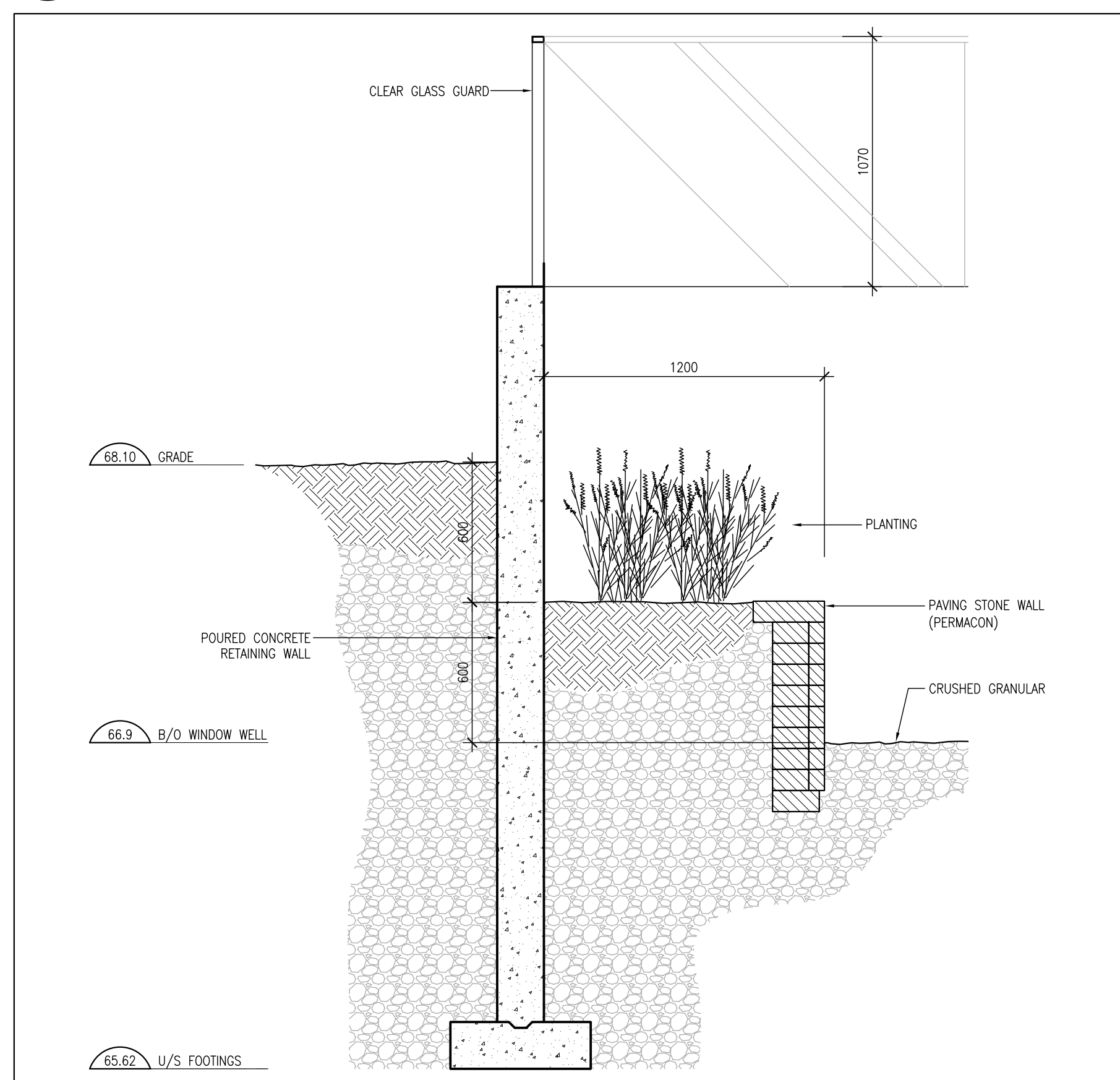


3 SITE PLAN
SP-01 SCALE: 1:75



2 SECTION AT WINDOW WELL
SP-01 SCALE: 1:20

DJ

DOUGLAS JAMES, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - CENTRAL
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Jamesdo at 1:22 pm, Jan 07, 2020



1 LOCATION PLAN
SP-01 SCALE: NTS

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOTS 5 AND 6
REGISTERED PLAN 220
CITY OF OTTAWA

SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

STATISTICS AND ZONING INFORMATION

ZONING DESIGNATION: TM12(1839) H(14.5)
ZONING REQUIREMENTS: APARTMENT DWELLING, LOW RISE

MIN. LOT AREA: N/A
MIN. LOT WIDTH: N/A
MAX. BUILDING HEIGHT: 14.5m
MIN. BUILDING HEIGHT: 6.7m for 20m from front lot line
MIN. FRONT YARD: The overage of the front walls of the abutting properties.
MIN. REAR YARD: 7.5m
MIN. INTERIOR SIDE YARD: 1.2m
AVG. EXISTING GRADE: The average of grade elevations taken along both side lot lines at the minimum required front yard setback and at the minimum rear yard setback.

PROJECT STATISTICS

LOT WIDTH: 11.6m
LOT AREA: 333m²
BUILDING HEIGHT: 9.80m
FRONT YARD SETBACK: 4.035m
REAR YARD SETBACK: 7.5m
SIDE YARD SETBACK: 1.2m
DWELLING UNITS: 12 units

BICYCLE PARKING CALCULATION
As per Table 111A

REQUIRED PARKING: 6 spaces
0.5sp/dwelling unit [111A(h)(3)]

TOTAL PARKING PROVIDED: 6 spaces

PARKING CALCULATION
As per Sections 101 & 102

PARKING SPACE RATE AREA: Area X

REQUIRED PARKING: 0 space
0.5sp/dwelling unit beyond 12
PARKING PROVIDED: 0 space

REQUIRED VISITOR PARKING: 0 space
0.1sp/dwelling unit beyond 12
VISITOR PARKING PROVIDED: 0 space

TOTAL PARKING REQUIRED: 0 space
TOTAL PARKING PROVIDED: 0 space

AMENITY AREA CALCULATION
As per Table 137

TOTAL AMENITY REQUIRED: 72m²
6m²/dwelling unit as per table 137 (4)

COMMUNAL AMENITY REQUIRED: 36m²
50% of Total Amenity Area

COMMUNAL AMENITY PROVIDED: 72.0m²
TOTAL AMENITY PROVIDED: 72.0m²

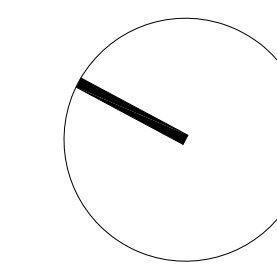
PROJECT STATISTICS
SCALE: NTS

- GENERAL ARCHITECTURAL NOTES:
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
 - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
 - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
 - The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
 - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Mechanical and Electrical forms not clearly located will be located as directed by the Architect.
 - These documents are not to be used for construction unless specifically noted for such purpose.

REVISION RECORD

ISSUED FOR COORDINATION	2019-07-19
RE-ISSUED FOR SITE PLAN CONTROL	2018-12-13
ISSUED FOR COORDINATION	2018-10-30
ISSUED FOR SITE PLAN CONTROL	2018-09-20
ISSUED FOR COORDINATION	2018-09-05
ISSUED FOR COORDINATION	2017-04-18

ISSUE RECORD



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PROJ. SCALE DRAWN REVIEWED
1711 1:75 LB RMK

SITE PLAN

SP-01