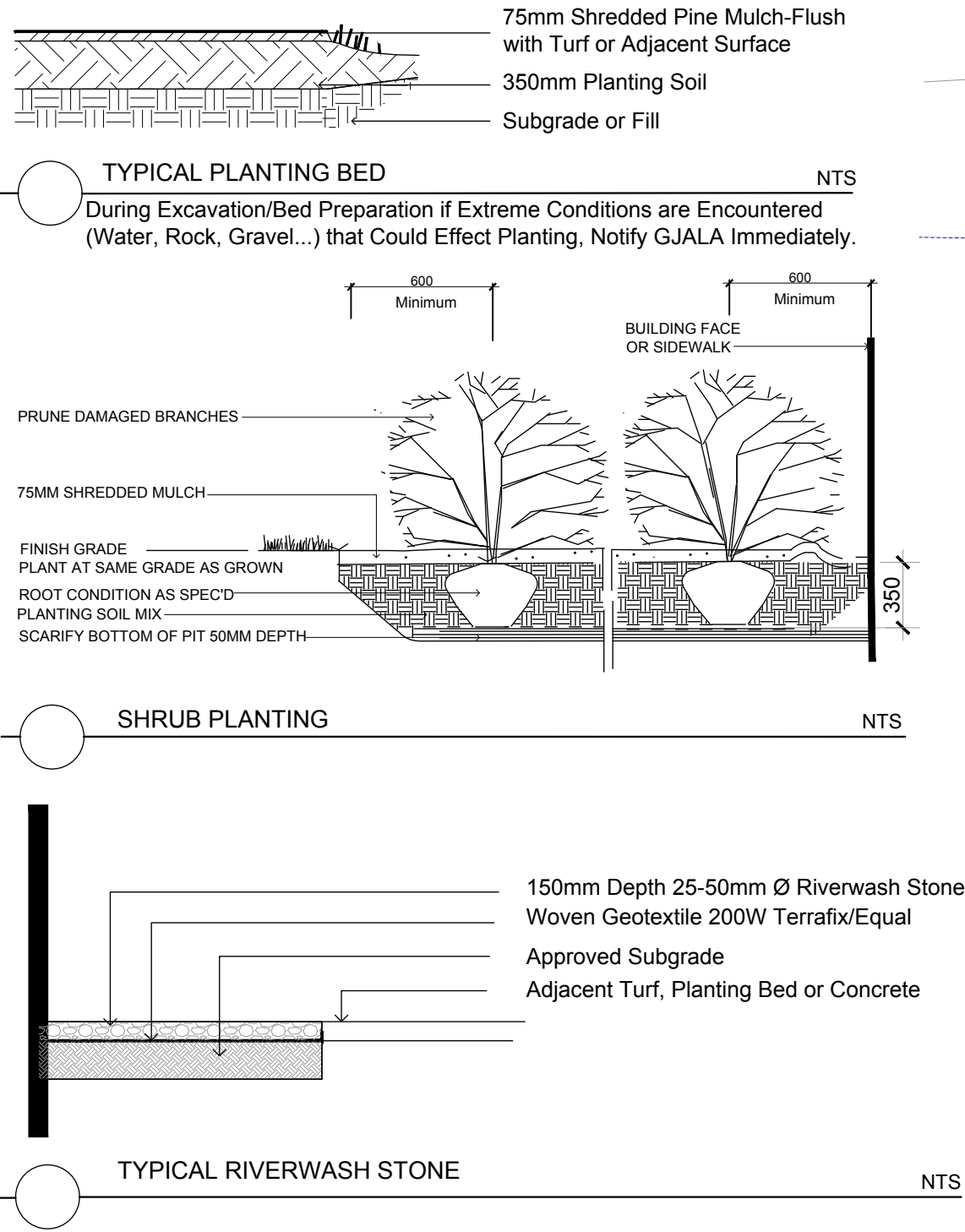
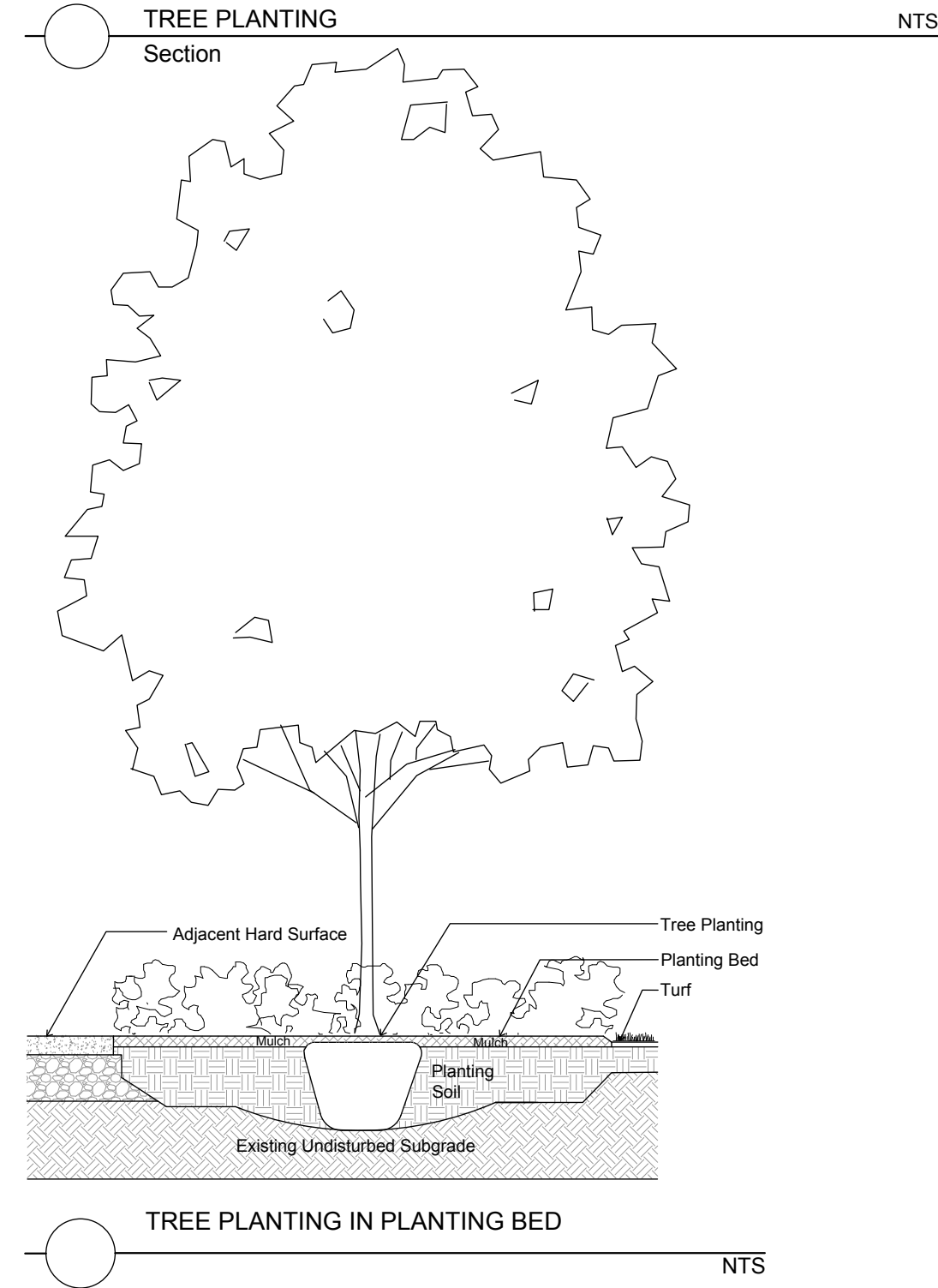
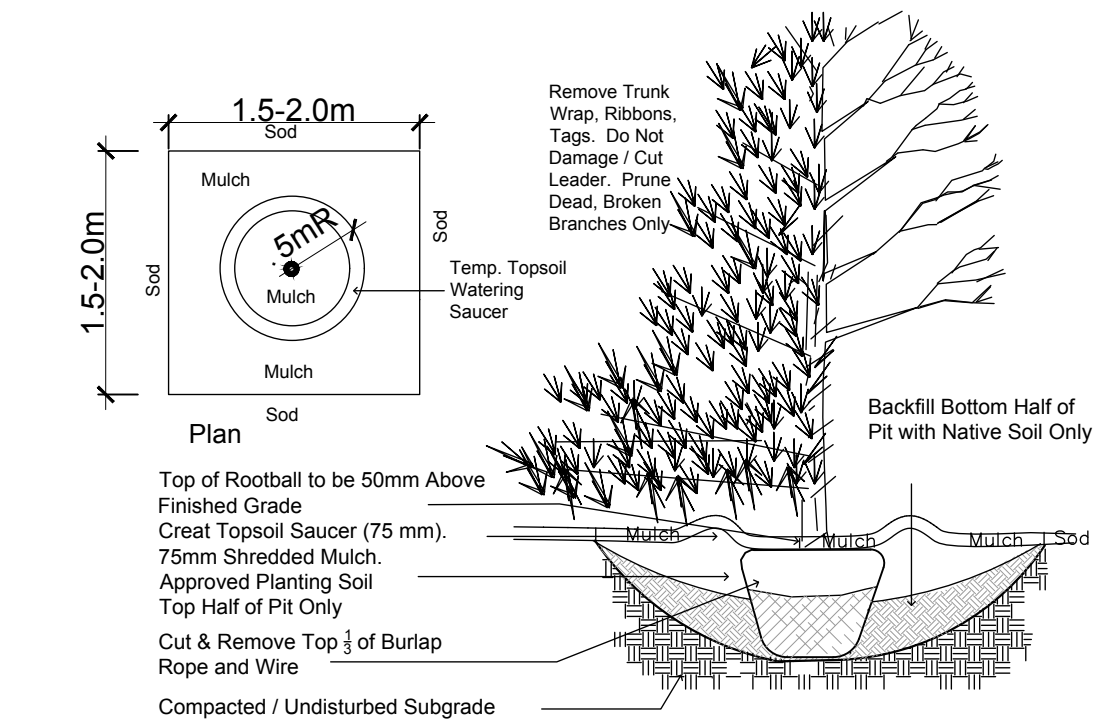
Detail No. 3 - No Decompeaction within 3.0m of Building Foundation (Amendment Only)

Detail No. 4 Placement and Compaction Lifts for Amended Topsoil

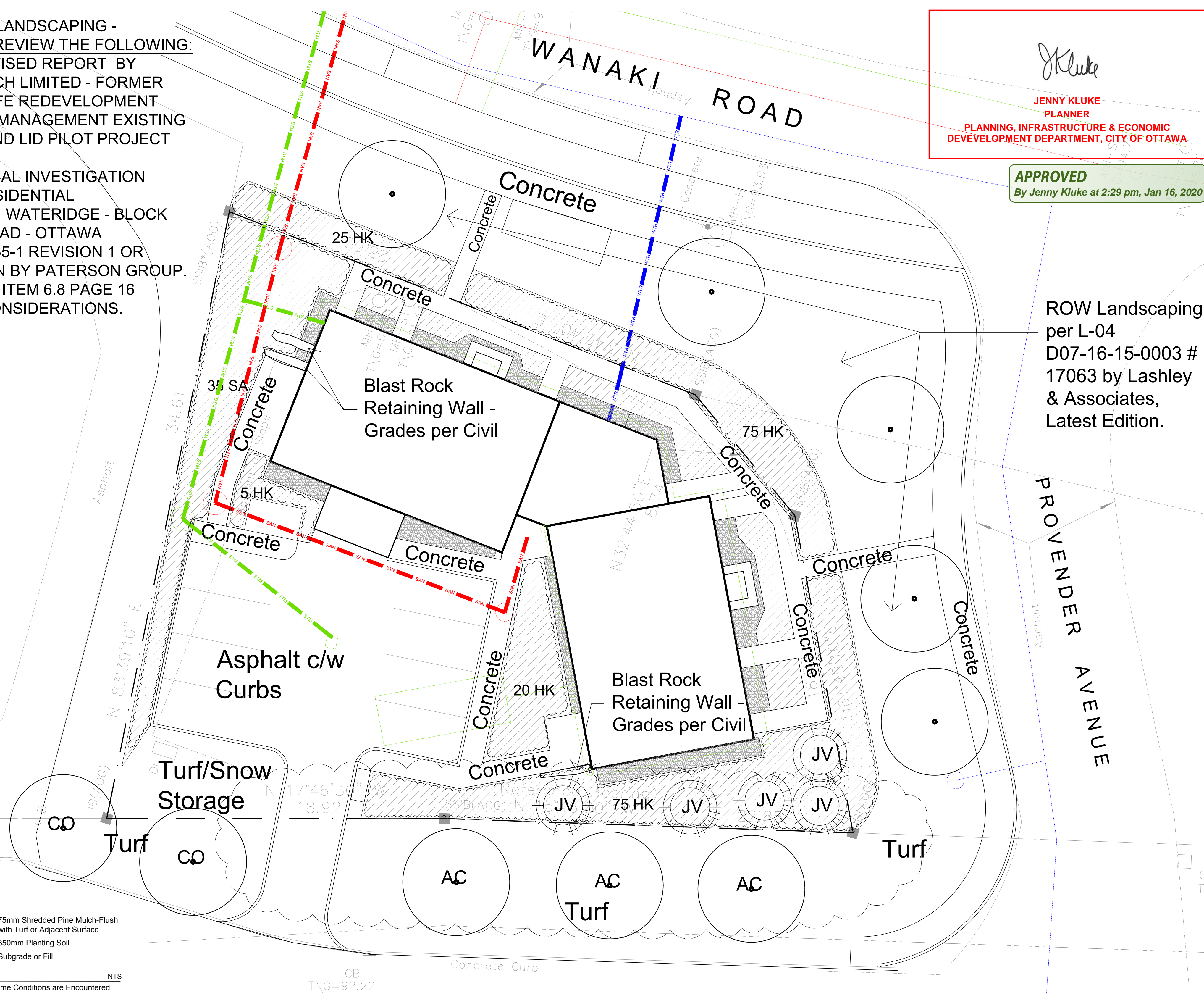
PAGE5 FIGURE 48 EXCERPT FROM MAY 2015 REVISED REPORT BY AQUAFOR BEECH LIMITED - FORMER CFB ROCKCLIFFE REDEVELOPMENT STORMWATER MANAGEMENT EXISTING CONDITIONS AND LID PILOT PROJECT SCOPING FROM CITY OF OTTAWA.

Plant List - Trees - HABITAT GO 455 WANAKI					
Code	Qty.	Botanical Name	Common Name	Size	Condition
AC	3	Amelanchier canadensis	Tree Serviceberry	60mm cal	B + B specimen
CO	2	Celtis occidentalis	Common Hackberry	60mm cal	B + B specimen
JV	5	Juniperus virginiana	Eastern Red Cedar	1.5m Ht.	B + B specimen

Plant List - Shrubs - HABITAT GO 455 WANAKI					
Code	Qty.	Botanical Name	Common Name	Size	Condition
HK	200	Hypericum kalmianum	St. John's Wort	40cm Ht.	Pot
SA	35	Symphoricarpos albus	Snowberry	60cm Ht.	Pot



PRIOR TO ANY LANDSCAPING -
ACQUIRE AND REVIEW THE FOLLOWING:
1 MAY 2015 REVISED REPORT BY
AQUAFOR BEECH LIMITED - FORMER
CFB ROCKCLIFFE REDEVELOPMENT
STORMWATER MANAGEMENT EXISTING
CONDITIONS AND LID PILOT PROJECT
SCOPING.
2. GEOTECHNICAL INVESTIGATION
PROPOSED RESIDENTIAL
DEVELOPMENT WATEREDGE - BLOCK
29. WANAKI ROAD - OTTAWA
REPORT: PG4965-1 REVISION 1 OR
LATEST EDITION BY PATERSON GROUP.
IN PARTICULAR ITEM 6.8 PAGE 16
LANDSCAPE CONSIDERATIONS.



Jenny Kluge
PLANNER
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jenny Kluge at 2:29 pm, Jan 16, 2020

ROW Landscaping
per L-04
D07-16-15-0003 #
17063 by Lashley
& Associates,
Latest Edition.

Drawing Remains the Property of/Copyright Reserved by Gino J. Aiello Landscape Architect. Do Not Use or Reproduce Without Approval of Gino J. Aiello.
NOT To Be Used For Construction **Unless** indicated by Revision: **"FOR LANDSCAPE CONSTRUCTION".**
Contractor is Responsible for Verification of Site Locations of all Utilities. Report any Discrepancies Between Site and Drawing Immediately to Gino J. Aiello. Do NOT Proceed Until Clarified.
TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE | SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - Fine Fescue/Kentucky Bluegrass Sod | PLANTING MIX TO BE APPROVED BY LANDSCAPE ARCHITECT | PLANT MATERIAL TO MEET CNLA STANDARDS/BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING | ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE. (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) & INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE | PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT, UNTIL END OF WARRANTY PERIOD | REFER TO CIVIL ENGINEER'S DRAWING FOR ELEVATIONS / GRADING |
The Landscape Plan is to be read in conjunction with the grading, servicing, site and survey plan | Bare root material to be planted in season only | All plant material locations to be staked on site by the landscape contractor and checked by the landscape architect prior to planting | All trees to be preserved on or directly adjacent to the site will be protected | Plant material are to be installed a minimum of, 3.0m away from any part of any hydro transformer, 3.0m corridor between a fire hydrant and the curb, a 2.5m radius beside or behind a fire hydrant, 2.0m from any servicing/utility line or structure |

- Existing Tree to be Removed
- Proposed Coniferous Tree
- Proposed Deciduous Tree
- Proposed Planting Bed - Plants By Owners
- Proposed Planting Bed c/w Shrubs
- Proposed Riverwash Stone On Filter Cloth

4	SPC SUBMISSION 3	NOVEMBER 19 2019
3	SPC SUBMISSION 2	SEPTEMBER 17 2019
2	SPC SUBMISSION 1	JUNE 21 2019
1	FOR REVIEW/COORDINATION	JUNE 19 2019
No.	Revision	Date

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
GJALA

North Arrow

Property Owner
HABITAT FOR HUMANITY GREATER OTTAWA
768 Belfast Road Ottawa, ON K1G 0Z7

Gino J. Aiello landscape architect
Gino@GJALA.com (613) 852 1343
110 Didsbury Road Unit # 9 | Ottawa Ontario | K2T 0C2

Project
HABITAT GO
455 WANAKI ROAD OTTAWA

Drawing
Landscape Plan

Date: JUNE 2019
Scale: 1:125
City of Ottawa
Dwg #17982

Sheet Number
L1

D08-12-19-0117